

Resource Consents Unit

# Application for Resource Consent: Land Use

Resource Management Act 1991 – Form 9

Submit this form online at: [onlineservices.ccc.govt.nz](https://onlineservices.ccc.govt.nz); or

Email to: [resourceconsentapplications@ccc.govt.nz](mailto:resourceconsentapplications@ccc.govt.nz); or

Deliver to: Resource Consents Unit, Christchurch City Council, 53 Hereford Street, Christchurch; or

Send to: Resource Consents Unit, Christchurch City Council, PO Box 73013, Christchurch Mail Centre, Christchurch, 8154

For enquiries phone: (03) 941 8999 or email [DutyPlanner@ccc.govt.nz](mailto:DutyPlanner@ccc.govt.nz)

## About this form

This form is used to apply for a land use consent under Section 88 of the Resource Management Act 1991. It must be accompanied by plans and other supporting information.

A deposit must be paid before processing will commence (refer to the Resource Management [Fee Schedule](#)). An invoice will be issued when the application has been received.

Applications are checked for completeness prior to acceptance. Please ensure that you have compiled your documents carefully to avoid delays accepting your application. A checklist is included at the end of this form.

Please also refer to the important information contained in Sections 15 and 16 of this form.

## 1. Pre-application discussions

Have you had a pre-application meeting or discussion with any Council staff about this proposal?  Yes  No

If yes, what was the name of the planner or other staff member(s)?

Date of pre-application meeting (if applicable):

Meeting reference number:

## 2. Controlled activity application

Is this a land use consent application for a **controlled activity** only, under the District Plan?  Yes  No  
(defined as a fast-track application under section 87AAC of the RMA)

**Please note:**

- If the application involves any activities other than controlled land use activities under the District Plan, it is not a fast-track application.
- An application ceases to be fast-track if it is publicly notified or limited notified, or a hearing is to be held.
- An electronic address for service must be provided for an application to be a fast-track application.

## 3. Application site

Street address:

Legal description:

I have provided a property title less than 3 months old, including a copy of any consent notice, covenant or other encumbrance to which the Council is a party. Note: These can be obtained from Land Information New Zealand: <https://www.linz.govt.nz/land/land-records/order-copy-land-record/land-record-order-form>

OR

If it is needed for the processing of this application, I request that the Council obtain a copy of the property title and any relevant encumbrances from Land Information New Zealand.

#### 4. Applicant details

Please note that the **applicant** is responsible for the fees associated with this application, unless specified otherwise in Section 6. Where there is an agent, it is the Council's practice to communicate with both the agent and the applicant.

Full name (including middle name):	<input type="text"/>				
<b>OR</b>					
Registered Company / Trust / Organisation name:	<input type="text" value="Fern Fitzgerald Limited"/>				
Contact person / Trustee names:	<input type="text" value="Paul Szybiak"/>				
Landline:	<input type="text"/>	Mobile :	<input type="text" value="02102663756"/>		
Email:	<input type="text" value="paul@rosefernhomes.co.nz"/>				
Postal Address:	<input type="text" value="."/>				
The applicant is the:	<input checked="" type="checkbox"/> Owner	<input type="checkbox"/> Occupier	<input type="checkbox"/> Lessee	<input type="checkbox"/> Prospective purchaser	of the application site
<input type="checkbox"/> Other (please specify):	<input type="text"/>				

#### 5. Agent details

Name of Agent:	<input type="text" value="Sally Elford"/>		
Name of firm:	<input type="text" value="Baseline Group"/>		
Landline:	<input type="text" value="033390401"/>	Mobile :	<input type="text" value="0273339507"/>
Email:	<input type="text" value="sally@blg.nz"/>		
Postal Address:	<input type="text" value="PO Box 8177 Riccarton, Christchurch 8440"/>		

#### 6. Invoicing details

All consent-related invoices are to be made out to:

Applicant (Their full details must be provided in section 4 above)

Agent

Existing 'on-account' customer      Account customer name:

Other (specify below)

Name:

Email:

Postal Address:

Note: Any refunds will be paid to the receipted name.

#### 7. Owners and occupiers of the application site

The full name and postal address of each owner and occupier of the application site (if different to the applicant):

#### 8. Description of proposal

Describe the proposed activity to be carried out on the site (e.g. to build a new dwelling with attached garage):

#### 9. Areas of non-compliance

List all of the areas of non-compliance with the rules in the [Christchurch District Plan](#) and any relevant National Environmental Standard (use additional pages if necessary).

Please see attached application

## 10. Assessment of Effects

Assessment of any effects on the environment in accordance with Schedule 4 of the Resource Management Act 1991.

Please make sure your assessment covers all the matters of discretion or control in the [District Plan](#) and NES for the rules breached / triggered. **This section MUST be completed to a level of detail that corresponds with the scale and significance of the effects that the proposed activity may have on the environment** (use additional pages if necessary).

Please see attached application

## 11. National Environment Standard (NES)

This section relates to the [National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health](#) (NES).

The NES includes regulations controlling **soil disturbance, change of use, subdivision and removal/replacement of fuel storage systems** on properties which have been used either now or in the past for a hazardous activity or industry (known as HAIL) that may have resulted in contamination of the soil.

Please answer the following questions to determine whether the NES applies to your proposal.

Is the application site listed on Environment Canterbury's Listed Land Use Register (LLUR)? [www.llur.ecan.govt.nz](http://www.llur.ecan.govt.nz). If YES, please include a copy of the LLUR statement with your application.  Yes  No

If the site is not listed on the LLUR, is an activity described on the Hazardous Substances and Industries List (HAIL) currently being undertaken on the piece of land to which this application relates, or is it more likely than not to have ever been undertaken on the land?  Yes  No

The HAIL list is available at: <https://environment.govt.nz/publications/hazardous-activities-and-industries-list-hail/>

Type of HAIL activity:

**If the answer to either of the above questions is YES, then the NES may apply, depending on the proposed activity. Please identify whether the application involves any of the activities below.**

*(If the answer to both of the above questions is NO, you do not need to answer the remaining questions in this section).*

Will the proposed activity involve disturbance of more than 25m<sup>3</sup> of soil (per 500m<sup>2</sup> of disturbed area)?  Yes  No

Volume of soil disturbance:

Will the proposed activity involve removal of more than 5m<sup>3</sup> of soil (per 500m<sup>2</sup> of disturbed area) from the site?  Yes  No

Volume of soil removal:

Does the application involve changing the use of the land to one which, because the land has been subject to a HAIL activity, is reasonably likely to harm human health? (e.g. service station to office, orchard to residential)  Yes  No

Does the application involve removing or replacing a fuel storage system or parts of it?  Yes  No

Does the application involve subdivision of the land?  Yes  No

**If the answer to any of the above activity questions is also YES, then the NES will apply.**

- Soil disturbance or removal exceeding the specified volumes requires resource consent.
- Changing the land use or subdividing the land will require resource consent if the permitted activity requirements of the NES are not complied with. These include provision of a Preliminary Site Investigation carried out by a suitably qualified and experienced practitioner.
- Removal or replacement of a fuel storage system will require consent if the permitted activity requirements of the NES are not complied with.

**Does the proposed activity require resource consent under the NES?**  Yes  No

If the answer is YES, an assessment of the application under the NES must be provided as part of your Assessment of Effects on the Environment (refer Section 10 above). A Detailed Site Investigation may be required.

## 12. Other Applications

Have you applied for, or are you required to apply for, any other **resource consents** for this project, either from the Christchurch City Council or Environment Canterbury, and if so, what type?

		Has been applied for:	Is required to be applied for:	Has been obtained:	Reference no. (if applicable):
Christchurch City Council	Subdivision Consent	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Other Land Use Consent	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
Environment Canterbury	Water Permit	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Discharge Permit	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
	Coastal Permit	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	

**OR**

No additional resource consents are needed for the proposed activity.

Have you applied for a **Project Information Memorandum (PIM)** or a **building consent** for this project?

Yes

No

If yes, what is the project number (BCN number)?

## 13. Development Contributions

The following information is required for assessment of levies under the Council's [Development Contributions Policy](#).

### Residential development

The use of land or buildings for living accommodation purposes including residential units such as dwellings, serviced apartments and unit/strata development but excluding retirement villages and travellers accommodation such as hotels, motels and hostels.

#### Existing:

Number of residential units:

1

#### New Total (Existing plus proposed):

Number of residential units:

0

Has a residential unit been demolished/removed from the site?

No

Yes

Date:

The following section applies when there will be more than one residential unit on the site:

Gross floor area (all buildings):

$m^2$

Gross floor area of each unit:

$m^2$

(Attach separate page if necessary)

The following section applies where there will be two or more **attached** residential units on the site:

Total impervious surface area\*:

$m^2$

\*Impervious Surface Area includes the area of roofs, paving and gravel.

### Non-residential Development

The use of land or buildings for commercial premises/offices, shopping centres, supermarkets, service stations, market, bulk goods/home improvement stores, retail facilities, manufacturing industries, restaurants, drive-in fast food restaurants, warehouse/storage, retirement villages and commercial accommodation.

#### Existing:

Impervious surface area\*:

$m^2$

Landscaping area (lawn/garden):

$m^2$

Gross floor area for each land use activity:

Gross floor area:

$m^2$

Land Use:

$m^2$

Gross floor area:

$m^2$

Land Use:

$m^2$

Gross floor area:

$m^2$

Land Use:

$m^2$

Total gross floor area:

$m^2$

\*Impervious Surface Area includes the area of roofs, paving and gravel.

#### New total (Existing plus proposed):

Impervious surface area\*:

$m^2$

Landscaping area (lawn/garden):

$m^2$

Gross floor area for each land use activity:

Gross floor area:

$m^2$

Land Use:

$m^2$

Gross floor area:

$m^2$

Land Use:

$m^2$

Gross floor area:

$m^2$

Land Use:

$m^2$

Total gross floor area:

$m^2$

## Special Assessment

If the development is one that is not recognised as a residential or non-residential land use (as above), please provide the following information for a special assessment of development levies.

Existing:		New total (Existing plus proposed)	
Impervious surface area:*	<input type="text" value="m&lt;sup&gt;2&lt;/sup&gt;"/>	Impervious surface area:*	<input type="text" value="m&lt;sup&gt;2&lt;/sup&gt;"/>
Traffic movements per day:	<input type="text"/>	Traffic movements per day:	<input type="text"/>
Litres of water usage per day:	<input type="text"/>	Litres of water usage per day:	<input type="text"/>

\*Impervious Surface Area includes the area of roofs, paving and gravel.

**Note:** For mixed use developments please complete all relevant sections above.

## Connections to Council Infrastructure

Does this development require connection/s to the following:

Water supply	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Stormwater	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Wastewater	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

## 14. Declaration

I have completed all relevant sections of this form (including the checksheet in Section 16), and I understand that my application may be returned as incomplete if it does not include all of the relevant information.

I understand that the fees paid on lodgement **are a deposit only**, and that the Council will invoice all costs actually and reasonably incurred in processing this application.

All of the information provided with this application is, to the best of my knowledge, true and correct. I understand that all information submitted as part of an application is required to be kept available for public record, therefore the public (including business organisations, media and other units of the Council) may view this application, once submitted. It may also be made available to the public on the Council's website. If there is sensitive information in your application please let us know.



**Signature of Applicant** (or person authorised to sign on behalf of applicant):

Date  Print name

If you are signing this application on behalf of a company/trust/other entity (the applicant), you are declaring that you are duly authorised to sign on behalf of the applicant to make such an application.

### Privacy information

The Council is subject to the Privacy Act 1993. For a full privacy statement see: <https://ccc.govt.nz/the-council/how-the-council-works/privacy-statement/>. If you would like to request access to, or correction of, your details, please contact us.

## 15. Fee information

The required deposit must be paid before processing of the application will start. A further invoice will be issued when processing has been completed if the cost of processing exceeds the deposit paid. If the processing cost is less than the deposit a refund will be issued to the **person who paid the fee**.

Where the application fee is to be charged to an **account holder** no deposit is required. Instead the actual fees will be invoiced on completion of processing.

Interim invoices may be issued on a monthly basis, including where the applicant is an account holder.

The Resource Management Fees Schedule can be viewed at: <https://ccc.govt.nz/consents-and-licences/resource-consents/resource-management-fees/>

**DEBT RECOVERY** – Where an invoiced amount has not been paid by the stated due date, the Council may commence debt recovery action. The Council reserves the right to charge interest, payable from the date the debt became due, and recover costs incurred in pursuing recovery to the debt.

**MONITORING FEES** – Please note that if this application is approved you will be required to meet the costs of monitoring any conditions applying to the consent, pursuant to Section 35 of the Resource Management Act 1991.

**DEVELOPMENT CONTRIBUTIONS** – Your development, if granted, may also incur development contributions under the Local Government Act 2002 in accordance with the Council's Development Contributions Policy. Any development contributions payable will be invoiced to the applicant.

## 16. Additional notes for the applicant

1. This application is for resource consent under the Resource Management Act 1991. When processing the application the Council can only consider relevant matters under the Resource Management Act. Please be aware that there may be a range of other matters which could affect your ability to carry out the proposed development or activity, and it is your responsibility to investigate these.
2. If your proposal involves building work or change of use of a building you may also require a building consent under the Building Act 2004. This must be applied for separately. Dependant on the nature of the proposal, other consents or licences may also be required under such legislation as the Health Act 1956 and the Sale of Liquor Act 1989.
3. You may apply for two or more resource consents that are needed for the same activity on the same form.
4. The written approval of persons the Council considers may be adversely affected by the proposal may be required as part of the application, if it is to be processed on a non-notified basis. This will be determined after the application has been lodged and assessed, and a site visit carried out.
5. Consultation with neighbours and other affected persons is at the discretion of and is the responsibility of the applicant.
6. The costs incurred in receiving and checking incomplete applications are invoiced to the applicant. To avoid delays and cost please ensure that you submit a complete application.
7. If further information is required after your application is accepted, you will be advised as soon as possible and processing of the application will be suspended until the information is received.
8. Please make sure all of the information supplied is accurate. Inaccurate information can cause difficulties at a later date, such as additional costs, delays and legal proceedings initiated by the Council and/or by other persons.
9. If resource consent is granted the applicant has a legal obligation to comply with any conditions of the consent.

## 17. Checklist

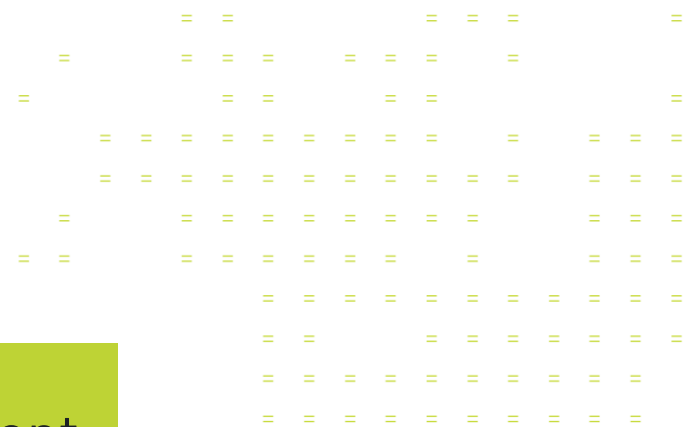
This checklist has been produced to assist you in the preparation and lodgement of your application. The provision of correct and accurate information will ensure that delays are kept to a minimum. Please complete all sections using **Y** where the information is provided, or **N** where the information is not required.

<input type="checkbox"/>	<b>a. Application Form P-001 (1 copy)</b> <input type="checkbox"/> Completed and <b>signed</b> application form, including a full description of the proposal, a list of the ways in which it does not comply with the Christchurch District Plan and/or NES, and an assessment of effects on the environment
<input type="checkbox"/>	<b>b. Location of Application Site</b> <input type="checkbox"/> Copy of current property Title less than 3 months old, including any consent notices, covenants or other encumbrances to which the Council is a party. <i>(Note: The Council can obtain this from Land Information New Zealand on your behalf)</i>
<input type="checkbox"/>	<b>c. Application Fee / Deposit</b> <input type="checkbox"/> Fees payable and internet banking details are set out in the Resource Management <a href="#">Fee Schedule</a> . An invoice will be issued when the application is received.
<input type="checkbox"/>	<b>d. Site Plan (1:200) showing (where relevant)</b> <input type="checkbox"/> Location and use of all existing and proposed buildings in relation to legal and internal boundaries; <input type="checkbox"/> Location of any waterway and dimensions from its banks to any new buildings and/or earthworks (see also g. below); <input type="checkbox"/> Vehicle access, manoeuvring, parking spaces and driveway gradients; <input type="checkbox"/> Outdoor living, service and storage space; <input type="checkbox"/> Landscape plan showing location, species and height of all existing and proposed plants; <input type="checkbox"/> Location of protected trees on the site or adjoining sites; <input type="checkbox"/> Location of street trees on road berm adjoining the application site; <input type="checkbox"/> Areas of proposed filling or excavation, retaining walls and existing and proposed ground levels; <input type="checkbox"/> Building coverage (proposed and existing) in square metres; and <input type="checkbox"/> Surveyed ground and floor levels (especially at critical points to show compliance with the District Plan).
<input type="checkbox"/>	<b>e. Floor Plans (1:100 / 1:50) showing (where relevant)</b> <input type="checkbox"/> Proposed uses; <input type="checkbox"/> Gross floor areas for each use; <input type="checkbox"/> Location of all/any kitchen facilities; <input type="checkbox"/> Doors and windows; and <input type="checkbox"/> Overall dimensions of all buildings.
<input type="checkbox"/>	<b>f. Elevations (1:100 / 1:50) showing (where relevant)</b> <input type="checkbox"/> Recession planes from accurate levels; <input type="checkbox"/> Maximum height; and <input type="checkbox"/> Doors and windows.
<input type="checkbox"/>	<b>g. Water body setback intrusions (in addition to other information on this checksheet)</b> <input type="checkbox"/> The location of the required water body setback, measured in accordance with Appendix 6.11.5.2 and 6.11.5.3 of the District Plan; <input type="checkbox"/> The amount of building intrusion within the setback (in m <sup>2</sup> ), including any proposed decking; <input type="checkbox"/> Volume and location of proposed excavation and filling within the water body setback; <input type="checkbox"/> An assessment of the effects of the intrusion on the water body environment; covering the matters in Rule 6.6.7 of the District Plan; <input type="checkbox"/> For water bodies defined as Nga Wai in Appendix 9.5.6.4, an assessment of the proposal against the matters in Rule 9.5.5.3 of the District Plan (also refer to the Mahaanui Iwi Management Plan at <a href="http://www.mkt.co.nz">www.mkt.co.nz</a> )

	<ul style="list-style-type: none"> <li><input type="checkbox"/> Details of any bank maintenance and/or enhancement works; and</li> <li><input type="checkbox"/> An assessment of the effects of the activity where the water body is identified as a Site of Ecological Significance in Schedule A of Appendix 9.1.6.1.</li> </ul>
<ul style="list-style-type: none"> <li><input type="checkbox"/></li> </ul>	<p><b>h. HAIL (land contamination) information</b></p> <ul style="list-style-type: none"> <li><input type="checkbox"/> Details of any known areas of contamination, or potential contamination identified on Environment Canterbury's Listed Land Use Register (<a href="http://www.llur.ecan.govt.nz">www.llur.ecan.govt.nz</a>) and/or in a contamination investigation report.</li> <li><input type="checkbox"/> A copy of the LLUR statement if the site is listed on the Register.</li> <li><input type="checkbox"/> If the land is contaminated or potentially contaminated (refer Section 8 of this form) a report from a suitably qualified and experienced practitioner (e.g. consultant experienced in investigating and managing contaminated land) outlining how the works will be managed to avoid potential effects on the health of neighbours and people living and working on the site, and on the environment. A Preliminary Site Investigation or Detailed Site Investigation may be required.</li> </ul>
<ul style="list-style-type: none"> <li><input type="checkbox"/></li> </ul>	<p><b>i. Assessment of Environmental Effects</b></p> <ul style="list-style-type: none"> <li><input type="checkbox"/> An assessment of effects on the environment in accordance with Schedule 4 of the RMA, at a level of detail that corresponds with the scale and significance of the effects that the proposed activity may have on the environment. This assessment may require technical specialist reports on matters such as traffic, heritage, noise, protected trees, contaminated land, geotechnical assessment, landscape and urban design.</li> </ul>

**Note:** This is a preliminary checksheet only. It is general in nature and does not cover all rules in the District Plan, nor is all of the information relevant to all types of application. Please check with the Council if you are unsure of the information requirements for your particular application. Please also note that the detailed technical review of your application may reveal the need for you to supply further information, in which case you will be advised as soon as possible.





# Application for Land Use Consent

## 187 Fitzgerald Avenue, Central City, Christchurch



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**CLIENT**

Fern Fitzgerald Limited

**ADDRESS**

187 Fitzgerald Avenue, Central  
City, Christchurch

**REFERENCE**

8368

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# Report Information

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Reference: 8368

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Title: Application for Land Use Consent

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Client: Fern Fitzgerald Limited

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Filename: 8368 PLN APP 01 - Heritage Building Demolition

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Version: 1


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Date: 13/02/2023

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Prepared by: Sally Elford  


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Reviewed by: Mike Vincent  


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## CHRISTCHURCH OFFICE

T 03 339 0401 – 0800 BLG 123

E [info@blg.co.nz](mailto:info@blg.co.nz)

A 54 Manchester Street  
Christchurch Central 8011

## MARLBOROUGH OFFICE

T 03 578 7299 – 0800 BLG 123

E [info@blg.co.nz](mailto:info@blg.co.nz)

A Unit 7, 68 Seymour Street  
Blenheim 7201

## CROMWELL OFFICE

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E [info@blg.co.nz](mailto:info@blg.co.nz)

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Cromwell 9310



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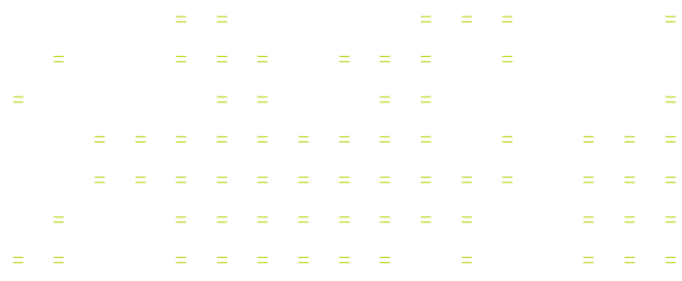
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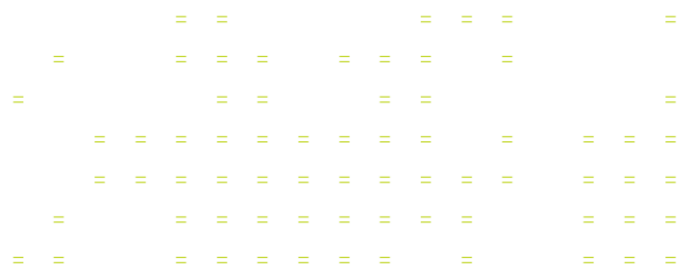
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**Appendix 1: Record of Title**



## Appendix 2: Heritage Impact Assessment



# 1 Summary of application details

## 1.1 Report purpose

This report is an application for land use consent, including an assessment of the actual and potential effects on the environment, to demolish the heritage scheduled building located at 187 Fitzgerald Avenue, Central City, Christchurch. This application has been prepared in accordance with Schedule 4 of the Resource Management Act 1991 ('RMA' or 'the Act').

Applicant: Fern Fitzgerald Limited

Land Owner: Fern Fitzgerald Limited

Owner's Address: 153 Waltham Road, Sydenham, Christchurch, 8023

Site Address: 187 Fitzgerald Avenue, Central City, Christchurch

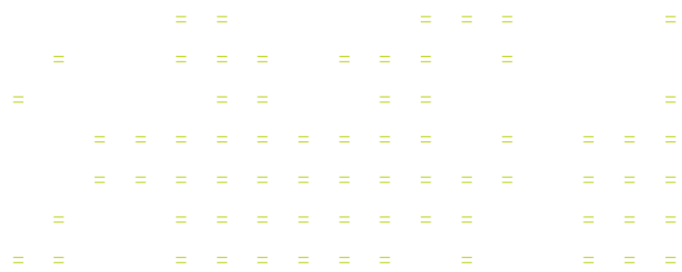
Legal Description: Lot 5 Deposited Plan 1431

Record of Title: CB22A/528

Site Area: 455 m<sup>2</sup>

District Plan Zoning: *Christchurch District Plan ("the Plan")*:  
Zone:  
Residential Central City Zone  
Overlay:  
Central City Building Height 14m Overlay  
Category 3: Lower Noise Level Area  
Central City Outer Zone  
Flood Management Area  
Liquefaction Management Area (LMA)  
Heritage Item (#641)  
Heritage Setting (#376)

Proposed Activity: Land use consent is sought for the demolition of a heritage scheduled building as a **discretionary activity**.



## 2 Application site and surrounding environment

### 2.1 Application site

The application site is located at 187 Fitzgerald Avenue, Central City, Christchurch. It is legally described as Lot 5 Deposited Plan 1431 and contained in Record of Title CB22A/528, which is attached as Appendix 1 to this application. The application site has a total area of 455 m<sup>2</sup>.

The site contains a heritage scheduled building on the corner of Fitzgerald Avenue and Gloucester Street. The two storey timber building has occupied the site since c1900 and has been subject to unlawful occupation following the sequence of Canterbury Earthquakes and is both visually and structurally in a compromised condition. The setting is also scheduled as a heritage item, is currently grassed but unkempt. A large tree is located in the north west corner. Brick and remnant rubble from removed internal chimneys lie on the ground outside the building, otherwise the site is vacant.

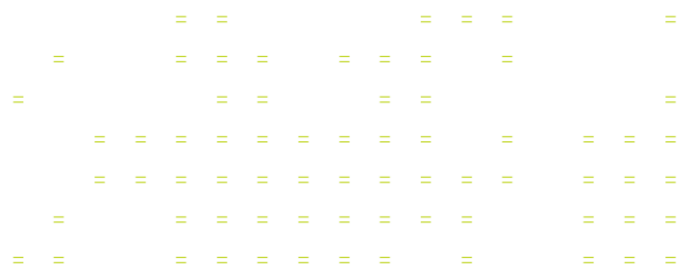
The application site is shown in Figure 1 below.



**Figure 1: Aerial image of application site taken from Canterbury Maps January 2023**

### 2.2 Consent history

Land use consent RMA/2021/3139 was approved 1 December 2022 to allow the construction of 16 residential units on the sites surrounding the application site and for repair of the existing heritage building. Since this was approved the consent holder has sought to progress the repair of the heritage building, however upon a review of the building by a structural engineer it has become apparent the building is uneconomic to repair and the extent of replacement

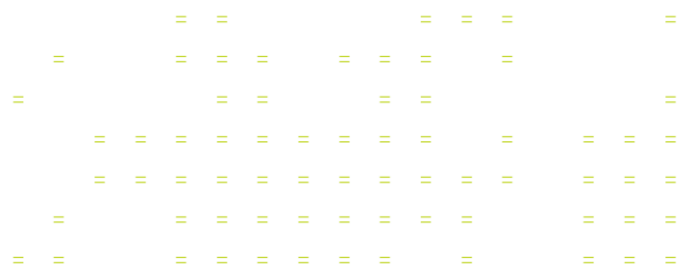


material would significantly compromise and remove remaining heritage fabric to a point where the buildings heritage value would be reduced significantly. A site visit was conducted with Council on 12 December 2022.

### 2.3 Surrounding area

The surrounding area consists of predominantly residential use in varying forms and densities. West of the application site, approximately 130 m, is Christchurch East School. The Avon River is located approximately 400 m north of the application site, providing connection to the Te Ara Otakaro Avon River Trail. The Gloucester-Worcester Park is located approximately 150 m west of the application site on Gloucester Street.

Bus stops are located approximately 100 m west and 237 m east of the application site on Gloucester Street and approximately 235 m north on Fitzgerald Avenue. The Rapanui Shag Rock Cycleway is located approximately 130 m south of the application site on Worcester Street.



### 3 Description of the proposed activity

It is proposed to demolish the existing heritage building. No specific building replacement is proposed at this time. The existing building is scheduled as Significant (Group 2) in the Christchurch District Plan but is not identified on the New Zealand Heritage List, Rarangi Korero.

A Heritage Impact Assessment has been prepared and is included in Appendix 2 of this application. The Heritage Impact Assessment acknowledges that reconstruction and reuse is a preferable outcome to demolition. However, having considered the technical reports required, the Applicant's heritage professional, Mr Vincent acknowledged the undesirable effect the proposal structural upgrade will have on the owner's ability to retain its heritage values and the retention of the building is not considered its most efficient use nor would reconstruction due to the near full replacement of materials.

A Structural Report reviewing the heritage building and the extent of repairs required to bring it up to a usable state for a commercial building is included in the Heritage Impact Assessment (Appendix 2). This report provides a condition survey of the building as it exists presently and structural repair scheme.

Based on the Structural Report a Concept Cost Plan – Rough Order of Costs has also been prepared (Appendix 2). The estimated cost of repair of the heritage building is over 2 million dollars. Is its estimated less than 30% of the original fabric of the building could be retained.

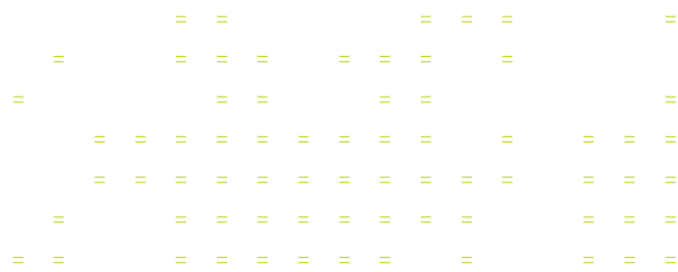
#### 3.1 Earthworks

Earthworks will be required for the complete removal of the buildings foundations as well as removal of the building and any extant footings.

#### 3.2 Other matters

There are no other matters relating to the proposal which would require resource consent. An Archaeological Authority, under the provisions of the Heritage New Zealand Pouhere Taonga Act 2014 will be required for the works to remove the building foundation and record the building prior to demolition.



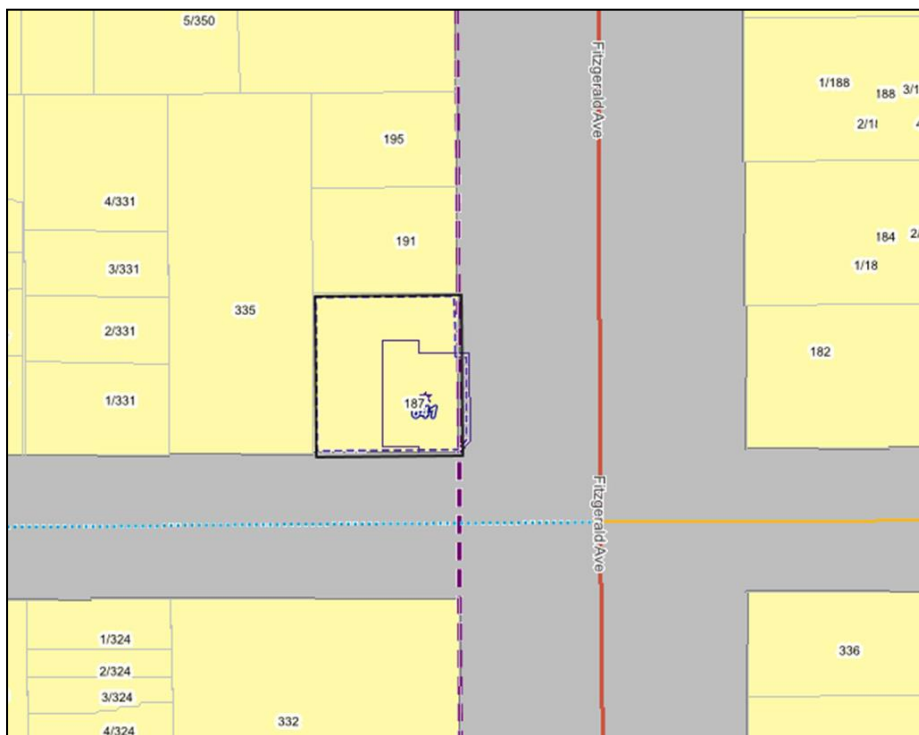


## 4 Planning framework

The Plan contains the relevant planning framework relating to the proposed demolition of a heritage building on the application site.

### 4.1 Zoning

The application site is zoned Residential Central City Zone in the Plan, as shown in Figure 2 below. The site is also contained in the Central City Building Height 14m Overlay, Category 3: Lower Noise Level Area, Central City Outer Zone, Flood Management Area, Liquefaction Management Area (LMA) and contains Heritage Item (#641) and Heritage Setting (#376).



**Figure 2: Excerpt from online Planning Map #32 with the application site identified by a black outline**

The application site is located on the corner of Fitzgerald Avenue, which is classified as a major arterial road, and Gloucester Street, which is classified as a Central City Local Distributor in the Plan.

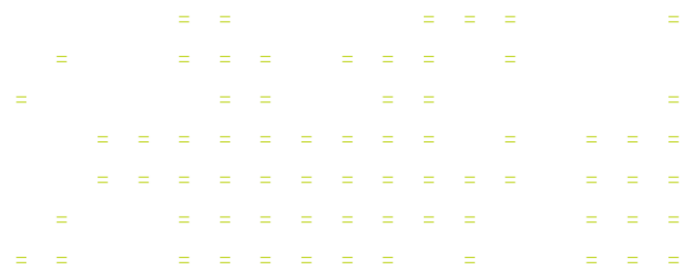
### 4.2 Land use

Pursuant to Rule 9.3.4.1.4 (D2), demolition of a Significant (Group 2) heritage item is a **discretionary activity**. It is noted the application site is not subject to any of the exemptions of Rule 9.3.3 m.

### 4.3 Earthworks

The following is an assessment against the relevant earthworks rules of the District Plan. It is noted as the application site is within the Flood Management Area the application has also been assessed separately under the requirements of Chapter 5.

With respect to earthworks, it is noted under Rule 8.9.3iv. any earthworks subject to an approved building consent where they occur wholly within the footprint of the building (up to 1.8 m from the outer edge of the wall) is exempt



from the activity standards of Rule 8.9.2.1(P1). The removal of the heritage building would not trigger the need for building consent as it is not attached to another building nor is it over three storeys in height therefore there is no exemption of earthworks.

Pursuant to Rule 8.9.2.1(P1) earthworks not for the purpose of the repair of land used for residential purposes and damaged by earthquakes is a permitted activity if the following activity standards are met:

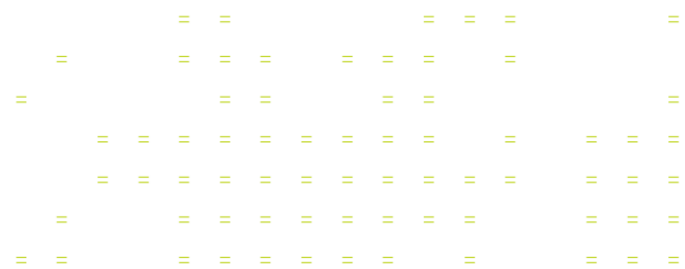
Rule	Proposal	Compliance
<b>Rule 8.9.2.1(P1) Activity Standards</b>		
<i>a. Earthworks shall not exceed the volumes in Table 9 over any 12 month time period. Table 9 for residential zones limits the total volume to 20 m<sup>3</sup>/site.</i>	Earthworks associated with the removal of the existing heritage building foundation are not likely to exceed a total volume of 20 m <sup>3</sup> .	<b>Complies</b>
<i>b. Earthworks in zones listed in Table 9 shall not exceed a maximum depth of 0.6m, other than in relation to farming activities, quarrying activities or permitted education activities.</i>	Earthworks associated with the removal of the existing heritage building foundation are not likely to exceed a depth of 0.6 m.	<b>Complies</b>
<i>c. Earthworks shall not occur on land which has a gradient that is steeper than 1 in 6.</i>	The application site is essentially flat.	<b>N/A</b>
<i>d. Earthworks involving soil compaction methods which create vibration shall comply with DIN 4150 199902 and compliance shall be certified through a statement of professional opinion provided to the Council from a suitably qualified and experienced chartered or registered engineer.</i>	Soil compaction is not anticipated to facilitate construction of the proposed building.	<b>N/A</b>
<i>e. Earthworks involving mechanical or illuminating equipment shall not be undertaken outside the hours of 07:00 – 19:00 in a Residential Zone.</i>	This can be complied with as a condition of consent and is volunteered as such.	<b>Complies</b>
<i>f. Earthworks involving mechanical equipment, other than in residential zones, shall not occur outside the hours of 07:00 and 22:00 except where compliant with NZS 6803:1999.</i>	This can be complied with as a condition of consent and is volunteered as such.	<b>Complies</b>
<i>g. Filling shall consist of clean fill.</i>	This can be complied with as a condition of consent and is volunteered as such.	<b>Complies</b>
<i>h. The activity standards listed in Rule 8.9.2.1 P3, P4 and P5.</i>	These activities are not relevant to the application site.	<b>N/A</b>
<i>i. Earthworks shall not occur within 5 metres of a heritage item or above the volumes contained in Table 9 within a heritage setting listed in Appendix 9.3.7.2.</i>	The application site contains a heritage item and earthworks will take place within a heritage setting.	<b>Does not comply</b>

Given the above assessment, as the earthworks will occur in a heritage setting, the proposed demolition is assessed as a **restricted discretionary activity** pursuant to Rule 8.9.2.3(RD1).

#### 4.4 Activity status

Overall, land use consent is sought for a **discretionary activity** under the Christchurch District Plan due to:

- Rule 9.3.4.1.4(D2) for demolition of a Group 2 heritage building; and
- Rule 8.9.2.3(RD1) for earthworks within a heritage setting.



## 5 Assessment of relevant objectives and policies

Under Schedule 4 Clause 2(g) of the RMA, the following is an assessment of the activity against the relevant objectives and policies of the district plan and of the Canterbury Regional Policy Statement.

### 5.1 Christchurch District Plan

Objective or Policy	Proposal	Assessment
<b>Historic Heritage</b>		
9.3.2.1.1 Objective - Historic heritage	This objective allows for the recognition of the condition of buildings, particularly those that have suffered earthquake damage and the effect of engineering and financial factors on the ability to retain and continue using them. The building has been subject to the forces of the Canterbury Earthquake and has been legally unused for over a decade. The disuse has resulted in material deterioration and damage to essential building and heritage fabric. The proposed demolition recognises the current condition of the building, the financial, and engineering factors in the applicant's ability to retain or reuse the building. This objective also acknowledges in some situations demolition may be justified by reference to the matters in policy 9.3.2.2.8. It is considered in this instance it is appropriate to use this discretion and allow for the demolition of the heritage building.	<b>Consistent</b>
9.3.2.2.8 Policy - Demolition of heritage items	Currently the building is in a structurally vulnerable state, there are significant health and safety issues associated with any potential work within the building itself. As detailed in the Structural Report and the Repair Estimate. The extent of the repair and or replacement work would be of such a scale that the heritage value and integrity of the heritage item would be significantly compromised. It is estimated less than 30% of the original building would be able to be retained. An estimate of costs to repair the building to a usable state is provided in the Heritage Impact Assessment Appendix 2. The costs of repair would meet the unreasonable threshold being in excess of 2 million dollars. The existing building is a Significant (Group 2) building, this is the lower of the two categories provided in the District Plan.  The heritage impact assessment notes:  The building has relied upon a structural bracing system, which combines the internal wall linings, cladding stiffness and diagonal timber bracing. Given most of the linings are damaged or missing and the cladding has severe degradation, there is essentially no dependable bracing system currently in place.  It is recognised the cost to repair the structure is significant and would not represent the most efficient use of resources for the site.	<b>Consistent</b>

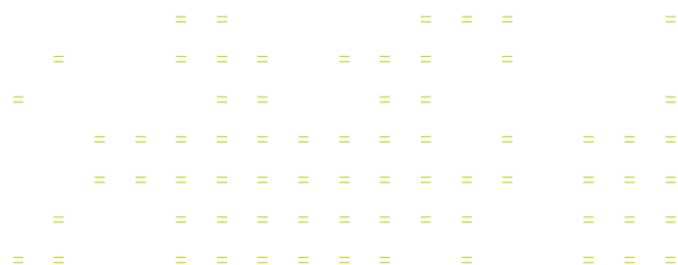
### 5.2 Canterbury Regional Policy Statement

Under sections 73(4) and 75(3)(c) of the RMA, local authorities must ensure their district plans continue to give effect to the relevant regional policy statement. Therefore, it is considered if an activity is consistent with the objectives and policies of the relevant district plan or proposed plan, it is also consistent with the objectives and policies of the regional policy statement.

As determined earlier, the proposed activity is considered to be consistent with the relevant objectives and policies of the Plan and therefore, the proposed activity is considered to be consistent with the objectives and policies of the Canterbury Regional Policy Statement.

### 5.3 Summary

On balance, it is considered the proposed activity is consistent with the relevant objectives and policies of the Plan and CRPS.



## 6 Assessment of environmental effects

In accordance with section 88 of the RMA and the Fourth Schedule, the following is an assessment of the actual and potential effects on the environment arising from the proposed demolition of a heritage building. This assessment includes consideration of the relevant matters set out in Clauses 6 and 7 of the Fourth Schedule.

As a discretionary there are no matters to which Council's discretion is limited.

The potential effects of the proposed demolition can be categorised into the following key areas:

- Heritage effects
- Physical, landscape or visual effects
- Effects on ecological values
- Effects on natural and physical resources
- Natural hazard/hazardous substances risk
- Temporary effects
- Positive effects

### 6.1 Heritage effects

It is noted the District Plan recognises situations where buildings, particularly those that have suffered earthquake damage can be considered on a case-by-case basis. Those matters include, but are not limited to, the current building condition, works required to bring a building up to a standard appropriate for occupation, the level of intervention required and subsequent effects on heritage values. The cost of such works to allow occupation to occur as well as the ability to undertake adaptive reuse, and funding options.

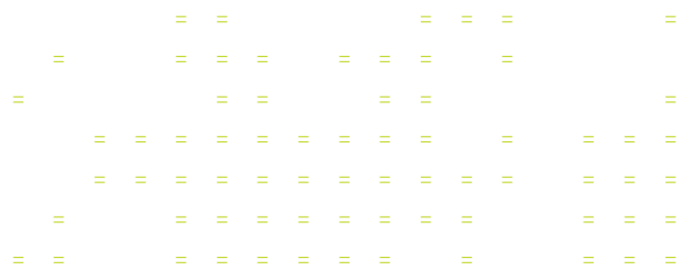
The applicant has provided a structural report and quantity surveying assessment to analyse options. These have demonstrated the physical works and complexities required to structurally upgrade the building as well as an estimate of costs. The applicant has also commissioned a Heritage Impact Assessment which is provided in Appendix 2. The heritage impact assessment recognises the undesirable effect the proposal structural upgrade will have on the owner's ability to retain its heritage values, whilst attempting retention, repair or adaptively reusing the building. In this case, the structural upgrade and retention of the building is not considered its most efficient use nor would reconstruction due to the near full replacement of materials. In consideration of these reports and the existing physical condition of the building, demolition is seen as an appropriate response to a case-by-case situation. Whilst the demolition of the building represents the physical loss of a heritage item, the compromised condition and ongoing vulnerability of the structure poses a risk that is considered inappropriate to the community. The effect of demolition in this case is considered to be no more than minor.

### 6.2 Physical, landscape or visual effects

The demolition of the heritage building will result in a change to the physical streetscape, although given the current state of the building could be considered an improvement.

### 6.3 Effects on ecological values

The application site is highly modified from its natural state being in an urban area and is not identified as having any particular ecological values.



#### 6.4 Effect on natural and physical resources

The proposed demolition will have an adverse effect in that it will result in the loss of a Group 2 heritage building in a City where heritage buildings have already suffered loss and damage due to the earthquakes. The building will be recorded for posterity as part of the Archaeological Authority required under the Heritage New Zealand Pouhere Taonga Act 2014. Notwithstanding this the proposed demolition will result in an adverse effect on the cultural heritage of the City, although to a no more than minor extent.

#### 6.5 Natural hazard/hazardous substances risk

The proposed removal of the existing heritage building will not impact the natural hazard risk of the site, nor result in any hazardous substances risk.

#### 6.6 Temporary effects

Works required for the demolition will be temporary in nature and all on-site works will be managed to avoid or mitigate any potential adverse effects beyond the property boundary and proceed in accordance with the necessary on-site controls. Any temporary effects of the physical works required for the demolition are considered less than minor due to the temporary nature.

#### 6.7 Positive effects

The removal of the heritage building will enable the developer to remove a significant hazard from the site and use the funds which would otherwise be used for the repair of the heritage building to be put towards the development of the site as consented.

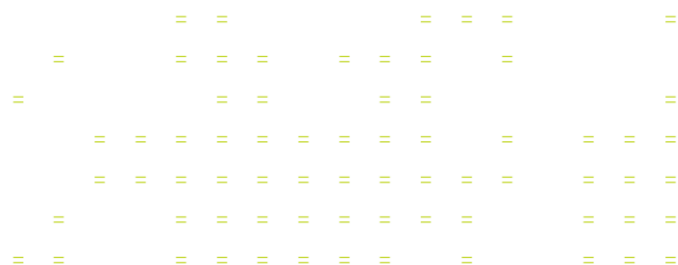
#### 6.8 Potentially affected parties

Under Schedule 4, clause 6(1)(f) of the RMA, an application for resource consent must identify the persons affected by the activity, any consultation undertaken and any response to the views of any person consulted.

In this case the effects are considered below the threshold which would require notification or result in potentially affected parties.

#### 6.9 Effects summary

Overall, it is considered the effects of this proposal on the environment are no more than minor due to the degraded nature of the existing heritage building and the extent to which the heritage fabric would be compromised in order to make the building safe and usable again.



## 7 Statutory framework

### 7.1 Part 2 of the RMA

The Resource Management Act (“RMA” or “the Act”) is the principal legislation for the management of the natural and physical resources of New Zealand. All resource consent applications are subject to the provisions of Part 2 of the Act, which sets out the purpose and principles that guide this legislation.

Section 5 of the RMA states that the purpose of the Act is “to promote the sustainable management of natural and physical resources”.

The term ‘sustainable management’ is defined in the RMA as meaning:

*...managing the use, development, and protection of natural and physical resources in a way, or at a rate, which enables people and communities to provide for their social, economic, and cultural well-being and for their health and safety while;*

- (a) Sustaining the potential of natural and physical resources (excluding minerals) to meet the reasonably foreseeable needs of future generations; and*
- (b) Safeguarding the life-supporting capacity of air, water, soil, and ecosystems; and*
- (c) Avoiding, remedying, or mitigating any adverse effects of activities on the environment.*

The proposed demolition is able to satisfy the purpose and principles of the Act, by adequately mitigating or avoiding any adverse effects on the environment.

Section 6 of the Act requires certain matters to be recognised and provided for in relation to managing the use, development and protection of natural and physical resources. Matter f. is of consideration to this proposal.

- f. the protection of historic heritage from inappropriate subdivision, use, and development:*

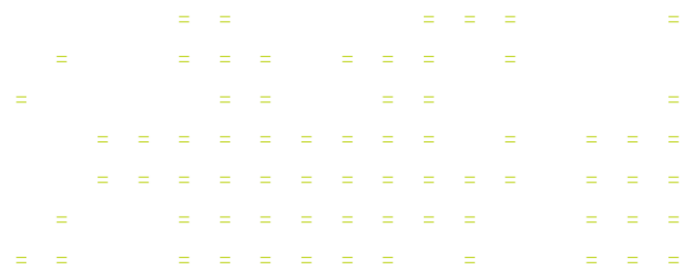
Section 6 f requires decision makers to protect historic heritage from inappropriate subdivision, use and development. In determining what is inappropriate the applicant has provided reports detailing the structural condition of the building along with options for structural repair. The works required to bring the building back to a habitable standard, whilst retaining heritage fabric are considerable. The reports indicate the majority of materials would require replacement with new foundations being required. Coupled with the structural reports, the QS estimates provides a realistic cost to achieve replacement. In this situation the cost of repair or replacement are significantly high. When balanced against the structurally compromised state of the building and the internal damage suffered through the illegal occupation of the building it is considered that the demolition of the building, whilst regrettable is not inappropriate.

Section 7 of the Act lists other matters for which particular regard shall be given to. Subsections (b), (c) and (f) are considered to be relevant to the assessment of the consent application:

- (b) the efficient use and development of natural and physical resources:*
- (c) the maintenance and enhancement of amenity values:*
- (f) maintenance and enhancement of the quality of the environment:*

The proposed demolition will allow the applicant to redevelop the site as consented, without the significant economic burden of repairing the dilapidated heritage building. The removal of the building will improve the streetscape and allow additional space for redevelopment of the site. This will contribute to the maintenance and enhancement of a residential setting. This is considered an efficient use of land in an existing urban area.

Section 8 requires the Council to take into account principles of the Treaty of Waitangi. It states:



*In achieving the purpose of this Act, all persons exercising functions and powers under it, in relation to managing the use, development, and protection of natural and physical resources, shall take into account the principles of the Treaty of Waitangi (Te Tiriti o Waitangi).*

It is considered the proposal will not be inconsistent with the principles of the Treaty of Waitangi, including but not limited to, partnership, participation and protection.

**7.2 Other relevant documents**

Under Schedule 4, Clause 2(g) of the RMA, the following is an assessment of the activity against the relevant provisions of any other relevant statutory documents (other than district plans or proposed district plans).

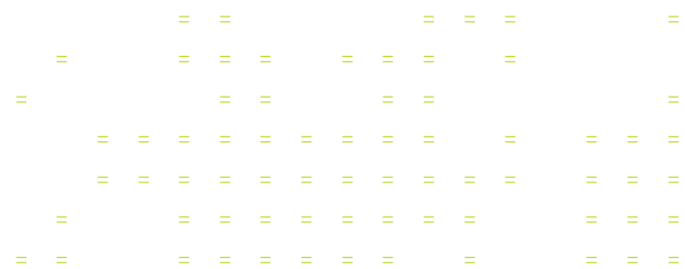
**National Policy Statement on Urban Development 2020**

The National Policy Statement for Urban Development (NPS-UD) 2020 sets out the objectives and policies for planning for well-functioning urban environments under the Resource Management Act 1991 and requires decision makers to have particular regard to the following matters:

- (a) *the planned urban built form anticipated by those RMA planning documents that have given effect to this National Policy Statement*
- (b) *that the planned urban built form in those RMA planning documents may involve significant changes to an area, and those changes:*
  - i. *may detract from amenity values appreciated by some people but improve amenity values appreciated by other people, communities, and future generations, including by providing increased and varied housing densities and types; and*
  - ii. *are not, of themselves, an adverse effect*
- (c) *the benefits of urban development that are consistent with well-functioning urban environments (as described in Policy 1)*
- (d) *any relevant contribution that will be made to meeting the requirements of this National Policy Statement to provide or realise development capacity*
- (e) *the likely current and future effects of climate change.*

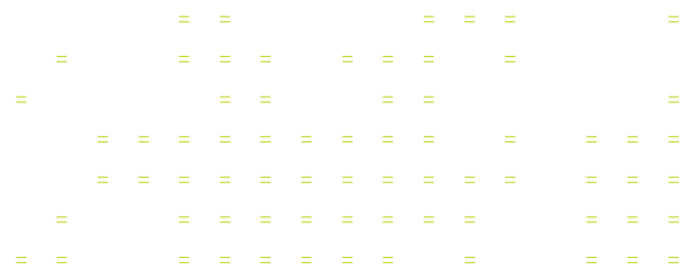
The NPS-UD 2020 contains objectives and policies that councils must give effect to in their resource management decisions, the following is an assessment of the objectives and policies in relation to the proposed development:

<b>Objective/Policy</b>	<b>Proposal</b>	<b>Assessment</b>
<i>Objective 1: New Zealand has well-functioning urban environments that enable all people and communities to provide for their social, economic, and cultural wellbeing, and for their health and safety, now and into the future.</i>	The proposed demolition will allow an approved development to proceed without the risk or uncertainty of the heritage building having to be upgraded or repaired. This will provide for the economic well-being of the applicant and the removal of a dilapidated building from the site, improving the streetscape.	<b>Consistent</b>
<i>Objective 2: Planning decisions improve housing affordability by supporting competitive land and development markets.</i>	The removal of the heritage building will allow the corner of the site to be redeveloped for housing and avoid any potential conflicts between commercial and residential use on the site.	<b>Consistent</b>
<i>Objective 3: Regional policy statements and district plans enable more people to live in, and more businesses and community services to be located in, areas of an urban environment in which one or more of the following apply:</i> <ul style="list-style-type: none"> <li>a) <i>the area is in or near a centre zone or other area with many employment opportunities</i></li> <li>b) <i>the area is well-serviced by existing or</i></li> </ul>	There is currently a very high demand for affordable housing within established neighbourhoods of Christchurch. This proposal will indirectly add to the pool of available and affordable housing by increasing the area which could be redeveloped.	<b>Consistent</b>



Objective/Policy	Proposal	Assessment
<p><i>planned public transport</i></p> <p>c) <i>there is high demand for housing or for business land in the area, relative to other areas within the urban environment.</i></p>		
<p><i>Objective 4: New Zealand's urban environments, including their amenity values, develop and change over time in response to the diverse and changing needs of people, communities, and future generations.</i></p>	<p>The application site is within a residential zone rather than a mixed use zone and the proposed demolition will allow for more residential units to be constructed on the site.</p>	<b>Consistent</b>
<p><i>Policy 1: Planning decisions contribute to well-functioning urban environments, which are urban environments that, as a minimum:</i></p> <p><i>(a) have or enable a variety of homes that:</i></p> <p><i>(i) meet the needs, in terms of type, price, and location, of different households; and</i></p> <p><i>(ii) enable Māori to express their cultural traditions and norms; and</i></p> <p><i>(b) have or enable a variety of sites that are suitable for different business sectors</i></p> <p><i>(c) in terms of location and site size; and</i></p> <p><i>(d) have good accessibility for all people between housing, jobs, community services, natural spaces, and open spaces, including by way of public or active transport; and</i></p> <p><i>(d) support, and limit as much as possible adverse impacts on, the competitive operation of land and development markets; and</i></p> <p><i>(e) support reductions in greenhouse gas emissions; and</i></p> <p><i>(f) are resilient to the likely current and future effects of climate change.</i></p>	<p>The proposed demolition will allow greater area of land for residential development as part of the overall redevelopment of the site in a location close to the city centre.</p>	<b>Consistent</b>
<p><i>Policy 3: In relation to tier 1 urban environments, regional policy statements and district plans enable:</i></p> <p><i>in all other locations in the tier 1 urban environment, building heights and density of urban form commensurate with the greater of:</i></p> <p><i>(i) the level of accessibility by existing or planned active or public transport to a range of commercial activities and community services; or</i></p> <p><i>(ii) relative demand for housing and business use in that location.</i></p>	<p>As previously discussed, demand for housing within existing urban areas near the centre of the city are in high demand. The proposed demolition will allow for increased residential use of the site in an appropriately located and zoned for the typology of units proposed.</p>	<b>Consistent</b>
<p><i>Policy 6: When making planning decisions that affect urban environments, decision-makers have particular regard to the following matters:</i></p> <p><i>(a) the planned urban built form anticipated by those RMA planning documents that have given effect to this National Policy Statement</i></p> <p><i>(b) that the planned urban built form in those RMA planning documents may involve significant</i></p>	<p>The application site is anticipated for residential use. The removal of the heritage building given its current state is considered to improve neighbourhood amenity and will enable the holistic redevelopment of the site for residential purposes.</p>	<b>Consistent</b>





Objective/Policy	Proposal	Assessment
<p><i>changes to an area, and those changes:</i></p> <p><i>(i) may detract from amenity values appreciated by some people but improve amenity values appreciated by other people, communities, and future generations, including by providing increased and varied housing densities and types; and</i></p> <p><i>(ii) are not, of themselves, an adverse effect the benefits of urban development that are consistent with well-functioning</i></p> <p><i>(c) the benefits of urban development that are consistent with well-functioning urban environments (as described in Policy 1)</i></p> <p><i>(d) any relevant contribution that will be made to meeting the requirements of this National Policy Statement to provide or realise development capacity</i></p> <p><i>(e) the likely current and future effects of climate change.</i></p>		

This application seeks the removal of a heritage building in a heritage setting. This is due to the current state of the building and the significant costs (time and economic) which would be required to bring the building up to a suitable standard. The removal of the building will allow additional residential units to be added to the site, in an existing urban area, close to the city centre without conflicting with potentially non-compatible (commercial uses).

**National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health 2011**

The National Environmental Standard for Assessing and Managing Contaminants in Soil to Protect Human Health (NESCS) requires sites subject to a disturbance of soil to be assessed to determine if:

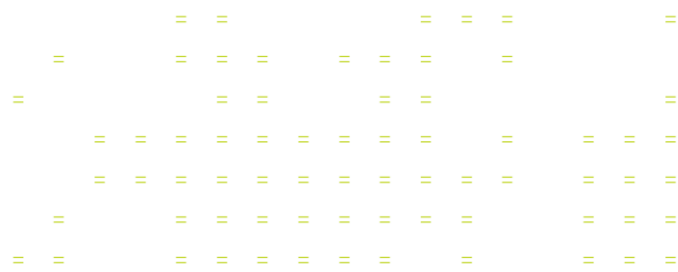
- (a) an activity or industry described in the HAIL is being undertaken on it; and/or*
- (b) an activity or industry described in the HAIL has been undertaken on it; and/or*
- (c) it is more likely than not that an activity or industry described in the HAIL is being or has been undertaken on it.*

The site has been investigated on Environment Canterbury’s Listed Land Use Register (LLUR). The LLUR investigations are included in the approved land use consent. The property at 187 Fitzgerald Avenue is identified as a HAIL site due to the presence of an underground storage tank for fuel (A17). This was addressed during the processing of RMA/2021/3139 and a condition of consent requiring further testing imposed. A similar condition could be imposed on the demolition consent, if required. Soil sampling is a permitted activity under clause 8(2) of the NESCS. Depending on the results of the soil testing, if required, the proposed soil disturbance will either be a controlled or restricted discretionary activity under the NESCS.

**7.3 Consideration of applications (Section 104-104D)**

Section 104 sets out those matters that must be considered when assessing an application for a resource consent. Subject to Part 2 of the Act, Section 104(1) requires a consent authority to have regard to the following matters:

- (a) any actual and potential effects on the environment of allowing the activity; and*



- (ab) *any measure proposed or agreed to by the applicant for the purpose of ensuring positive effects on the environment to offset or compensate for any adverse effects on the environment that will or may result from allowing the activity; and*
- (b) *any relevant standards of-*
  - (i) *a national environment standard;*
  - (ii) *other regulations;*
  - (iii) *a national policy statement;*
  - (iv) *a New Zealand coastal policy statement;*
  - (v) *regional policy statement or proposed regional policy statement;*
  - (iv) *a plan or proposed plan; and*
- (c) *any other matter the consent authority considers relevant and reasonably necessary to determine the application.*

Assessment against these matters has been provided within this application above.

Section 104B of the Act states in relation to the determination of applications for discretionary or non-complying activities:

*After considering an application for a resource consent for a discretionary activity or non-complying activity, a consent authority—*

- (a) *may grant or refuse the application; and*
- (b) *if it grants the application, may impose conditions under Section 108.*

As a discretionary activity consent may be granted.

## 7.4 Notification

### Public notification assessment

None of the criteria listed in section 95A(3) that require public notification are relevant to this proposal.

None of the criteria listed in section 95A(5) precluding public notification are relevant to this proposal.

Pursuant to section 95A(8), the proposal is not subject to a rule or national environmental standard that requires public notification and, as assessed in this application, any potential or actual adverse effects are considered to be no more than minor.

Pursuant to section 95A(9)(b), there are considered to be no special circumstances relating to the application that warrant public notification in this case due to the extreme state of disrepair.

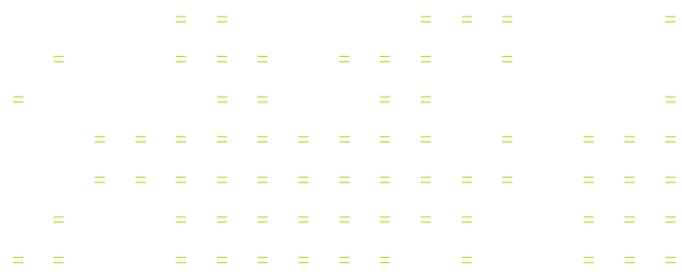
### Limited notification assessment

None of the persons listed in section 95B(3) are considered to be affected persons in relation with this application.

None of the criteria listed in section 95B(6) apply to this proposal.

Under section 95B(7), and in accordance with section 95E, no persons are considered to be adversely affected by the proposal and therefore, no persons have been consulted.

Pursuant to section 95B(10)(b), there are considered to be no special circumstances relating to the application that warrant limited notification.



## 8 Conclusion

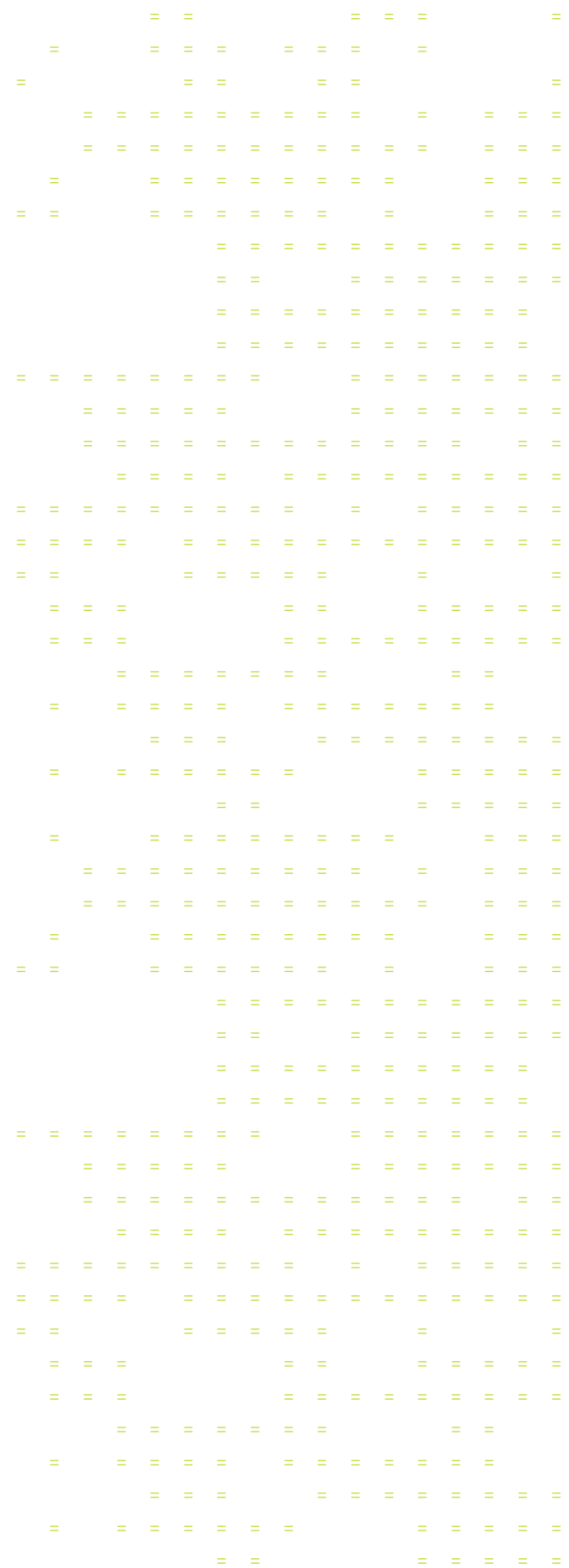
This application seeks land use to demolish a building identified as a Group 2 heritage building under the Christchurch District Plan.

The proposed activity is a **discretionary activity** under the Plan due to the building being listed as a heritage item in a heritage setting and earthworks within a heritage setting.

It has been demonstrated by the preceding assessment that the effects on the environment as a result of this proposal will be no more than minor, due to the extent of the existing damage to the building and the significant costs estimated to repair and replace, which would significantly compromise the heritage fabric and value of the building. In reality without removing the building, it is likely to sit as is due to the considerable economic investment which would be required to make it safe and usable again. Having a dilapidated building present impacts the amenity and perceived safety of the neighbourhood, while demolition is not the ideal outcome, it is given the circumstances, the most practical one.

Land use may be granted without the need for notification.

# Appendix 1: Record of Title





**RECORD OF TITLE**  
**UNDER LAND TRANSFER ACT 2017**  
**FREEHOLD**  
**Search Copy**



  
R.W. Muir  
Registrar-General  
of Land

**Identifier** **CB22A/528**  
**Land Registration District** **Canterbury**  
**Date Issued** 18 December 1980

**Prior References**  
CB182/136

---

**Estate** Fee Simple  
**Area** 455 square metres more or less  
**Legal Description** Lot 5 Deposited Plan 1431  
**Registered Owners**  
Fern Fitzgerald Limited

---

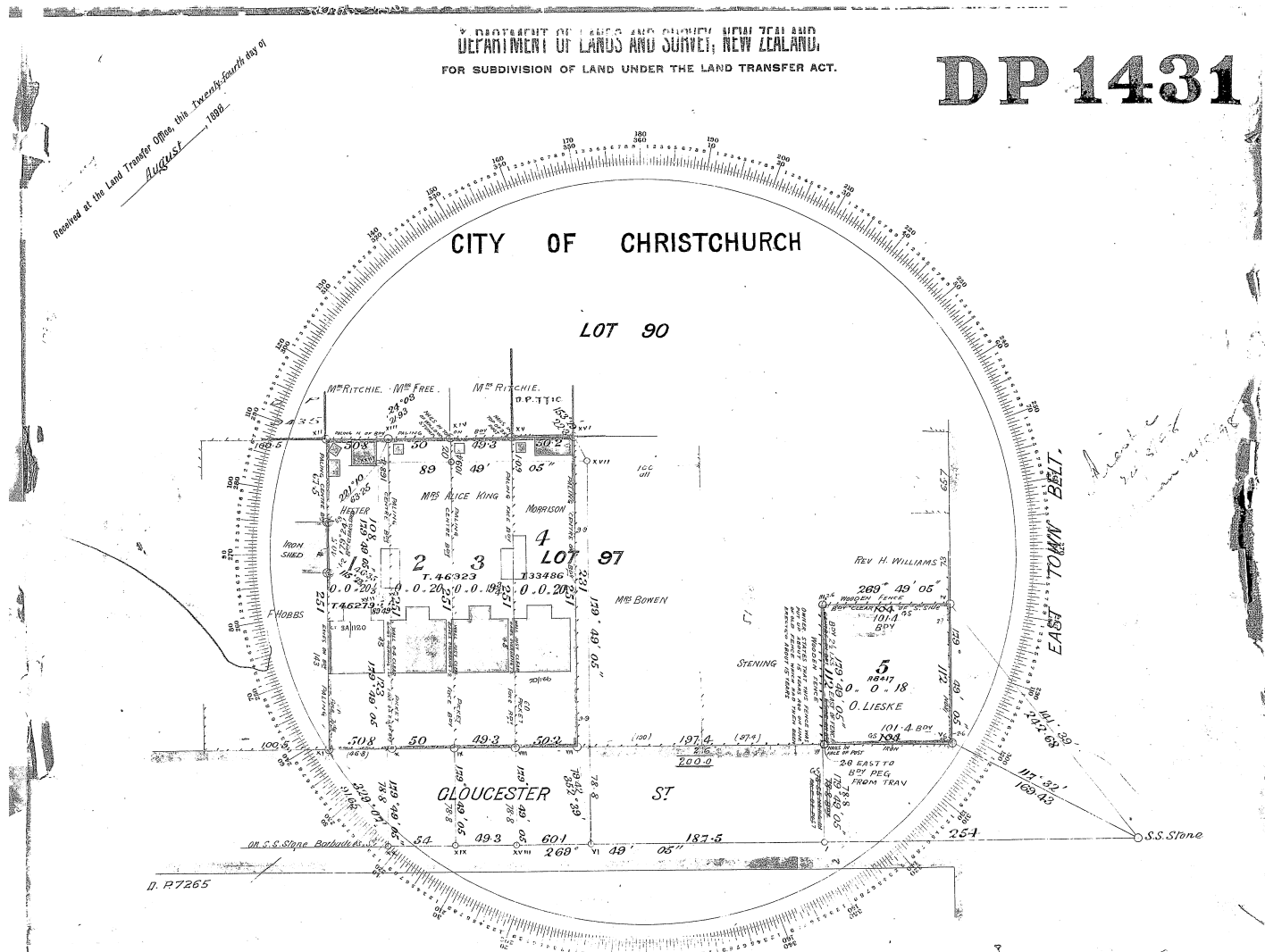
**Interests**

12621196.2 Mortgage to Phillip Julian Bailey and Toniann Maree Bailey - 5.12.2022 at 9:05 am

# DP 1431

DEPARTMENT OF LANDS AND SURVEY, NEW ZEALAND.  
FOR SUBDIVISION OF LAND UNDER THE LAND TRANSFER ACT.

Received at the Land Transfer Office, this Twenty-fourth day of August, 1892.



Approved:  
*J. H. [Signature]*  
 Chief Surveyor.  
 25.11.18

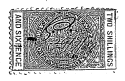
Plan of Part Lot 97 Ch Ch Town Res  
 Surveyed for O. Lieske Esq  
 by Geo Slater

July 1892

Scale: 1/2 chains to an inch.

Approved  
*John [Signature]*  
 By his Attorney,  
*Arthur [Signature]*  
 By his Attorney,  
*John [Signature]*  
 By his Attorney,  
*John [Signature]*  
 By his Attorney,  
*John [Signature]*  
 By his Attorney,  
*Otto Lieske*

Registered proprietors



DECLARATION FOR SUBDIVISION OF LAND UNDER THE LAND TRANSFER ACT.

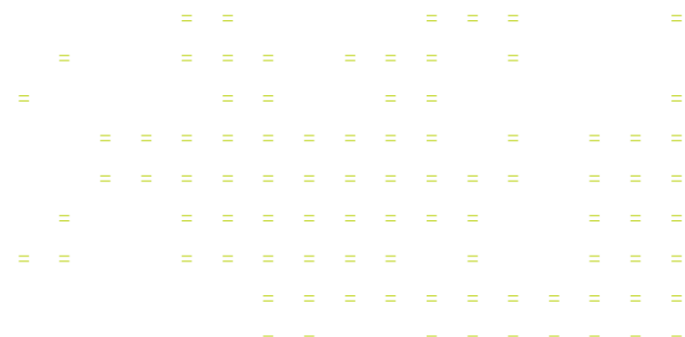
I HEREBY declare that this plan has been made from surveys executed by me, and that both plan and survey are correct, and have been made in accordance with the regulations of the Surveyor-General, signed the seventeenth day of December, 1880: And I make this solemn declaration conscientiously believing the same to be true, and by virtue of the provisions of an Act of the General Assembly of New Zealand entitled "The Justices of the Peace Act, 1882."

Declared at *Ch Ch* this *29th* day of *July*, one thousand eight hundred and ninety-two, before me,

*W. H. [Signature]*  
 A Justice of the Peace for the Colony of New Zealand.

664

# Appendix 2: Heritage Impact Assessment



# Heritage Impact Assessment - Commercial Building and Setting

187 Fitzgerald Avenue, Central City, Christchurch



---

**CLIENT**

Fern Fitzgerald Limited

**ADDRESS**

187 Fitzgerald Avenue, Central City, Christchurch

**REFERENCE**

8368



# Report Information

Reference: 8368

Title: Heritage Impact Assessment  
Commercial Building and  
Setting

Client: Fern Fitzgerald Limited

Filename: 8368-PLN-RPT-01-Heritage  
Assessment

Version: 1

Date: 14/02/2023

Prepared by: Mike Vincent  
*M. Vincent.*

Reviewed by: Sally Elford  
*S. Elford.*

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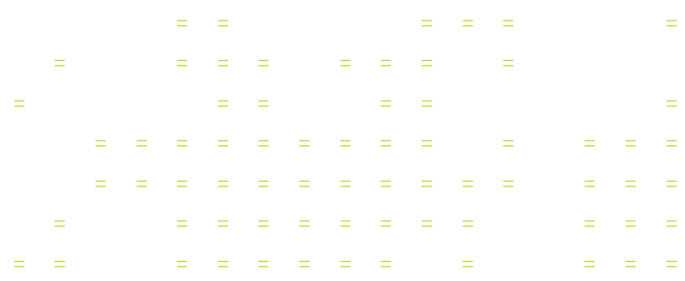
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Cromwell 9310

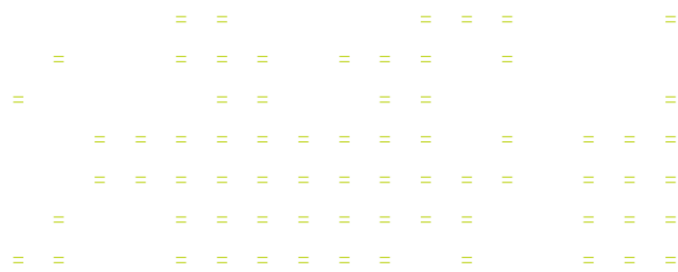


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Appendix 1: Tetrad structural report

Appendix 2: Logic Group Costings

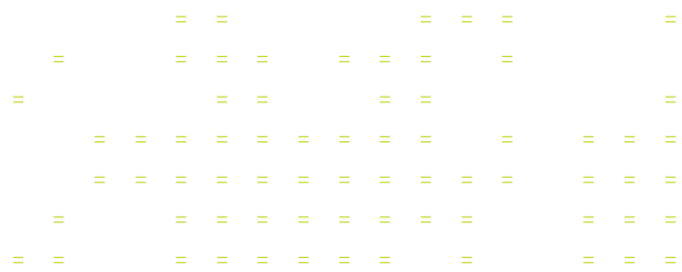


# 1 Summary of application details

## 1.1 Report purpose

This report is an assessment of the actual and potential effects of the demolition of Heritage Item #641 located in Heritage Setting #376 located at 187 Fitzgerald Avenue, Central City, Christchurch.

Applicant:	Fern Fitzgerald Limited
Land Owner:	Fern Fitzgerald Limited
Owner's Address:	153 Waltham Road, Sydenham, Christchurch, 8023
Site Address:	187 Fitzgerald Avenue, Central City, Christchurch
Legal Description:	Lot 5 DP 1431
Record of Title:	CB22A/528
Site Area:	455 m <sup>2</sup>
District Plan Zoning:	<i>[District Plan]</i> ("the Plan"): Zone: Residential Central City Zone Overlay: Central City Building Height 14m Overlay Category 3: Lower Noise Level Area Central City Outer Zone Flood Management Area Liquefaction Management Area (LMA) Heritage Item (#641) Heritage Setting (#376)



## 2 Application site

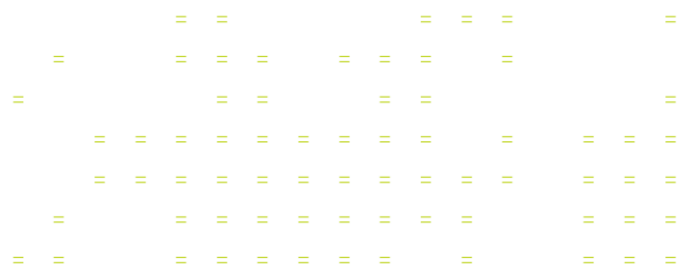
### 2.1 Introduction

Baseline Group have been engaged by the Applicant, Fern Fitzgerald Limited, to provide a report on the heritage values of the commercial building and setting at 187 Fitzgerald Avenue Christchurch. The site is located on the corner of Fitzgerald Avenue and Gloucester Street. The traditional pedestrian access was located on the chamfered corner of these two roads.

The commercial building is scheduled as a Significant heritage item (#641) in Appendix 9.3.7.2 in the Christchurch District Plan with the setting scheduled as item #376. The site constitutes an archaeological site under the provisions of the Heritage New Zealand Pouhere Taonga Act 2014. The application site is shown in Figure 1 below.



**Figure 1: Aerial image of application site taken from Christchurch District Plan, aerial map reference 313, captured 2014, published 30/10/2017**



## 3 Heritage values

The following information, setting out the cultural heritage significance, is sourced from the Christchurch District Plan Listed Heritage Place, Heritage Assessment – Statement of Significance Heritage Item 641.

### 3.1 Historical and social significance

*Historical and social values that demonstrate or are associated with: a particular person, group, organisation, institution, event, phase or activity; the continuity and/or change of a phase or activity; social, historical, traditional, economic, political or other patterns.*

The commercial building at 187 Fitzgerald Avenue has social and historical significance as a late Victorian combination shop and dwelling. It was built in c1900 for Otto Lieske, a land agent (c1844-1922). Lieske had purchased the site in 1894 and after the building's construction Lieske's wife Harriet (nee Fitzsimmons, c.1852-1945) moved her store from premises across Gloucester Street into the new building. It remained in the hands of the Lieske family, who lived above their store, until 1968. The building at 187 Fitzgerald Avenue then became a shirt factory and later an audio/television repair store. The building was damaged in the 2010 - 2011 earthquakes and remains boarded up.

### 3.2 Cultural and spiritual significance

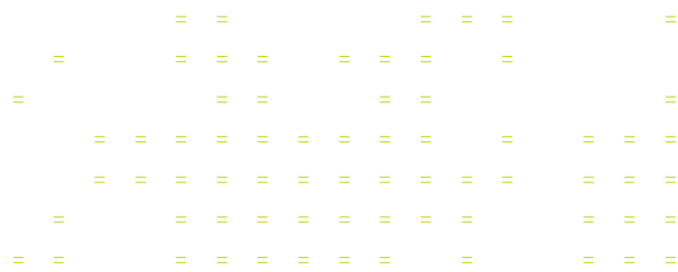
*Cultural and spiritual values that demonstrate or are associated with the distinctive characteristics of a way of life, philosophy, tradition, religion, or other belief, including: the symbolic or commemorative value of the place; significance to Tangata Whenua; and/or associations with an identifiable group and esteemed by this group for its cultural values.*

The building at 187 Fitzgerald Avenue has cultural significance as a demonstration of the way of life of 19th and 20th century retailers, who commonly lived above or beside their business premises. The building demonstrates a societal cultural pattern of generational ownership and small-scale retailing that was once prevalent in the City. Such shops served householders who lived within walking distance. Until the mid-20th century, most people bought their daily requirements from a neighbourhood corner store such as this. Frequently the proprietor lived in adjacent accommodation, either above or behind the shop. From the 1970s, however, changes in the way people shopped saw a decline in this mode of retailing, and comparatively few such stores survive with the original use today.

### 3.3 Architectural and aesthetic significance

*Architectural and aesthetic values that demonstrate or are associated with: a particular style, period or designer, design values, form, scale, colour, texture and material of the place.*

The building at 187 Fitzgerald Avenue has architectural significance as a representative example of a building type commonly found in suburban centres and New Zealand towns between 1870 and 1920. It is a two-storey timber building with a hipped roof and commercial classical detailing, including engaged pilasters, a string course, cornice and parapet, and a mix of paired and single sash windows with corbelled hoods. The 'corner shop' sub-type, with its chamfered corner, was employed just as frequently for hotels and banks, as it was for retail premises. As it stands today, 187 Fitzgerald Avenue is a relatively plain flush-weatherboard building with little architectural pretension, other than brackets under the eaves. The building may have had a veranda on the road frontage. Some original internal detail remains. Corner shops of a similar vintage are also at 147 and 167 Fitzgerald Avenue. The former is also a listed heritage item.



### 3.4 Technological and craftsmanship significance

*Technological and craftsmanship values that demonstrate or are associated with: the nature and use of materials, finishes and/or technological or constructional methods which were innovative, or of notable quality for the period.*

The building at 187 Fitzgerald Ave has technological and craftsmanship significance for what it may reveal of late Victorian timber construction methodologies, materials, fixtures and fittings.

### 3.5 Contextual significance

*Contextual values that demonstrate or are associated with: a relationship to the environment (constructed and natural), a landscape, setting, group, precinct or streetscape; a degree of consistency in terms of type, scale, form, materials, texture, colour, style and/or detail; recognised landmarks and landscape which are recognised and contribute to the unique identity of the environment.*

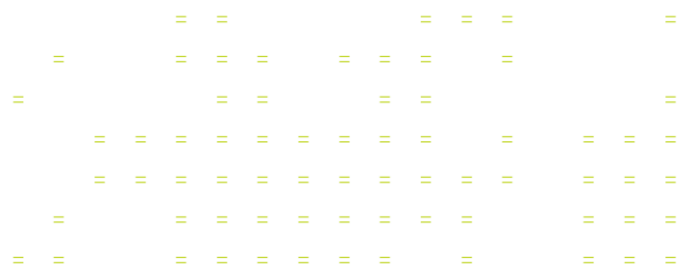
The commercial building has contextual significance for its contribution to the historic streetscape of Fitzgerald Avenue. The site at 187 Fitzgerald Avenue is set within a mix of commercial and residential buildings, including older housing built between the 1870s and the 1920s and modern flats. Further south on the Hereford and Worcester Street corners are other Victorian/Edwardian corner shops. The eastern quadrant of the inner city saw considerable residential development in the late 19th century and by 1900 half the street corners on the western side of Fitzgerald Avenue contained shops serving this population. The 187 Fitzgerald Avenue site is one of the few still extant. Other corner shop buildings remain around the city, although most are smaller in scale. The 187 Fitzgerald Avenue building is situated immediately adjacent to the street frontages of a small parcel of land on the northwest corner of Fitzgerald Avenue and Gloucester Street. The original building, with a later single storey section added at the rear, occupies the greater part of the land parcel. Because of its scale and prominent position on the west side of Fitzgerald Avenue, one of the four town belts that originally defined the city of Christchurch, the building has some landmark significance.

### 3.6 Archaeological and scientific significance

*Archaeological or scientific values that demonstrate or are associated with: the potential to provide information through physical or scientific evidence an understanding about social historical, cultural, spiritual, technological or other values of past events, activities, structures or people.*

The building at 187 Fitzgerald Avenue and its setting are of archaeological significance because they have the potential to provide archaeological evidence relating to past construction methods and materials, and human activity on the site, including that which occurred before 1900. Lambert's 1877 map 'f' the central city shows a small structure on this property, which is located to the east of Christchurch East School (est. 1873).

Baseline Group agree with the findings and assessment of the statement of significance.



## 4 Structural repair scheme

Baseline Group visited the site on 12 December 2022. During the visit we walked around the perimeter of the building and investigated the interior ground floor and second floor, as safety allowed. The structural report by Tetrad, dated 19 January 2023, attached as Appendix 1 sets out the seismic state of the building and describes the requirements to re-instate the building to a usable condition. Table 1 of this report outlines the elements and condition of the building, which has been legally unoccupied since the sequence of Canterbury earthquakes in 2011.

Following the site visit, Baseline Group recognise the description and concur with the findings summarised in Table 1 of the Tetrad report.

### 4.1 Proposed substructure repair

The proposed upgrade work involves significant changes to the existing structure in order to achieve an acceptable structural state, weathertightness and stability of the existing building. The existing foundation system requires full replacement due to risk of future liquefaction damage on site. Consequently, the existing building would require lifting to enable a suitable foundation to be put in place. This would compromise the structure significantly. Options for replacement would include a shallow concrete slab, or a concrete waffle slab system or a timber subfloor with perimeter concrete foundation wall.

### 4.2 Structural strengthening

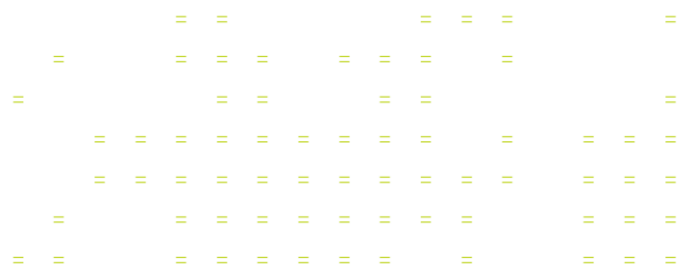
The building has relied upon a structural bracing system, which combines the internal wall linings, cladding stiffness and diagonal timber bracing. Given most of the linings are damaged or missing and the cladding has severe degradation, there is essentially no dependable bracing system currently in place. Therefore, it is considered to be of high risk of collapsing in a moderate earthquake. It would be possible to increase the structural capacity of the building to current code requirements, however this would be at the expense of existing heritage fabric.

The Tetrad report notes the lath and plaster is compromised in locations and there is internal fire damage to the ceilings of both floor levels. Following the site visit it was clear the building had been subject to unauthorized occupation, which is likely to have contributed to fire damage, water ingress and general compromise to any remaining internal heritage fabric including timber floors, timber window frames and doors.

In summary the building would need to be stripped out in order to achieve upgrades. This would involve significant change to any remaining original heritage fabric as a result of structural repair scheme.

### 4.3 Costings

The applicant has obtained a concept cost plan – rough order of costs from Logic Group, dated January 2023. These are attached as Appendix 2. We do not provide an assessment of these costs.



## 5 Adaptive reuse

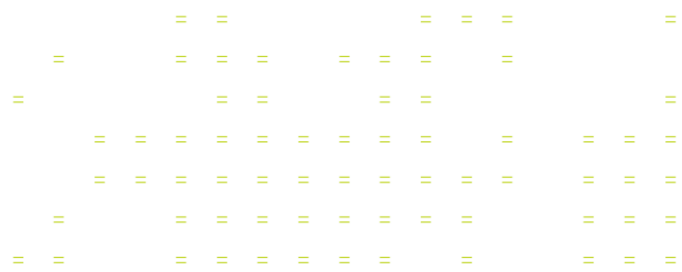
The ICOMOS New Zealand Charter 2010 describes adaption as *"... the process(es) of modifying a place for a compatible use while retaining its cultural heritage value. Adaptation processes include alteration and addition"*.

It is recognised undertaking adaptive reuse of a building will enable its ongoing use or allow for a new use to occur. This can provide financial support to offset and facilitate upgrade works. It is noted in this instance the level of intervention required to take the building to a point of adaptive reuse is considerable and would significantly compromise any extant heritage fabric. It is further recognised reconstruction based on replication is possible, however reconstruction would constitute near full replacement of materials, both at a foundation level and cladding, internal and external, which is not considered best practice.

### 5.1 Mitigation measures

It would be suitable to provide a photographic record of the building prior to any deconstruction and during deconstruction. This would provide opportunities for education and awareness of heritage values of the site. It is understood the building will be recorded as part of the archaeological assessment required for any removal of a pre-1900's building.





## 6 Conclusion

In conclusion the building at 187 Fitzgerald Avenue is a *Significant* building scheduled in the Christchurch District Plan and would constitute an archaeological site under the provisions of the Heritage New Zealand Pouhere Taonga Act 2014.

The heritage values of the site cover a range of attributes from historical, architectural to contextual. It has been a feature of the Gloucester Street, Fitzgerald Avenue streetscape since 1900. However, regrettably the building was subject to damage following the sequence of Canterbury earthquakes and has been legally unoccupied for over a decade, whilst a decision on its future is made. The building has been subject to water ingress and degradation. The applicant is now in a position where the evidence provided to them through specialist's reports has elevated the option to demolish the building as the most feasible way forward.

In reviewing the information presented, undertaking a site visit and acknowledging the impact of the sequence of earthquakes, it is recognised the undesirable effect the proposal structural upgrade will have on the owner's ability to retain its heritage values, whilst attempting retention, repair or adaptively reusing the building. In this case, retention of the building is not considered its most efficient use nor would reconstruction due to the near full replacement of materials. A more feasible option presents as full deconstruction, with appropriate mitigation to account for removed heritage values.

# Appendix 1: Tetrad structural report



**Tetrad.**  
Quality by Design

---

## STRUCTURAL REPORT

---


187 Fitzgerald Ave, Christchurch

Prepared For: Fern Fitzgerald Limited  
Project Number: 22360  
Issue: 1  
Date: 19 January 2023

Tetrad Consulting Limited  
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71 Peterborough Street, Christchurch  
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---

## DOCUMENT CONTROL

Prepared By:		<b>Alex Loye</b> BE(Hons), CEngNZ, CPEng (Structural)
Limitations:	This report has been prepared on behalf of and for the exclusive use of the Client, and is subject to and issued in accordance with the agreement between the Client and Tetrad Consulting Ltd. Tetrad Consulting Ltd accepts no liability or responsibility whatsoever for any use of or reliance upon this report by any third party. Any copying of this report to external parties requires the permission of the Client and Tetrad Consulting Ltd.	

## DOCUMENT HISTORY

Revision	Date	Notes
A	19 January 2023	Review

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# 1 General

## 1.1 Purpose of this Report

Tetrad Consulting Ltd has been engaged by Fern Fitzgerald Ltd to undertake a structural review of the existing building at 187 Fitzgerald Ave and identify what structural repairs are required to reinstate the building to a working condition.

## 1.2 The Site

The building is located in the South-East corner of a larger proposed residential development site in central Christchurch. The figure below shows the proposed multi-unit residential development site plan and the location of the subject building.

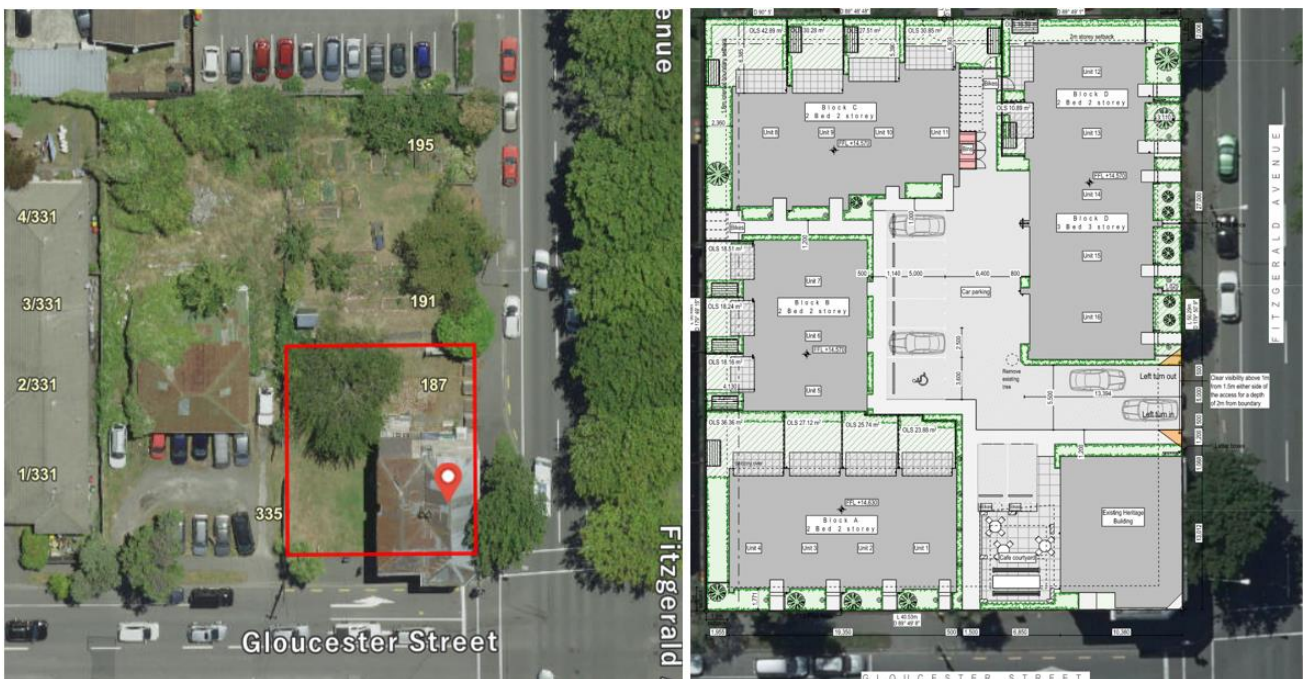


Figure 1: Existing and proposed site

## 1.3 Existing Building Description

The existing building is a two-storey commercial building constructed of lightweight timber framing with weatherboard wall cladding and lightweight iron roofing. It is estimated to have been originally constructed in the early 1900's and was occupied as a late Victorian shop and dwelling. The building was damaged in the Canterbury Earthquake sequence and has not been occupied since.

It is currently listed on the Christchurch City Council (CCC) Schedule of Significant Historic Heritage as Group 2 "Significant" (Heritage item 641). The statement of significance from the CCC district plan notes:

*"It has architectural significance as a distinctive colonial building type with residual restrained detailing. 187 Fitzgerald Ave has technological and craftsmanship significance for what it may reveal of late Victorian timber construction methodologies, materials, fixtures and fittings. It has contextual significance as a building type now rare in Christchurch and as a landmark on Fitzgerald Avenue"*



Figure 2: Street photo of the existing building at 187 Fitzgerald Ave

## 2 Condition Survey

Tetrad has undertaken a site walkover inspection to visually assess the condition of the existing building and its structural elements. The Table 1 below presents a summary of the condition of the inspected elements of the building. Refer to Appendix A for imagery from the site inspection.

Table 1: Condition of the existing building

Photo Reference	Element	Condition / Comments
1 - 3	External Windows and doors	All glass panels are damaged or missing which has allowed water ingress into the building and rotting to occur in all joinery elements on the North, South and West elevations.
1 - 3	Weatherboard cladding	Cracking, rotting, blistering and paint damage to an estimated 90% of the weatherboard area on the North and West external elevations and 50% on the South elevation. Water ingress into the framing behind appears to be occurring in some locations, however the internal wall framing could not be sufficiently viewed at the time of inspection.
11	Roof cladding	Flashing and ridging distortion and sheeting corrosion present on the roof cladding which has caused internal water ingress to the building. A full inspection of the roof was unable to be completed, however the small areas noted all had consistent levels of damage.
5, 8	Internal ceilings	Loose lath and plaster, areas of missing ceilings and fire damage to the ceiling on both floor levels. Water ingress at a couple of locations was also sighted with damp linings.
7, 10	Internal wall linings	Loose lath and plaster, missing wall panels on both levels.
9	Stairs	Loose stair baluster posts and stair treads.
7	Suspended timber floors	Missing flooring, water damage, rot damage in various locations on both floor levels.

11	External parapet detailing	Timber rot, blistering and paint damage to all remaining parapets and fascia's (some are not in place) on the Northern and Western elevations. Partial damage on the southern elevation. No significant damage noted on the Eastern elevation.
12	Foundations	The existing foundation system is a perimeter concrete rubble foundation with cracking and settlement visually sighted. A full level was not undertaken.  Subfloor bearer and joist framing is showing signs of rot damage (there is a minimal subfloor cavity present) and is sagging in a number of locations.

### 3 Structural Repair Scheme

Based on our site walkover inspection repairs are recommended and required to reinstate the structural integrity, weathertightness and fire stability of the existing building.

#### 3.1 Superstructure Repair Scope

Refer to Appendix B for an estimate of the repairs required to the superstructure elements.

#### 3.2 Substructure Repair Scope

A geotechnical report has been carried out by Landtec Consulting for the site at 187 Fitzgerald Ave and the wider development site. The soil testing undertaken identifies the site to be underlain by fill material over alluvial deposits and a bearing depth of 0.6m is recommended for new foundations to achieve suitable ground bearing strength and reduce the risk of excessive long-term settlement. The liquefaction analysis in the report identifies that the site is susceptible to minor to moderate levels of liquefaction damage in future seismic events. Moderate quantities of liquefaction ejecta were observed on nearby roadways following the 2011 February seismic event.

Based on the condition of the existing foundation system and the likely risk of further long-term damage a full foundation replacement is required to reinstate the structural integrity of the dwelling. The following foundation systems are likely suitable:

- Shallow concrete slab or concrete waffle slab system
- Timber subfloor with perimeter concrete foundation wall

A detailed assessment of the existing foundations and new foundation design will be required to confirm the best foundation solution. Construction of the new foundation system will likely require lifting of the existing building to enable sufficient construction access. Further advice should be sought from a specialist foundation contractor.

### 4 Structural Strengthening

The repairs noted in sections 3.1 and 3.2 of this report are repairs to reinstate the structural integrity of the building to its previous condition. Due to the building age the existing structure would not have been designed or constructed to modern building loading standards, specifically in relation to floor loading, fire stability and seismic capacity. Due to the extent of the repair works required it is practical to also increase the structural capacity of the building to current building code requirements (or as near as reasonably practical) to enable full occupation of the building for its commercial use.



These additional strengthening measures would include:

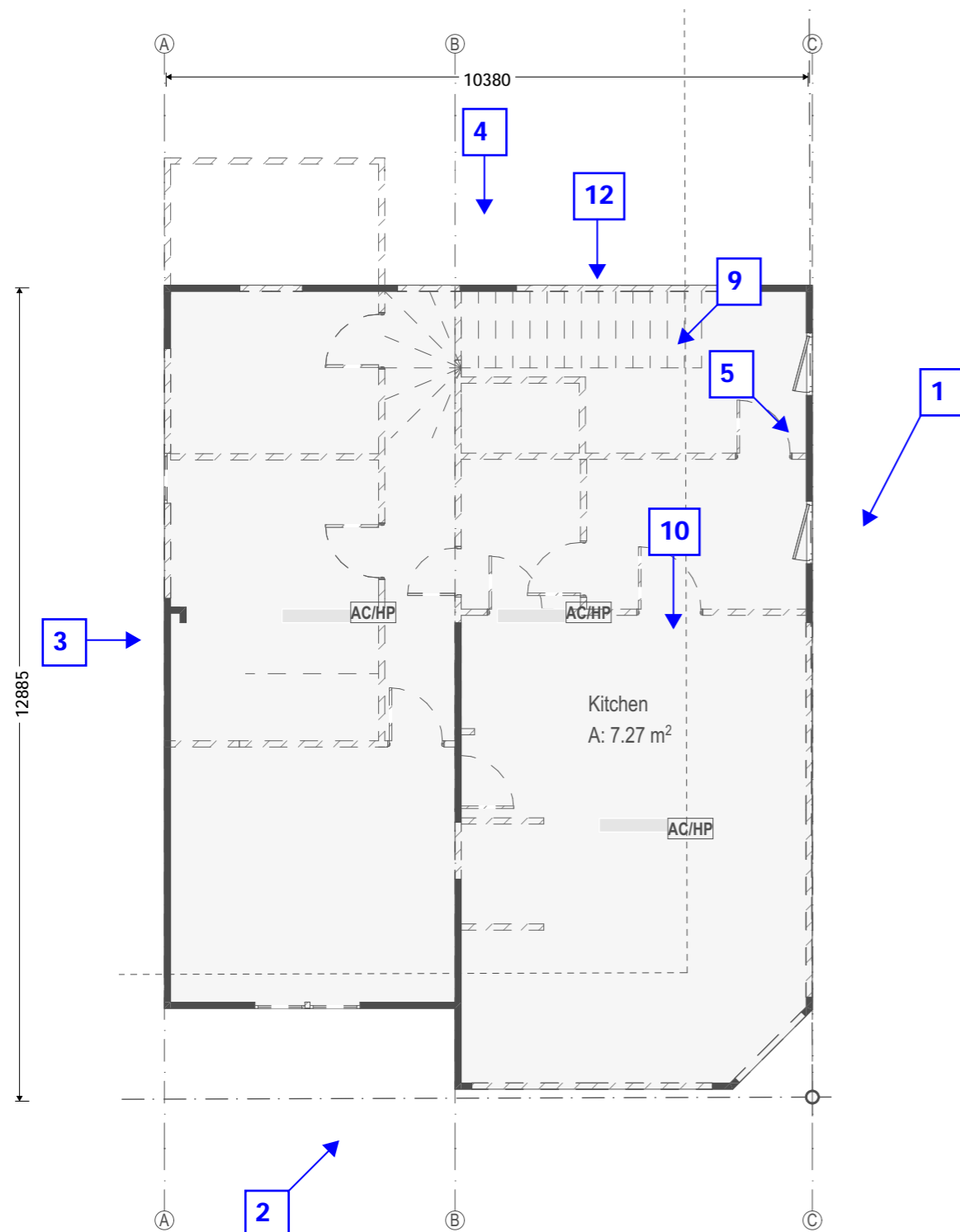
- Ground and First Floor Framing  
New floor joists and floor beams to increase the floor loading capacity. This could be achieved through either replacement with new framing or strengthening of the existing framing.
- Wall Bracing  
New wall linings and steel bracing frames to increase the lateral building strength of the building.
- Fire linings  
New fire rated wall and floor linings to provide fire stability and fire egress for the first floor area.

A previous strengthening scheme has been prepared by Centraus Structural Consulting and is attached in Appendix C. These drawings illustrate a strengthening methodology based on a previous architectural scheme and can be used as an estimate for determining the extent of the strengthening works.

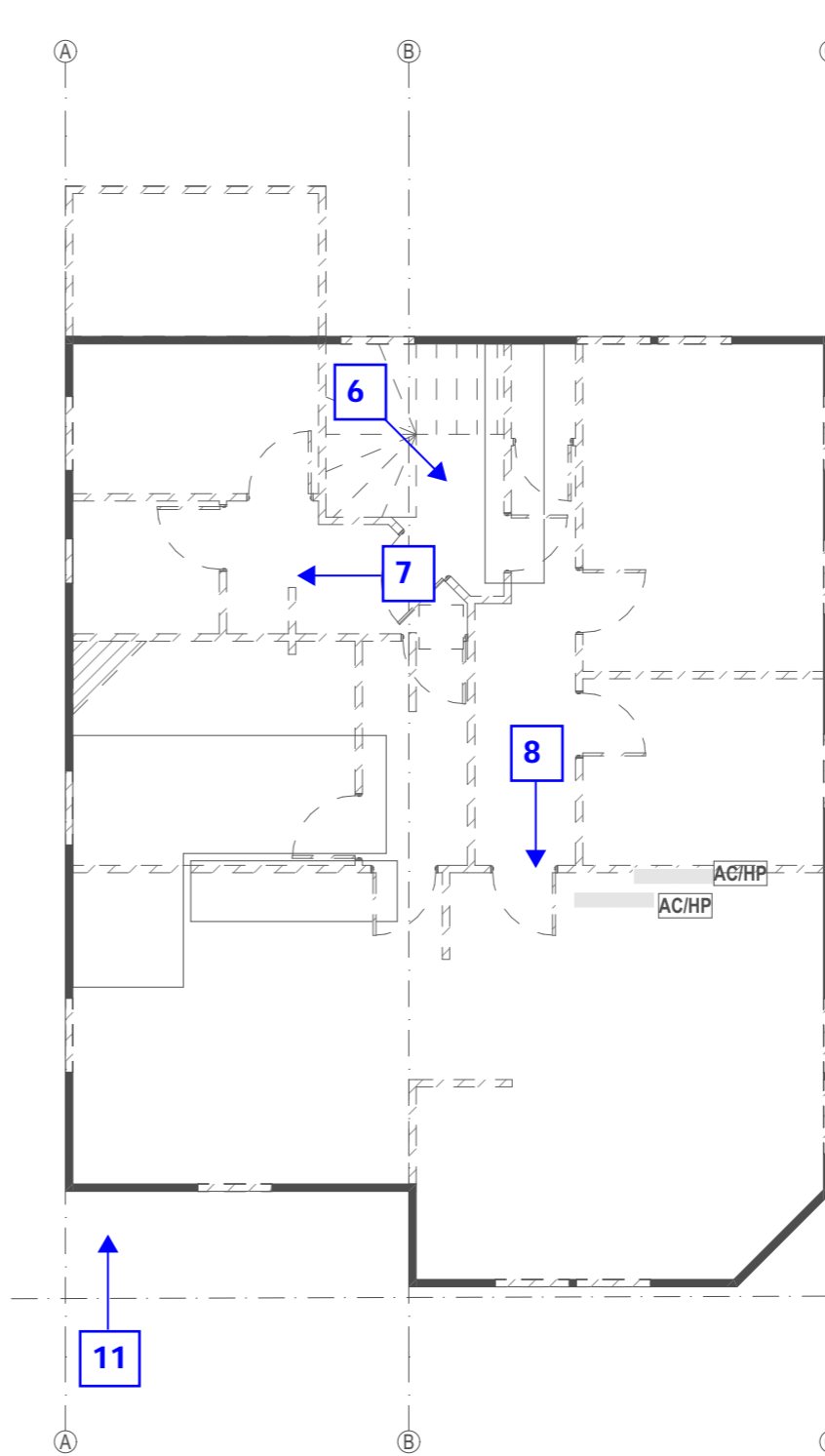
## APPENDIX A – Condition Survey

**LEGEND**

**X** Photo Reference and orientation



**Ground Floor Plan**



**First Floor Plan**

1	18/01/23	REVIEW	AKL
No.	Date	Revision	By



PROJECT	<b>Existing Building Review</b>
ADDRESS	<b>187 Fitzgerald St</b>
CLIENT	<b>Fern Fitzgerald Limited</b>

TITLE  
**Existing Building Plans  
Photo Reference**

DESIGNED BY	<b>AKL</b>	REVIEWED BY	<b>AKL</b>
DRAWN BY	<b>AKL</b>	JOB NO.	<b>22360</b>
SCALE	<b>NA</b>		

**REVIEW**

REV.	DRAWING NO.
------	-------------

**1**

**SK1**



1 Photo 1: East Elevation



2 Photo 2: South Elevation



3 Photo 3: West Elevation



4 Photo 4: North Elevation

1	18/01/23	REVIEW	AKL
No.	Date	Revision	By



PROJECT	Existing Building Review
ADDRESS	187 Fitzgerald St
CLIENT	Fern Fitzgerald Limited

TITLE  
**Existing Building Condition  
 Photos  
 Sheet 1**

DESIGNED BY	AKL	REVIEWED BY	AKL
DRAWN BY	AKL	JOB NO.	22360
SCALE	NA		

**REVIEW**

REV.	DRAWING NO.
1	SK2



5 Photo 5: Ground floor ceiling



6 Photo 6: First Floor Stair Landing Structure



7 Photo 7: First Floor Level



8 Photo 8: First Floor Ceiling

1	18/01/23	REVIEW	AKL
No.	Date	Revision	By

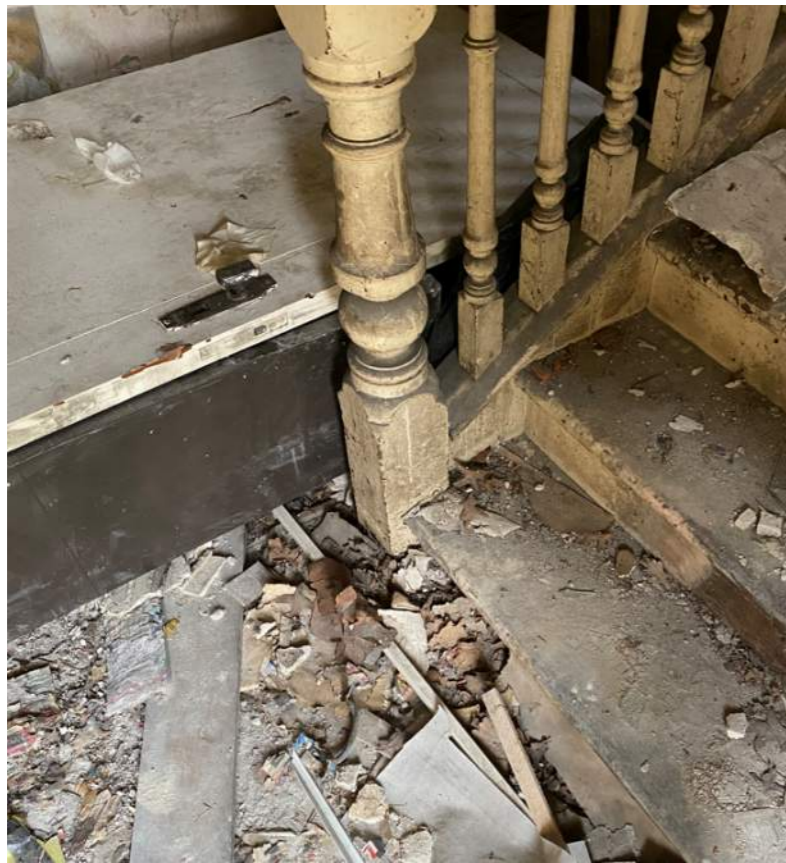


PROJECT	Existing Building Review
ADDRESS	187 Fitzgerald St
CLIENT	Fern Fitzgerald Limited

TITLE  
Existing Building Condition  
Photos  
Sheet 2

DESIGNED BY	AKL	REVIEWED BY	AKL
DRAWN BY	AKL	JOB NO.	22360
SCALE	NA		

<b>REVIEW</b>	
REV.	DRAWING NO.
1	SK3



9 Photo 9: Stair balustrade



10 Photo 10: Ground floor level



11 Photo 11: External roof edge detailing



12 Photo 12: External weatherboard, foundations and drainage

1	18/01/23	REVIEW	AKL
No.	Date	Revision	By



PROJECT	Existing Building Review
ADDRESS	187 Fitzgerald St
CLIENT	Fern Fitzgerald Limited

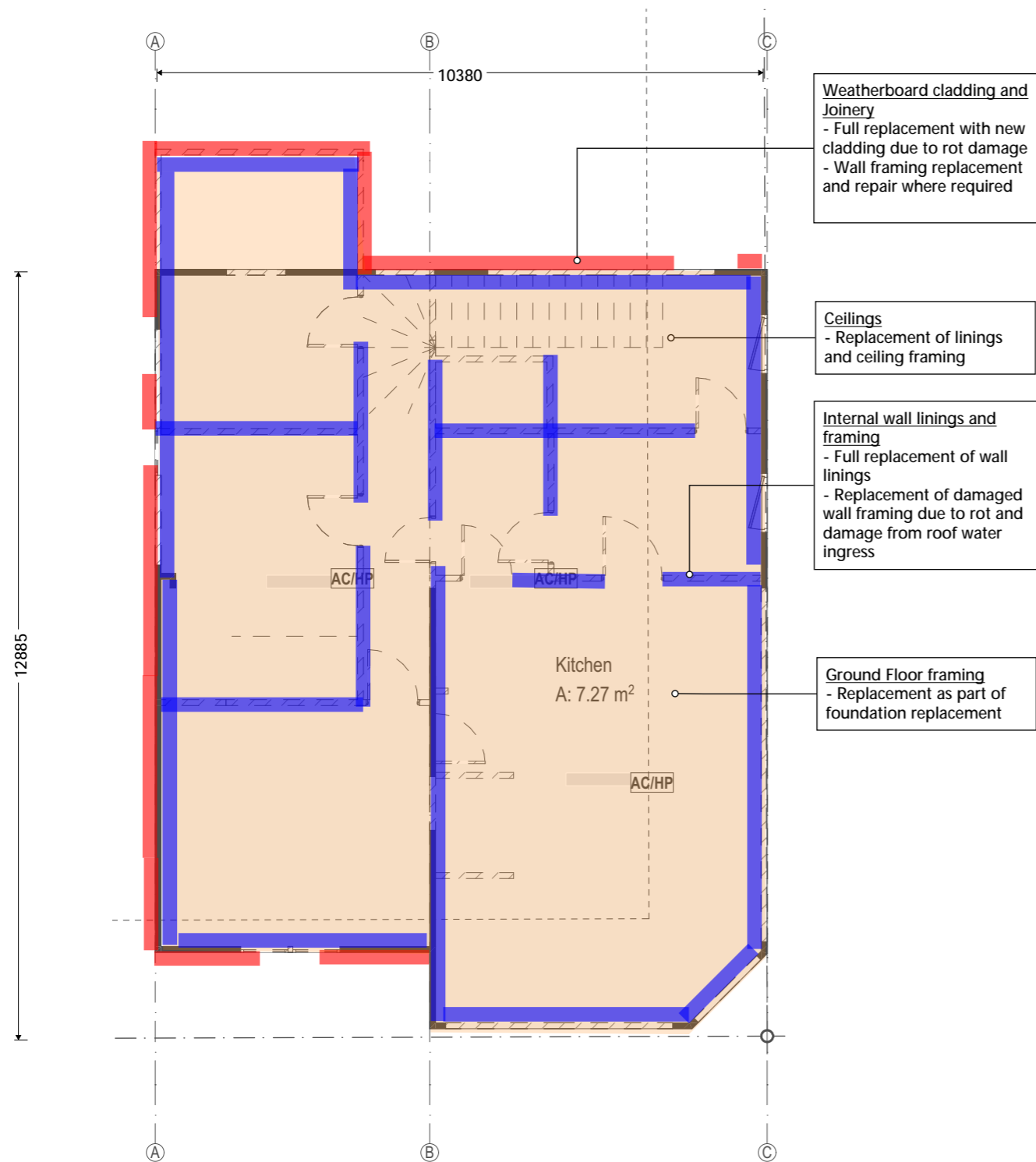
TITLE	Existing Building Condition Photos Sheet 3
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DESIGNED BY	AKL	REVIEWED BY	AKL
DRAWN BY	AKL	JOB NO.	22360
SCALE	NA		

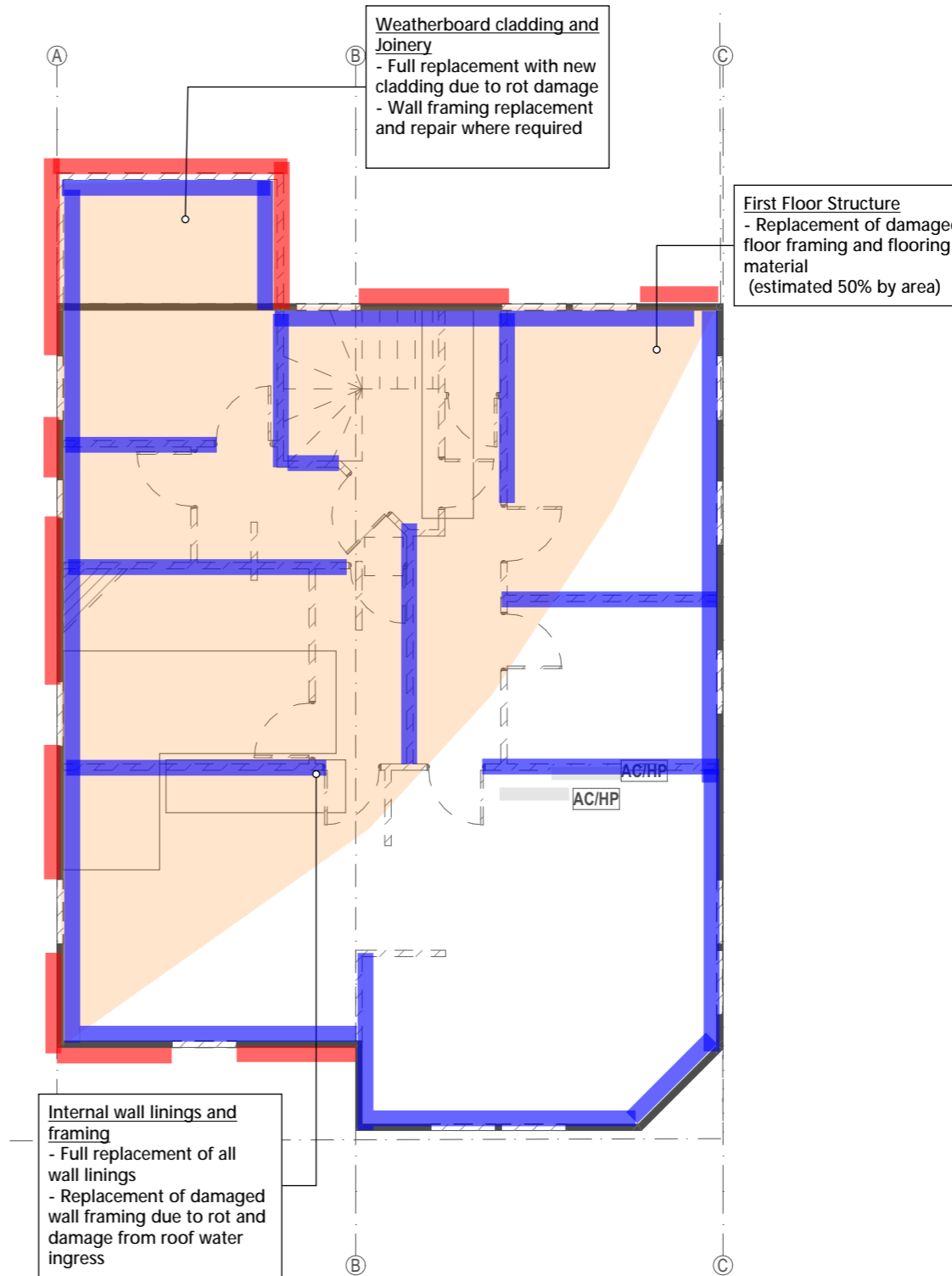
**REVIEW**

REV.	DRAWING NO.
1	SK4

## APPENDIX B – Structural Repair Scope



**Ground Floor Plan**



**First Floor Plan**

**Other Miscellaneous Items that should be considered:**

- Plumbing services
- Electrical services
- Seismic strengthening and fire stability strengthening
- Insulation

**Notes**

The repair elements identified are based on a visual inspection of the property and review of available documentation. No invasive testing has been undertaken.

Therefore additional structural repairs may be required which cannot be confirmed at this stage.

1	18/01/23	REVIEW	AKL
No.	Date	Revision	By



PROJECT	<b>Existing Building Review</b>
ADDRESS	<b>187 Fitzgerald St</b>
CLIENT	<b>Fern Fitzgerald Limited</b>

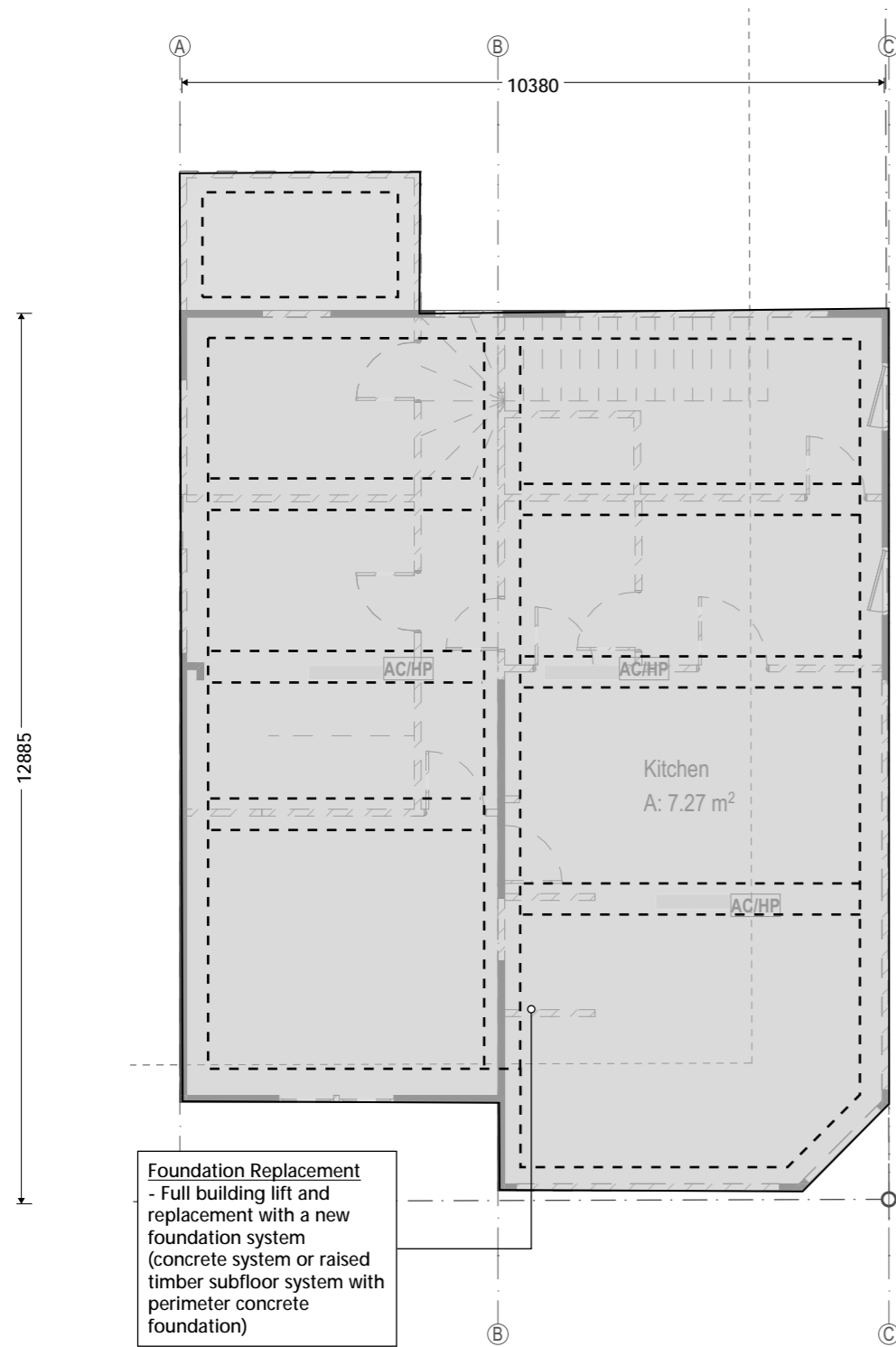
TITLE  
**Existing Building Plans  
Repair Works Scope  
Sheet 1**

DESIGNED BY	<b>AKL</b>	REVIEWED BY	<b>AKL</b>
DRAWN BY	<b>AKL</b>	JOB NO.	<b>22360</b>
SCALE	<b>NA</b>		

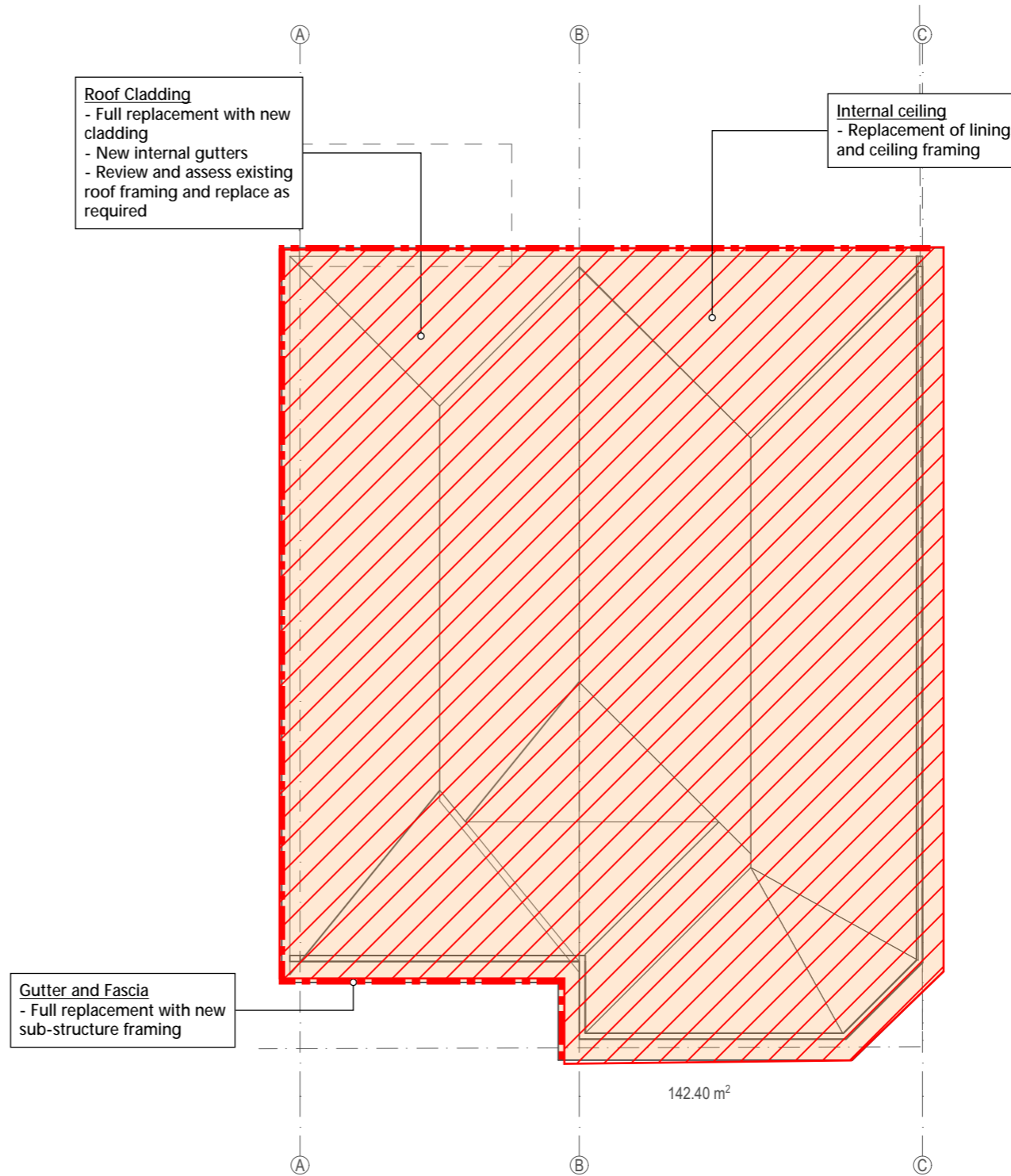
**REVIEW**

REV.	DRAWING NO.
------	-------------





**Foundation Plan**



**Roof Plan**

1	18/01/23	REVIEW	AKL
No.	Date	Revision	By



PROJECT	Existing Building Review
ADDRESS	187 Fitzgerald St
CLIENT	Fern Fitzgerald Limited

TITLE  
**Existing Building Plans  
Repair Works Scope  
Sheet 2**

DESIGNED BY	AKL	REVIEWED BY	AKL
DRAWN BY	AKL	JOB NO.	22360
SCALE	NA		

**REVIEW**

REV.	DRAWING NO.
------	-------------



**E1** East Elevation



**E2** South Elevation



**E3** West Elevation



**E4** North Elevation

**Notes**

These architectural elevations have been sourced from the resource consent documentation complete by Urban Architecture.

These elevations illustrate a previous architectural design intent for the repair of the existing building.

1	18/01/23	REVIEW	AKL
No.	Date	Revision	By



PROJECT	Existing Building Review
ADDRESS	187 Fitzgerald St
CLIENT	Fern Fitzgerald Limited

TITLE  
**Building Elevations  
 Previous Architectural Concept  
 for Building Repair**

DESIGNED BY	AKL	REVIEWED BY	AKL
DRAWN BY	AKL	JOB NO.	22360
SCALE	NA		

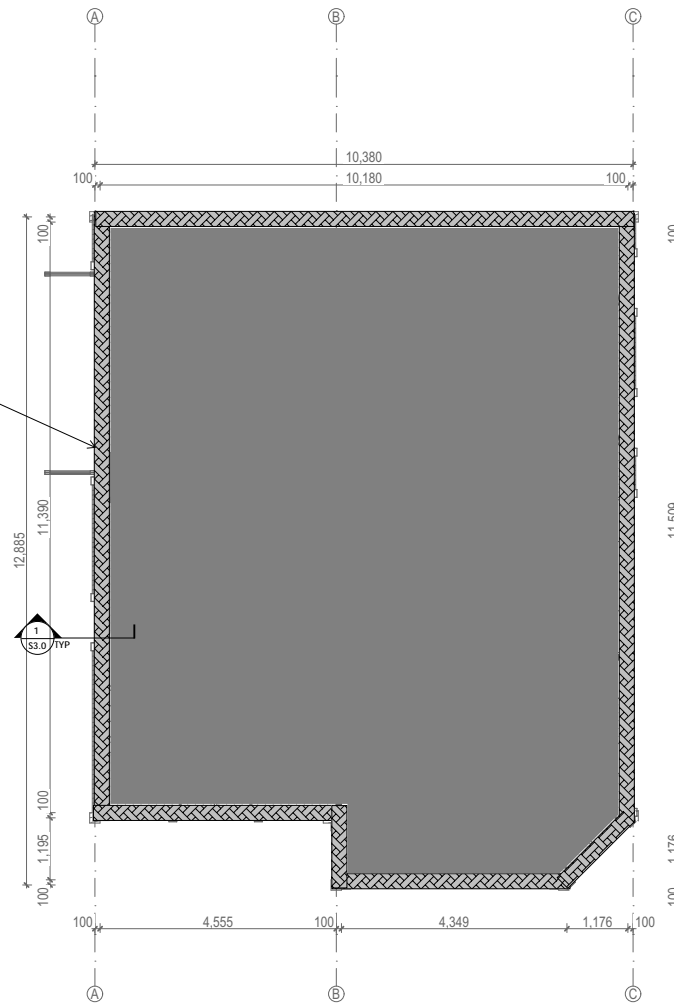
**REVIEW**

REV.	DRAWING NO.
1	SK7

## APPENDIX C – Previous Structural Strengthening Design Concept



EXISTING FOUNDATION TO BE DEMOLISHED AS REPLACED WITH NEW SLAB ON GRADE FOUNDATION



1 NEW FOUNDATION PLAN  
SCALE: 1: 50

**LEGEND:**

(N) 100mm SLAB FOUNDATION WITH DUCTILE 665 MESH REINFORCING	
(N) CONCRETE STRIP FOUNDATION 300mm WIDE AND 500mm DEEP WITH (2)D12 REBARS TOP AND BOTTOM WITH D10 TIES AT 400mm C/C.	

- NOTES**
1. ALL DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED BY CONTRACTOR, ENGINEER TO BE NOTIFIED IF CONDITIONS ARE DIFFERENT THAN AS SHOWN
  2. CONTRACTOR TO BE RESPONSIBLE FOR PROPPING BUILDING ELEMENTS WHILE DEMOLITION OCCURS
  3. REFER TO SHEET S0.0 FOR CONCRETE SPECIFICATIONS

**EQ REPAIR AND UPGRADE PLAN  
187 FITZGERALD AVENUE,  
CHRISTCHURCH CENTRAL CITY**

**REVISION SCHEDULE**

REV	COMMENT	DATE

SCALE @ A: 1 : 50  
SCALE @ A1: 1 : 25  
DATE: 04 08 2021  
DRAWN BY: HM  
CHECKED: MJK  
PROJECT NO. 210018



1 GROUND FLOOR PLAN  
SCALE: 1: 50

Legend  
Walls to be removed

**COLUMN LEGEND:**  
P1 - 90X45  
P2 - (2)90X45  
P3 - (4)90X45  
P4 - (5)90X45

**LEGEND:**  
(N) TIMBER STUD COLUMN ABOVE AS PER PLAN  
TIMBER WALL

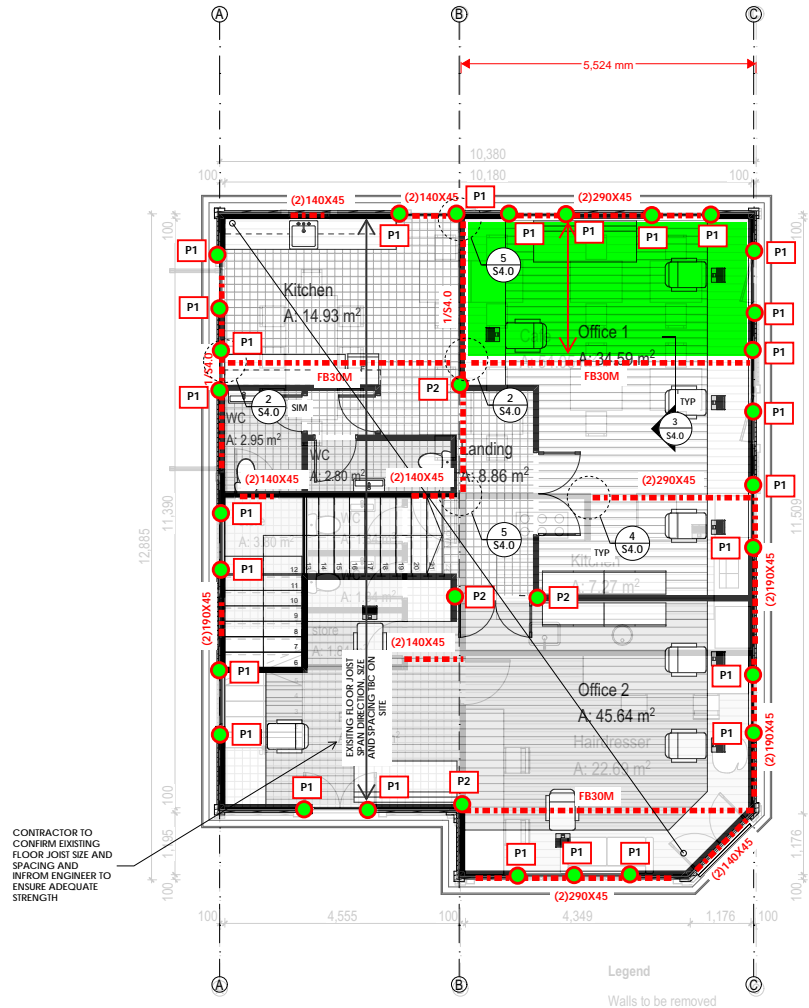
**NOTES**  
1. ALL DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED BY CONTRACTOR. ENGINEER TO BE NOTIFIED IF CONDITIONS ARE DIFFERENT THAN AS SHOWN  
2. CONTRACTOR TO BE RESPONSIBLE FOR PROPPING BUILDING ELEMENTS WHILE DEMOLITION OCCURS  
3. REFER TO SHEET S0.0 FOR TIMBER SPECIFICATIONS

**EQ REPAIR AND UPGRADE PLAN  
187 FITZGERALD AVENUE,  
CHRISTCHURCH CENTRAL CITY**

REVISION SCHEDULE		
REV	COMMENT	DATE

SCALE@ A: 1 : 50  
SCALE@ A1: 1 : 25  
DATE: 04 08 2021  
DRAWN BY: HM  
CHECKED: MJK  
PROJECT NO. 210018

**EQ REPAIR AND UPGRADE PLAN  
187 FITZGERALD AVENUE,  
CHRISTCHURCH CENTRAL CITY**



**1** FIRST FLOOR PLAN  
SCALE: 1: 50

**LEGEND:**

- (N) BEAM AS PER PLAN
- (N) FLOOR JOIST TO BE INSTALLED 190X45 AT 400mm C/C
- (N) TIMBER STUD COLUMN ABOVE AS PER PLAN
- TIMBER WALL

**COLUMN LEGEND:**

- P1 - 90X45
- P2 - (2)90X45
- P3 - (4)90X45

**NOTES**

1. ALL DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED BY CONTRACTOR. ENGINEER TO BE NOTIFIED IF CONDITIONS ARE DIFFERENT THAN AS SHOWN
2. CONTRACTOR TO BE RESPONSIBLE FOR PROPPING BUILDING ELEMENTS WHILE DEMOLITION OCCURS
3. REFER TO SHEET S0.0 FOR TIMBER SPECIFICATIONS
4. REFER TO SHEET S0.0 FOR STEEL SPECIFICATIONS

**REVISION SCHEDULE**

REV	COMMENT	DATE

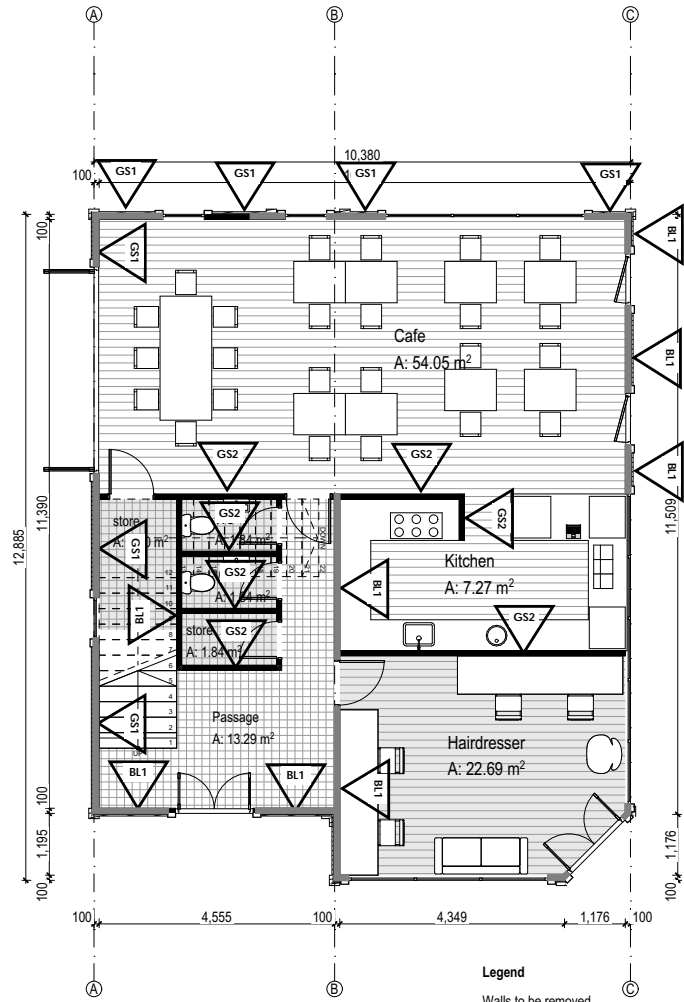
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SCALE@ A1: 1 : 25  
DATE: 04 08 2021  
DRAWN BY: HM  
CHECKED: MJK  
PROJECT NO. 210018

**FIRST FLOOR PLAN**

**S1.2**





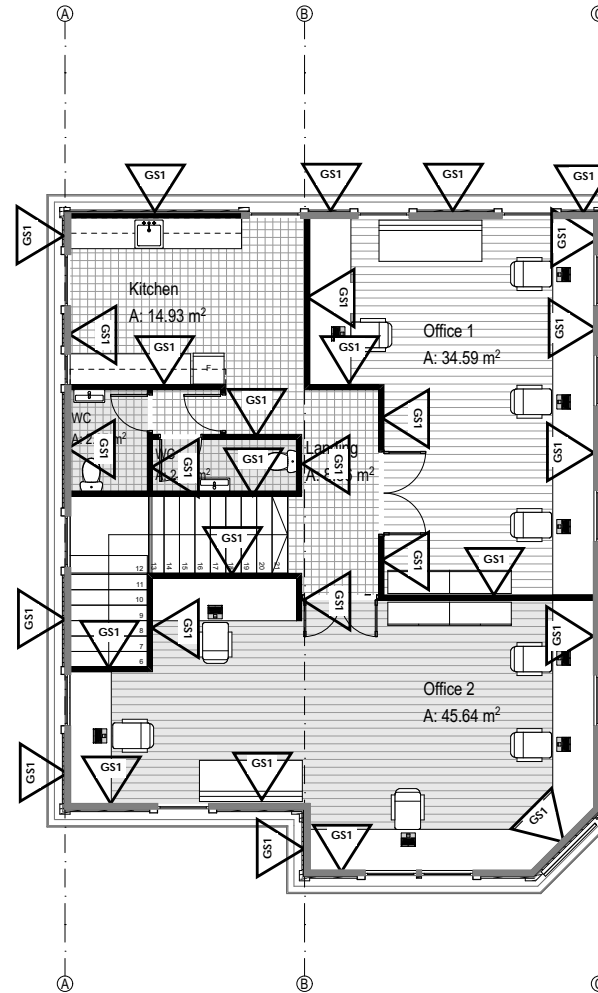
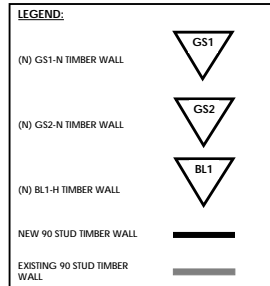


1 GROUND PROPOSED BRACING PLAN  
SCALE: 1: 50

**NOTES**

1. ALL DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED BY CONTRACTOR, ENGINEER TO BE NOTIFIED IF CONDITIONS ARE DIFFERENT THAN AS SHOWN
2. CONTRACTOR TO BE RESPONSIBLE FOR PROPPING BUILDING ELEMENTS WHILE DEMOLITION OCCURS
3. REFER TO SHEET 50.0 FOR TIMBER SPECIFICATIONS

**Legend**  
Walls to be removed



1 FIRST PROPOSED BRACING PLAN  
SCALE: 1: 50

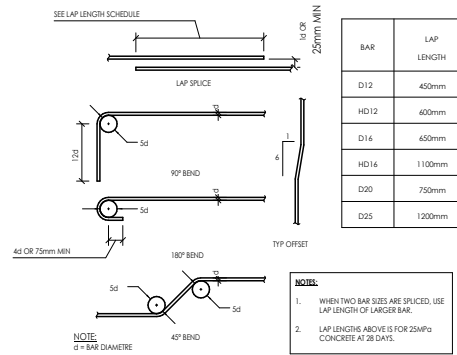
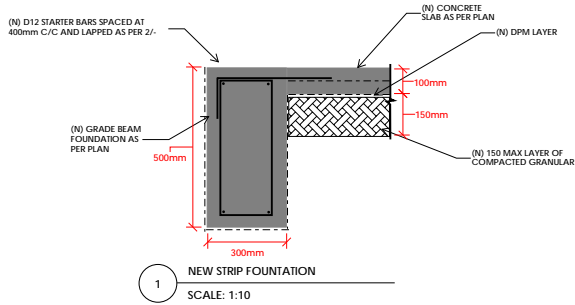
**EQ REPAIR AND UPGRADE PLAN  
187 FITZGERALD AVENUE,  
CHRISTCHURCH CENTRAL CITY**

REVISION SCHEDULE		
REV	COMMENT	DATE

SCALE@ A: 1: 50  
SCALE@ A1: 1: 25  
DATE: 04 08 2021  
DRAWN BY: HM  
CHECKED: MJK  
PROJECT NO. 210018

**BRACING PLAN**

**S2.0**



- NOTES**
1. ALL DIMENSIONS AND CONDITIONS TO BE FIELD VERIFIED BY CONTRACTOR, ENGINEER TO BE NOTIFIED IF CONDITIONS ARE DIFFERENT THAN AS SHOWN
  2. CONTRATOR TO BE RESPONSIBLE FOR PROPPING BUILDING ELEMENTS WHILE DEMOLITION OCCURS
  3. ALL REINFORCING LAPS TO BE AS PER 2/-
  4. ALL REINFORCING COVER TO BE AS PER 3/-

	IN-SITU
NOT EXPOSED TO WEATHER	35mm
EXPOSED TO WEATHER	45mm
SLAB, WALLS OR ROOF INTERIOR OR EXTERIOR	50mm
CAST AGAINST GROUND	75mm

**NOTE:** COVERS AS SHOWN ABOVE UNLESS SHOWN OTHERWISE ON THE DRAWINGS. REMAINDER OF COVERS TO CONFORM TO NZS 3101: PART 1: 2006

**3**  
TYP REINF BAR COVER  
SCALE: 1:10

**EQ REPAIR AND UPGRADE PLAN  
187 FITZGERALD AVENUE,  
CHRISTCHURCH CENTRAL CITY**

**REVISION SCHEDULE**

REV	COMMENT	DATE

SCALE@ A: 1 : 50

SCALE@ A1: 1 : 25

DATE: 04 08 2021

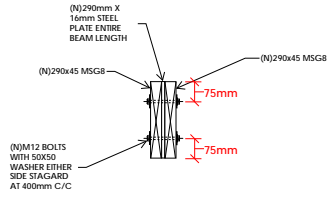
DRAWN BY: HM

CHECKED: MJM

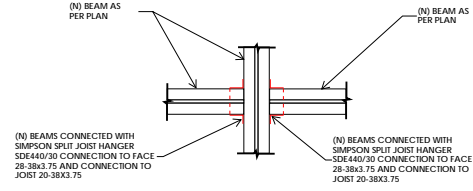
PROJECT NO. 210018

**FOUNDATION  
DETAILS**

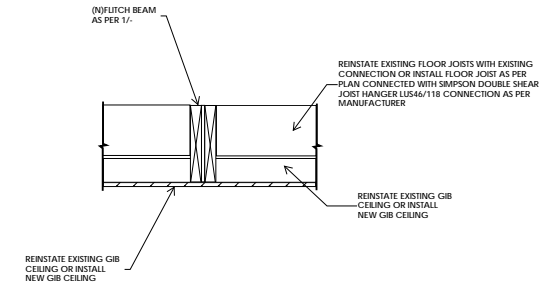
**S3.0**



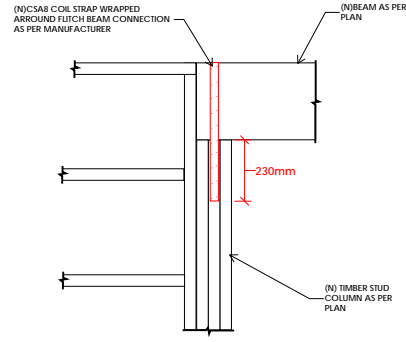
1 FLITCH BEAM  
SCALE: 1:10



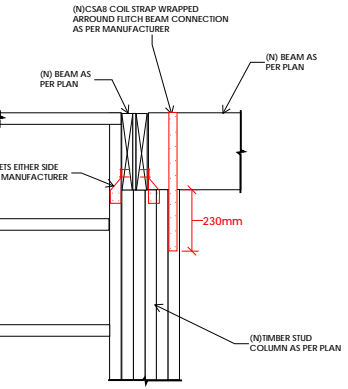
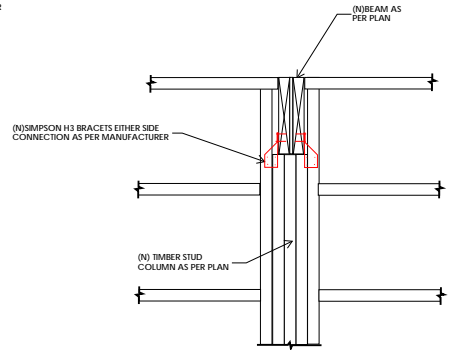
2 FLITCH BEAM CONNECTION  
SCALE: 1:10



3 FLITCH JOIST CONNECTION  
SCALE: 1:10



4 COLUMN CONNECTION  
SCALE: 1:10



5 COLUMN CONNECTION  
SCALE: 1:10

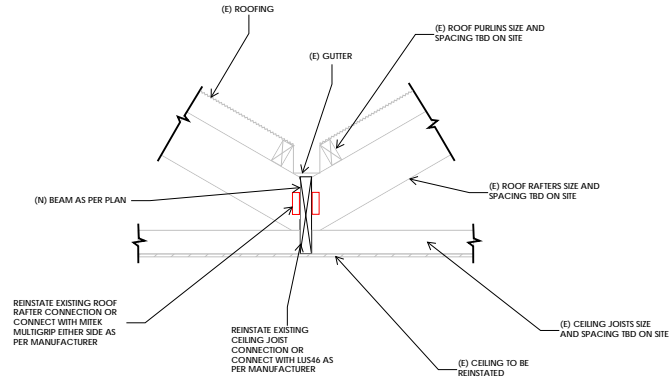
**EQ REPAIR AND UPGRADE PLAN  
187 FITZGERALD AVENUE,  
CHRISTCHURCH CENTRAL CITY**

REVISION SCHEDULE		
REV	COMMENT	DATE

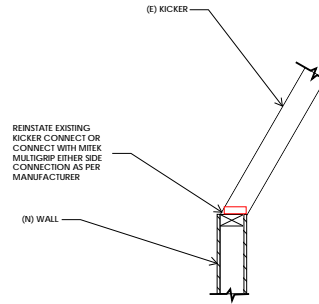
SCALE@ A: 1 : 50  
SCALE@ A1: 1 : 25  
DATE: 04 08 2021  
DRAWN BY: HM  
CHECKED: MJM  
PROJECT NO. 210018

**FLOOR  
DETAILS**

**S4.0**



1 ROOF BEAM CONNECTION  
SCALE: 1:10



NOTE:  
EXISTING KICKER LOCATIONS ARE UNKNOWN. CONTRACTOR TO INFORM ENGINEER OF EXISTING KICKER LOCATIONS BEFORE REINSTATING ANY EXISTING KICKERS

2 ROOF KICKER CONNECTION  
SCALE: 1:10

**EQ REPAIR AND UPGRADE PLAN  
187 FITZGERALD AVENUE,  
CHRISTCHURCH CENTRAL CITY**

REVISION SCHEDULE

REV	COMMENT	DATE

SCALE@ A: 1 : 50

SCALE@ A1: 1 : 25

DATE: 04 08 2021

DRAWN BY: HM

CHECKED: MJK

PROJECT NO. 210018

**ROOF  
DETAILS**

**\$5.0**

## Appendix 2: Logic Group Costings

**187 Fitzgerald Avenue – REPAIR ESTIMATE**

**CONCEPT COST PLAN - ROUGH ORDER OF COSTS**  
**January 2023**



# CONTENTS

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EXECUTIVE SUMMARY..... 4

METHODOLOGY REASONING ..... 5

EXCLUSIONS ..... 9

RECOMMENDATION ..... 9

## QUALITY ASSURANCE

TITLE	LOGIC REF	REVISION	STATUS	DATE
187 Fitzgerald Ave- Concept Repairs - Rough Order of Costs	COM-031	001	Final	January 2023
	Author	EM		

Author Signed:



Eoin McLoughlin  
 Quantity Surveyor  
 Bsc.(Hons) ANZIQS

Date: January 2023



# DOCUMENT DISTRIBUTION

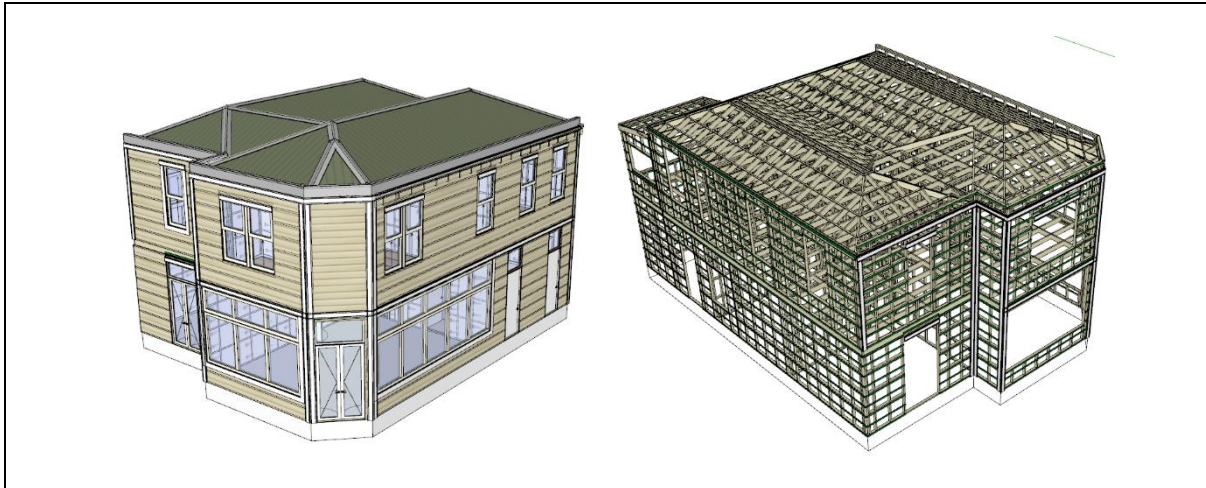
ISSUED TO	ORGANISATION	REVISION	DATE
Sam Connell	Figure & Ground	001	January 2023



# EXECUTIVE SUMMARY

Thank you for providing Logic Group quantity surveyors with the opportunity to complete a Cost Plan (rough order of costs) for the concept design proposal to complete strengthening works on above property.

The attached rough order of costs and scope of works are based on the findings and suggestions from the Tetrad Structural report and also from recent experience of similar work. It should be noted that drawings and details are limited. Due to the limited information available, a number of assumptions have been made based on industry experience, heritage requirements and best practice. These assumptions are detailed in the report below.



**Image 1: Model View**

Logic Group have determined/outlined a scope of work and methodologies that may be required.

All of our assumptions around structural requirements and repairs work are based on a combination of recent designs on similar projects.

We have completed an on-screen elemental measurement, VDC 3D model (Virtual Design Construction) and take-off of the provided drawings and have produced an elemental cost plan assessment, allowing for additional project specific features we appropriate.

To determine the costs, historical functional area cost data has been used with adjustments for special items which fall outside the normal elemental rates for similar buildings whilst also identifying and adding additional costs for specific features associated with this project design.

We have allowed for 20% Construction Risk to the project due to unknown design and heritage requirements.

We would require updated drawings and layouts in order to make our budget more accurate.

**Cost Plan Estimate - \$2,070,000 +GST**

**GST is excluded.**

# METHODOLOGY REASONING

## Enabling works and Demolition

An overview of what has been allowed for within our scope is listed below

- Site set up and H&S
- Strip cladding and internal linings/fixtures.
- Store ornate heritage feature, these are to be restored and reused.
- Lift structure for new foundation construction
- Demolish ceiling, upper floor and rafter framing as required.
- Scaffold building
- Remove roof cladding and structure as required.
- Demolish all floor substrates.
- Remove to waste all timber windows, doors, in affected areas.

## Substructure

Tetrad have assessed the foundation damage and considering all information available to them have recommended that a foundation rebuild is required. As such we have developed a specific foundation replacement cost for this property based on a Type 2B foundation system. The system generally consists of an engineered gravel raft, steel reinforced concrete slab, timber piles set in the concrete, and new subfloor framing. It has been assumed the new subfloor framing will be required.

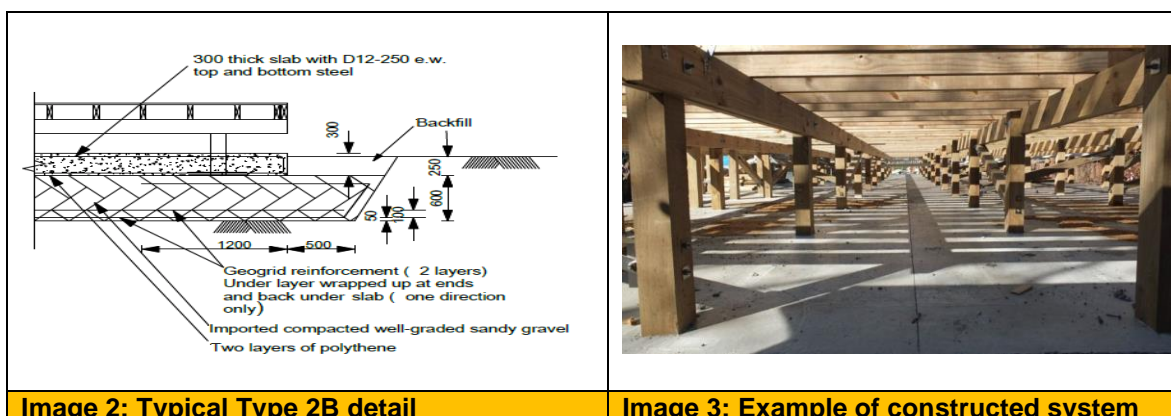
Bracing of the piles may also be required if the pile height is above 400mm. Without detailed design we cannot identify if this will be needed. A suitable provisional allowance has been included in the estimate in the event an increased pile height is required and designed.

Also included is an itemised cost for replacement of the ring beam as part of the Type 2B foundation system. This is not generally included in the standard details but has become a common occurrence in recent times. It is believed to be fair and reasonable inclusion as it creates a rebuilt foundation system that is closer in aesthetic appearance to the existing. This satisfies the “like for like” principle while accepting all changes required to create a code compliant and site-specific foundation.

The costs that have been included in our estimate are as per the following methodology;

- Designed House lift
- Excavation and construction of gravel raft including associated membranes and geogrids.
- Install of timber piles on plywood bases to standard spacings.
- Installation of reinforcement and construction of the concrete slab.
- Construction of the new ring beam.
- Construction of the subfloor framing ready to receive the house.

The following figures show a typical example of a Type 2B foundation system. Please note these have been provided as indicative examples only and not all specifications and dimensions shown have been followed in the development of our price. All assumptions are either mentioned above or referenced and clearly shown within the pricing document under the relevant items.



Demolish Floor Joists / Roof Rafters

It has been identified that the existing framing is missing flooring and shows signs of water damage, rot damage in various locations on floors both floor levels. This would leave it with little to no structural capacity offering little structural load support for the structure.

Experience in similar situations indicate a large quantity of new framing will be installed to reintroduce integrity to the existing suspended floor joist system. Either due to historic damage or consequential to the new works it is envisaged a certain portion of the existing structure will be removed to make way for new. An allowance for this demolition is included in the general demolition sum which is based on overall resource hours required. A similar requirement may apply to the roof rafters, and it is expected the extent will be similar to the floor system.



**Image 4: Existing Floor Condition**

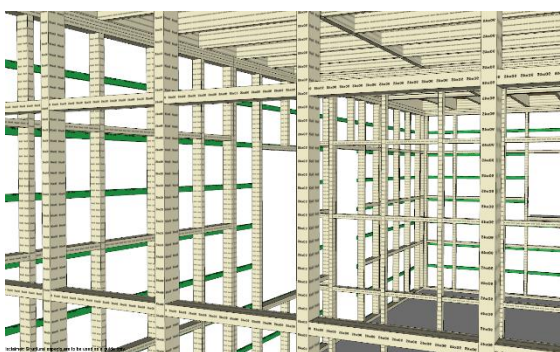


**Image 5: - Example recent project showing extend of new framing to floors that may be required.**

Demolish walls.

As per inspection Tetrad have called for replacement of damaged wall framing due to rot and damage from roof water ingress. It was found that the external walls indicated in the image below have been significantly compromised due to water ingress. 50% replacement volume has been conservatively assumed as the minimum requirement.

The percentage of walls have been included in the demolition scope although care will be taken to retain existing timber where possible in-situ to meet any heritage requirements. This is a slow and costly methodology.



**Image 6: Model framing view**



**Image 7: Existing cladding on elevation**

Cladding - Walls

As per the damage survey the cladding shows signs of cracking, rotting, blistering and paint damage to an estimated 90% of cladding the weatherboard area on the North and West external elevations and 50% on the South elevation. Water ingress into the framing behind appears to be occurring in some locations, however the internal wall framing could not be sufficiently viewed at the time of inspection.

The damage is considered major or significant in general, thus, we have made allowance for total replacement of cladding deemed beyond repair. The remaining percentage that might possibly be retained is only 33%. Allowances have been made to remove this quantity and have it refurbished for re-use. It must be noted that this approach to retain the heritage material can increase material cost by over 5 times.

This repairs strategy assumes that the current cladding system is not compliant and new cavity system must be incorporated into the reinstatement.

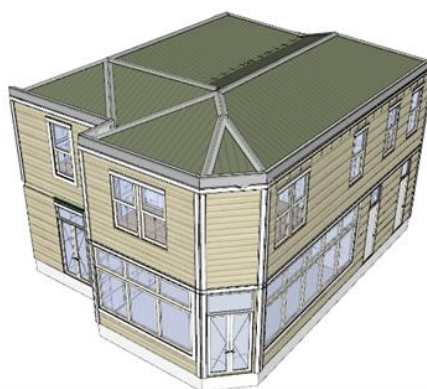


**Image 8 & 9 Cladding views**

Cladding - Roof

As per the building assessment reports and documents provided it is apparent flashing and ridging distortion and sheeting corrosion present on the roof cladding which has caused internal water ingress to the building. A full inspection of the roof was unable to be completed, however the small areas noted all had consistent levels of damage.

Taking into consideration the access required for framing repairs and also due to the extent of damage to the coverings as mentioned in the report we have developed our repair costs based on full replacement of the roof claddings.



**Image 10 & 11 Roof Views**

### Ceiling and Wall Finishes

Due to the extensive damage and requirement for framing repairs, all of which has been further substantiated in the Tetrad report, it has been determined that all existing lath and plaster wall and ceiling linings need to be removed and replaced with new plasterboard linings.

In addition to this the bracing capacity of the existing linings, cannot be effectively utilized to restore the original capacity.

The following is an indicative list of items that will need to be removed and reinstated.

- Electrical Fittings
- Fitted Kitchens & Joinery
- Mechanical fixtures
- Sanitary Ware

The detailed cost estimate includes an itemised schedule of all work required in the replacement of plasterboard linings e.g. removal/replacement of finishes, trims, joinery, fixtured and fittings. For ease of understanding these costs have been developed and are displayed on a detailed schedule.

### Floor Finishes

Due to existing damage and the requirement to refix flooring, all floor finishes are to be removed and replaced including waterproof membranes.

Much of the type of floor and extent is based on reasonable assumptions taking into account the typical use of the building.

### Windows & Doors

The repair estimate generally allows for replacement of the existing timber window and door joinery with new. It is expected the damage to the timber joinery will be consistent with other timber elements of the building such as the cladding. This damage will likely render the joinery beyond repair.

### Fixtures and Fittings

In many cases the fixtures and fittings, whether they be joinery, electrical, gas or plumbed, will need to be removed and disposed to allow for the foundation rebuild and framing/linings repairs. Retaining these any of these items is an unlikely possibility due to age, compliance, and damage.

Upon completion of the repair's new joinery, electrical, plumbing will be reinstated where possible with new.

### Access

To allow for access for works to the exterior cladding, full scaffolding will be required to all elevations to allow for the cladding repair and painting works to be carried out. Due to the extent of roofing repairs also required edge protection will be required to the full perimeter.

# EXCLUSIONS

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The following are general exclusions which have been applied to the estimate.

- Any works outside of normal hours
- All works not considered extra over in relation to the new concept for structural strengthening.
- Goods and Services Tax (GST)
- Consent
- Removal of any contaminated materials

# RECOMMENDATION

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Based on the rough order of costs assessment we have completed. We would recommend that the following investigations are completed to further assist with formulating accurate budgets going forward.

- Full structural investigations and design details.
- Client brief in relation to scope of works

## APPENDIX A

**Project:** Private Commercial**Details:** 187 Fitzgerald Avenue – Repair Estimate**Building:** 187 Fitzgerald

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
<b>PREAMBLES</b>							
A.1	<b>PREAMBLES</b>						
A.2	<i>Please refer to the detailed breakdown for more information. Broad assumptions have been made in relation to quality and type of finishes</i>			note			
A.3	<i>Figures include builders P&amp;G, margin, overhead, but exclude GST. Contingency has been added by Logic Group at report level</i>			note			
A.4	<i>This estimate is based on the following info</i>			note			
A.5	187 Fitzgerald Ave, Christchurch - STRUCTURAL REPORT - Tetrad - 19 January 2023						
A.6	<b>GENERAL EXCLUSIONS</b>						
A.7	Covid-19 Impact			note			
A.8	FF&E unless stated in the specifications and drawings			note			
A.9	Removal of hazardous materials			note			
A.10	Landscaping			note			
A.11	Appliances			note			
A.12	Contracts Works Insurance			note			
A.13	Resources Consent Fees			note			
A.14	Employers change and other risk			note			
A.15	GST			note			
A.16	<b>ASSUMPTIONS (Non Exhaustive)</b>						
A.17	Ffloor finishes			note			
A.18	Painting to all gib board walls have been allowed throughout			note			
A.19	New Architraves for Windows throughout			note			
A.20	No insulation to midfloor, Ceiling insulation to be R3.6			note			
A.21	It is assumed all lining to the House will be replaced - Floors, Ceiling & walls			Note			
A.22	It is assumed the removal of the linings will include for any strapping also			Note			
A.23	<b>RATES</b>						
A.24	CARPENTER	65.00	HR				
A.25	PLUMBER	85.00	HR				

**To Collection**

0



<b>Project:</b> Private Commercial	<b>Details:</b> 187 Fitzgerald Avenue – Repair Estimate
<b>Building:</b> 187 Fitzgerald	

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
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**PREAMBLES**

*(Continued)*

A.26	SPARKY	85.00	HR				
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**PREAMBLES**

To Collection

0

**Project:** Private Commercial  
**Building:** 187 Fitzgerald

**Details:** 187 Fitzgerald Avenue – Repair Estimate

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
<b>ENABLING WORKS</b>							
C.1	<b>ENABLING WORKS</b>						
C.2	As per engineers condition assessment remove all damaged materials prior to building lift						
C.3	<b>EXTERNAL FIXTURES STRIP</b>						
C.4	<u>Allow for removal and storage of the existing to allow for access to elevation repairs</u>						
C.5	Roof Gutter	22.04	m	6.50	143.25	143.25	
C.6	External Light		no	16.25	0.00	tbc	
C.7	External Socket		no.	16.25	0.00	tbc	
C.8	Provisional allowance for miscellaneous	1.00	Psum	1,200.00	1,200.00	1,200.00	
C.9	<b>INTERIOR STRIPOUT WORKS</b>						
C.10	<u>Allow to remove &amp; dispose of the following sanitary plumbing items</u>						
C.11	Sinks & unit	4.00	no.	96.00	384.00	384.00	
C.12	WC	4.00	no.	96.00	384.00	384.00	
C.13	Shower	2.00	no.	210.00	420.00	420.00	
C.14	Mirror	2.00	no.	14.00	28.00	28.00	
C.15	HWC	3.00	no.	56.00	168.00	168.00	
C.16	Allow to cut back and cap off redundant plumbing fixtures	1.00	sum	320.00	320.00	320.00	
C.17	Pipework	1.00	Psum	1,800.00	1,800.00	1,800.00	
<b>To Collection</b>						<b>4,847</b>	

**Project:** Private Commercial  
**Building:** 187 Fitzgerald

**Details:** 187 Fitzgerald Avenue – Repair Estimate

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
<b>ENABLING WORKS</b> <span style="float: right;">(Continued)</span>							
C.18	<u>Allow to Disconnect &amp; Remove the following electrical items</u>						
C.19	Fluorescent Light	20.00	no.	26.40	528.00	528.00	
C.20	Fire alarm	4.00	no.	26.40	105.60	105.60	
C.21	Light switch	20.00	no.	26.40	528.00	528.00	
C.22	Power socket	40.00	no.	26.40	1,056.00	1,056.00	
C.23	Mechanical ventilation	4.00	no.	52.80	211.20	211.20	
C.24	Wiring	1.00	Psum	1,800.00	1,800.00	1,800.00	
C.25	<u>Allow to remove &amp; dispose of the following JOINERY items</u>						
C.26	Doors & Frame	20.00	no.	42.00	840.00	840.00	
C.27	Provisional allowance - covering cupboards, shelvings, storage, kitchens etc	1.00	Psum	2,400.00	2,400.00	2,400.00	
C.28	<b>DEMO WINDOWS &amp; DOORS</b>						
C.29	<u>All glass panels are damaged or missing which has allowed water ingress into the building and rotting to occur in all joinery elements on the North, South and West elevations.</u>						
C.30	Windows	57.20	m2	80.00	4,576.00	4,576.00	
C.31	Doors	4.00	no	80.00	320.00	320.00	
C.32	Doors with glazing	2.00	no	140.00	280.00	280.00	
C.33	<b>DEMO CLADDING</b>						
<b>To Collection</b>						12,645	

Project: Private Commercial

Details: 187 Fitzgerald Avenue – Repair Estimate

Building: 187 Fitzgerald

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
<b>ENABLING WORKS</b> <span style="float: right;">(Continued)</span>							
C.34	<u>Cracking, rotting, blistering and paint damage to an estimated 90% of cladding the weatherboard area on the North and West external elevations and 50% on the South elevation.</u>						
C.35	<u>Water ingress into the framing behind appears to be occurring in some locations, however the internal wall framing could not be sufficiently viewed at the time of inspection.</u>						
C.36	<u>Allow for demolition and removal of the following items, including disposal</u>						
C.37	<u>FIXTURES - REMOVE FOR REFURBISHMENT</u>						
C.38	Baseboards x 0		n/a				
C.39	Colonial trim - mid height	18.00	m	32.50	585.00	585.00	
C.40	Colonial trim - roof height	24.00	m	32.50	780.00	780.00	
C.41	Colonial trim - corner mould	62.00	m	32.50	2,015.00	2,015.00	
C.42	Colonial trim - window head / surround	7.00	no	130.00	910.00	910.00	
C.43	<u>CLADDING to waste</u>						
C.44	North - 90%	63.20	m2	9.75	616.20	616.20	
C.45	West - 90%	72.60	m2	9.75	707.85	707.85	
C.46	South - 50%	28.00	m2	9.75	273.00	273.00	
C.47	East - 50%?	23.00	m2	9.75	224.25	224.25	
C.48	<i>Sub-total</i>	186.80					
C.49	<u>CLADDING to refurbishment</u>						

To Collection

6,111

Project: Private Commercial

Details: 187 Fitzgerald Avenue – Repair Estimate

Building: 187 Fitzgerald

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
<b>ENABLING WORKS</b> <span style="float: right;">(Continued)</span>							
C.50	North - 10%	5.80	m2	16.25	94.25	94.25	
C.51	West - 10%	5.40	m2	16.25	87.75	87.75	
C.52	South - 50%	28.00	m2	16.25	455.00	455.00	
C.53	East - 50%?	23.00	m2	16.25	373.75	373.75	
C.54	<i>Sub-total</i>	62.20					
C.55	<u>ROOF</u>						
C.56	<u>lashing and ridging distortion and sheeting corrosion present on the roof cladding which has caused internal water ingress to the building. A full inspection of the roof was unable to be completed, however the small areas noted all had consistent levels of damage</u>						
C.57	Generally	151.00	m2	13.00	1,963.00	1,963.00	
C.58	<b>DEMO INTERNAL FINISHES</b>						
C.59	<u>CEILINGS</u>						
C.60	<u>Loose lath and plaster, areas of missing ceilings and fire damage to the ceiling on both floor levels. Water ingress at a couple of locations was also sighted with damp lining</u>						
C.61	Generally	258.76	m2	6.50	1,681.96	1,681.96	
C.62	<u>WALLS</u>						
C.63	<u>Loose lath and plaster, missing wall panels on both levels.</u>						
C.64	Internal Trims	600.00	m	2.60	1,560.00	1,560.00	
C.65	Generally	758.00	m2	6.50	4,927.00	4,927.00	
<b>To Collection</b>						11,143	

<b>Project:</b> Private Commercial	<b>Details:</b> 187 Fitzgerald Avenue – Repair Estimate
<b>Building:</b> 187 Fitzgerald	

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
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**ENABLING WORKS**

*(Continued)*

C.66	<u>FLOORS</u>						
C.67	Floor finishes	258.76	m2	15.00	3,881.44	3,881.44	
C.68	<u>Remove and dispose the following structure</u>						
C.69	Flooring Substrate - Plywood	258.76	m2	19.50	5,045.87	5,045.87	
C.70	<b>STAIRS</b>						
C.71	<u>Loose stair baluster posts and stair treads; remove stairs for refurbishment</u>						
C.72	Generally	1.00	sum	1,200.00	1,200.00	1,200.00	
C.73	<b>EXTERNAL PARAPET</b>						
C.74	<u>Timber rot, blistering and paint damage to all remaining parapets and fascia's (some are not in place) on the Northern and Western elevations. Partial damage on the southern elevation. No significant damage noted on the Eastern elevation.</u>						
C.75	Generally	35.31	m	60.00	2,118.60	2,118.60	

**ENABLING WORKS**

**To Collection** 12,246

Project: Private Commercial

Details: 187 Fitzgerald Avenue – Repair Estimate

Building: 187 Fitzgerald

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
<b>HOUSE LIFT</b>							
D.1	<b>ENABLING WORKS TO LIFT</b>						
D.2	<i>Please refer to Roads, paths and pavings for removal and reinstatement of decks, paths and paving to facilitate access to foundations</i>		<i>note</i>				
D.3	<u>Carefully excavate around existing foundations to allow for access to areas restricted by site levels for disconnections of foundations</u>						
D.4	Excavate to a depth not exceeding 500mm, northwest corner	24.82	m3	74.50	1,849.09	1,849.09	
D.5	Extra value for working close to existing structures	24.82	m3	30.40	754.53	754.53	
D.6	Disposal of excavated materials off site	49.64	m3	19.20	953.09	953.09	
D.7	<b>HOUSE LIFT / ACCESS / FOUNDATIONS</b>						
D.8	<u>General House and verandah lift to a height of 1700mm, including all propping and bracing, demolition of existing foundations, realignment of house and installation of new foundations.</u>						
D.9	General house structure - King Quote	1.00	Psum	82,992.00	82,992.00	82,992.00	
D.10	Allow for the main contractors attendance on lifting contractor	1.00	sum	2,000.00	2,000.00	2,000.00	

**HOUSE LIFT****To Collection**

88,549

**Project:** Private Commercial  
**Building:** 187 Fitzgerald

**Details:** 187 Fitzgerald Avenue – Repair Estimate

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
<b>DEMOLITION</b>							
E.1	<b>FOUNDATIONS</b>						
E.2	<u>The existing foundation system is a perimeter concrete rubble foundation with cracking and settlement visually sighted. A full level was not undertaken. Subfloor bearer and joist framing is showing signs of rot damage (there is a minimal subfloor cavity present) and is sagging in a number of locations.</u>						
E.3	Demo/removes piles and ring beam	129.38	m2	120.00	15,525.77	15,525.77	
E.4	<b>SUB-FLOOR</b>						
E.5	<u>Remove and dispose the following structure</u>						
E.6	Subfloor framing	136.32	m	120.00	16,358.70	16,358.70	
E.7	<b>WALL FRAME</b>						
E.8	<u>Assumed up to 50% of wall framing requires replacement. This methodology requires placing new timbers within existing framing. The labour constant is a minimum of 3 times longer then typical site framing</u>						
E.9	90X45 - 50% replacement	2,400.00	m	19.50	46,800.00	23,400.00	
E.10	<b>SUSPENDED FLOORS</b>						
E.11	<u>Missing flooring, water damage, rot damage in various locations on floors both floor levels.</u>						
E.12	200x50 joists	345.00	m	48.75	16,818.75	8,409.38	
E.13	<b>ROOF FRAME</b>						
E.14	<u>Water damage, rot damage in various locations. Replace timbers as required</u>						
<b>To Collection</b>						63,694	



<b>Project:</b> Private Commercial	<b>Details:</b> 187 Fitzgerald Avenue – Repair Estimate
<b>Building:</b> 187 Fitzgerald	

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
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**DEMOLITION**

*(Continued)*

E.15	140X45 - 50% replacement	304.50	m	48.75	14,844.38	7,422.19	
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**DEMOLITION**

**To Collection** 7,422

**Project:** Private Commercial  
**Building:** 187 Fitzgerald

**Details:** 187 Fitzgerald Avenue – Repair Estimate

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
<b>FOUNDATIONS</b>							
F.1	<b><u>GROUND REMEDIATION (GRAVEL RAFT)</u></b>						
F.2	<b>EXCAVATION</b>						
F.3	<u>Excavate across the footprint and extending out 500mm around the perimeter of the building to a depth not exceeding 800mm</u>						
F.4	Floor slab, generally	129.14	m3	81.40	10,512.00	10,512.00	
F.5	<b>DISPOSAL</b>						
F.6	<u>Disposal of excavated materials off site to a certified disposal facility, not more than 10kms from site</u>						
F.7	Excavated materials, generally	129.14	m3	19.20	2,479.49	2,479.49	
F.8	<b>GROUND STABILISATION</b>						
F.9	<u>Geotextile at base of excavation</u>						
F.10	Bidim® A29 geogrid	161.43	m2	4.00	645.72	645.72	
F.11	<u>2-layers of Geogrid reinforcement</u>						
F.12	Tensar® TriAx® TX170 Geogrid, generally	261.81	m2	15.00	3,927.15	3,927.15	
F.13	<b>FILL</b>						
F.14	<u>AP65 Engineered imported fill materials, laid and compacted in layers not exceeding 150mm</u>						
F.15	Under floor slabs, generally	129.14	m3	81.38	10,509.41	10,509.41	
F.16	<u>Sand blinding layer, not exceeding 25mm thick</u>						
<b>To Collection</b>						<b>28,074</b>	

**Project:** Private Commercial  
**Building:** 187 Fitzgerald

**Details:** 187 Fitzgerald Avenue – Repair Estimate

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
<b>FOUNDATIONS</b> <span style="float: right;">(Continued)</span>							
F.17	Under floor slabs, generally	161.43	m2	5.09	820.87	820.87	
F.18	<b><u>TYPE 2A FOUNDATION SYSTEM</u></b>						
F.19	<b>MEMBRANES</b>						
F.20	<u>AGPAC, 250 micron, tear resistant polythene film sheet vapor barrier, lapped 150mm at joints</u>						
F.21	Under floor slabs, generally	258.48	m2	5.92	1,529.63	1,529.63	
F.22	Ditto but turned up 100mm at perimeter of slab	92.39	m	3.14	289.99	289.99	
F.23	<b>FORMWORK</b>						
F.24	<u>Timber formwork to foundations, including all propping, fixing and releasing agent, F4</u>						
F.25	<u>Generally</u>						
F.26	To sides of slabs not exceeding 200mm	50.19	m2	59.14	2,967.99	2,967.99	
F.27	<b>REINFORCEMENT</b>						
F.28	<u>Fletcher reinforcing, SE62 500E Reinforcement mesh, lapped 250mm at joints</u>						
F.29	In floor slabs; generally	136.32	m2	17.98	2,450.79	2,450.79	
F.30	Extra value on the above for 45mm high chairs	136.32	m2	1.44	196.30	196.30	
F.31	<u>Tensile steel, Grade 550E Cut and bent bar reinforcement</u>						
F.32	D12 reinforcing @ 300mm ctrs each way	814.00	kgs	4.95	4,029.30	4,029.30	
<b>To Collection</b>						12,285	

**Project:** Private Commercial  
**Building:** 187 Fitzgerald

**Details:** 187 Fitzgerald Avenue – Repair Estimate

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
<b>FOUNDATIONS</b> <span style="float: right;">(Continued)</span>							
F.33	1no. HD16 bars to piles; 500mm long	44.00	kgs	6.30	277.16	277.16	
F.34	HD16 Starter bars to blockwork					n/a	
F.35	D10 ties to beams	25.00	kgs	6.15	153.75	153.75	
F.36	D10 stirrups to beams	20.00	kgs	6.15	123.00	123.00	
F.37	<u>Sundries</u>						
F.38	Hessian Tie wire in fixing the above steel 8kgs / tonne	7.22	kgs	3.62	26.15	26.15	
F.39	<b>PILING</b>						
F.40	<u>H3.2 125X125 Timber Piles; Typical Pile - On 500 x 500mm 12mm ply base plate; Including all setting out</u>						
F.41	500x500 12mm thick H3.2 Plywood pile base nail fixed	25.00	no	35.00	875.00	875.00	
F.42	125mm x 125mm pile, 600mm	25.00	no	35.00	875.00	875.00	
F.43	<u>6kN Bearer to Pile connections - Lumberlok or similar</u>						
F.44	Piles, generally	25.00	no	26.65	666.25	666.25	
F.45	<u>Allow provisional allowance if design requires for increase pile height. Allowance to include for associated requirement for pile bracing and include for a all fixings</u>						
F.46	Generally	1.00	Psum	2,582.50	2,582.50	2,582.50	
F.47	<b>CONCRETE</b>						
F.48	<u>25MPa Firth Concrete, poured and vibrated</u>						

**To Collection**

5,579

Project: Private Commercial

Details: 187 Fitzgerald Avenue – Repair Estimate

Building: 187 Fitzgerald

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
<b>FOUNDATIONS</b> <span style="float: right;">(Continued)</span>							
F.49	In floor slabs, 150mm thick	20.45	m3	428.75	8,767.94	8,767.94	
F.50	<u>Cutting</u>						
F.51	Cut 25mm shrinkage control joint	60.00	m	6.00	360.00	360.00	Provisional Qty
F.52	<u>Sundries</u>						
F.53	Concrete pumping, including travel and set up	20.45	m3	31.32	640.49	640.49	
F.54	<u>Testing</u>						
F.55	Allow for completion of load sump testing and log book records for engineers inspection	1.00	sum	500.00	500.00	500.00	
F.56	<b>SURFACE TREATMENTS</b>						
F.57	<u>Mechanical steel power float to concrete surfaces, U3</u>						
F.58	To floors, generally	136.32	m2	8.70	1,185.95	1,185.95	
F.59	<b>SUBFLOOR FRAMING</b>						
F.60	<u>H3.2 SG8 Timber framing</u>						
F.61	2/190x45mm Bearers	36.09	m	55.52	2,003.59	2,003.59	
F.62	190x45mm Joists @ 400 mm ctrs	346.73	m	27.76	9,625.21	9,625.21	
F.63	190x45mm Solid Blocking @ 1500 mm ctrs	69.35	m	27.76	1,925.04	1,925.04	
F.64	<u>Sundry Fixings</u>						
F.65	Miscellaneous stainless fixings not detailed	1.00	PSum	2,000.00	2,000.00	2,000.00	

**To Collection**

27,008

**Project:** Private Commercial  
**Building:** 187 Fitzgerald

**Details:** 187 Fitzgerald Avenue – Repair Estimate

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
<b>FOUNDATIONS</b> <span style="float: right;">(Continued)</span>							
F.66	<u>Allow to fix new particle board flooring</u>						
F.67	House, generally	136.32	m2	74.91	10,211.79	10,211.79	
F.68	<b><u>CONCRETE NIB (RING BEAM)</u></b>						
F.69	<b>FORMWORK</b>						
F.70	<u>Timber formwork to foundations, including all propping, fixing and releasing agent, F4</u>						
F.71	<u>Generally</u>						
F.72	To sides of slabs not exceeding 500mm	100.38	m2	59.14	5,935.97	5,935.97	
F.73	<b>REINFORCEMENT</b>						
F.74	<u>Tensile steel, Grade 550E Cut and bent bar reinforcement</u>						
F.75	4no. HD16 bars to edge beam, generally (1/S3.0)	318.00	kgs	6.30	2,003.13	2,003.13	
F.76	HD12 bars to external beam corners	53.30	kgs	4.66	248.46	248.46	
F.77	D10 ties to beams	10.00	kgs	6.15	61.50	61.50	
F.78	D10 stirrups to beams	10.00	kgs	6.15	61.50	61.50	
F.79	<u>Sundries</u>						
F.80	Hessian Tie wire in fixing the above steel 8kgs / tonne	3.13	kgs	3.62	11.33	11.33	
F.81	<b>CONCRETE</b>						
<b>To Collection</b>						18,534	

**Project:** Private Commercial  
**Building:** 187 Fitzgerald

**Details:** 187 Fitzgerald Avenue – Repair Estimate

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
<b>FOUNDATIONS</b> <span style="float: right;"><i>(Continued)</i></span>							
F.82	<u>25MPa Firth Concrete, poured and vibrated</u>						
F.83	In perimeter beams 300x425mm	6.78	m3	393.00	2,664.54	2,664.54	
F.84	Extra value for forming vents	1.00	sum	1,000.00	1,000.00	1,000.00	
F.85	<u>Sundries</u>						
F.86	Concrete pumping, including travel and set up	6.78	m3	31.32	212.35	212.35	
F.87	<b>PLASTERING</b>						
F.88	<u>Cementitious masonry render system to foundation edge</u>						
F.89	Slab edge, generally	50.18	m	95.00	4,767.14	4,767.14	
F.90	<b>SUNDRY</b>						
F.91	<u>Services</u>						
F.92	Allow for forming penetrations and pipework within foundation system, including vertical pop ups and sealing around membranes	1.00	sum	540.00	540.00	540.00	
F.93	Provisional allowance for forming slab penetrations	1.00	Psum	2,000.00	2,000.00	2,000.00	

**FOUNDATIONS**

**To Collection**

11,184

<b>Project:</b> Private Commercial	<b>Details:</b> 187 Fitzgerald Avenue – Repair Estimate
<b>Building:</b> 187 Fitzgerald	

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
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**FRAME**

I.1	<b>RECONNECTION (POST FOUNDATION WORKS)</b>						
I.2	<u>Allow a sum for minor repairs and reconnection of structures on completion of foundation and lifting works</u>						
I.3	M16x200 Thru bolt fixing to the above	87.00	no.	20.61	1,793.07	1,793.07	
I.4	Mminor repairs and reconnection	1.00	Psum	3,000.00	3,000.00	3,000.00	
I.5	<b>STRUCTURAL STEEL</b>						
I.6	<u>Allow general sum for structural steelwork as required</u>						
I.7	Generally	1.00	Psum	10,000.00	10,000.00	10,000.00	

**FRAME**

**To Collection** 14,793



Project: Private Commercial

Details: 187 Fitzgerald Avenue – Repair Estimate

Building: 187 Fitzgerald

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
<b>STRUCTURAL WALLS</b>							
J.1	<b>TIMBER FRAMED WALLS</b>						
J.2	<u>Assumed up to 50% of wall framing requires replacement. This methodology requires placing new timbers within existing framing. The labour constant is a minimum of 3 times longer than typical site framing</u>						
J.3	<u>All external and internal walls</u>						
J.4	90X45 - 50% replacement	2,400.00	m	54.65	131,152.80	65,576.40	
J.5	Ev to tie into existing structure					incl	
J.6	<u>Re-plum existing framing walls</u>						
J.7	90x45mm, Generally	620.64	m2	16.75	10,395.72	10,395.72	
J.8	Ev to tie into new structure	1.00	sum	303.33	303.33	303.33	
J.9	<b>TREATMENTS</b>						
J.10	<u>Allowance for supply and application of frame saver or similar product to treat existign timbers in-situ</u>						
J.11	Generally, ap[plied on-site	1.00	sum	9,300.00	9,300.00	9,300.00	

**STRUCTURAL WALLS**

To Collection

85,575

**Project:** Private Commercial  
**Building:** 187 Fitzgerald

**Details:** 187 Fitzgerald Avenue – Repair Estimate

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
<b>UPPER FLOORS</b>							
K.1	<b>SUSPENDED FLOORS</b>						
K.2	<u>Missing flooring, water damage, rot damage in various locations on floors both floor levels.</u>						
K.3	<u>Assumed up to 50% of floor framing requires replacement. This methodology requires placing new timbers within existing framing. The labour constant is a minimum of 3 times longer then typical site framing</u>						
K.4	200x50 joists	345.00	m	64.46	22,237.67	11,118.83	
K.5	Allow for new framing/trimmers etc to suit new floor layout	1.00	sum	2,600.00	2,600.00	2,600.00	
K.6	Allow to install new blocking where required to suit new walls	1.00	sum	2,600.00	2,600.00	2,600.00	
K.7	Brackets, bolts and fixings	1.00	sum	1,500.00	1,500.00	1,500.00	
K.8	<b>INSULATION</b>						
K.9	Installation Pink Batt, Snugfloor, R2.6, 100mm thick floor insulation including strapping, between floor joists	119.87	m2	21.62	2,591.46	2,591.46	
K.10	<b>PLYWOOD</b>						
K.11	<u>Fix H3.2 plywood over top of floor</u>						
K.12	Plywood, Generally	119.87	m2	58.63	7,027.44	7,027.44	
K.13	Refix (screw down) balance of flooring		m2	21.62	0.00	incl	

**UPPER FLOORS****To Collection**

27,438

Project: Private Commercial

Details: 187 Fitzgerald Avenue – Repair Estimate

Building: 187 Fitzgerald

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
<b>ROOF FRAME</b>							
L.1	<b>CEILING JOISTS</b>						
L.2	<u>Allow for inspection and completion of a roof report to identify earthquake and consequential damage associated with the building repair</u>						
L.3	<u>Assumed up to 50% of ceiling joist framing requires replacement. This methodology requires placing new timbers within existing framing. The labour constant is a minimum of 3 times longer then typical site framing</u>						
L.4	200x50 joists	345.00	m	64.46	22,237.67	11,118.83	
L.5	Brackets	1.00	sum	1,000.00	1,000.00	1,000.00	
L.6	<b>ROOF FRAME</b>						
L.7	<u>Allow for inspection and completion of a roof report to identify earthquake and consequential damage associated with the building repair</u>						
L.8	<u>Assumed up to 50% of ceiling joist framing requires replacement. This methodology requires placing new timbers within existing framing. The labour constant is a minimum of 3 times longer then typical site framing</u>						
L.9	140X45 - 50% replacement	308.00	m	60.17	18,531.44	9,265.72	
L.10	Brackets	1.00	sum	1,000.00	1,000.00	1,000.00	
L.11	Reform internal gutter and	35.31	m	660.00	23,304.59	23,304.59	
L.12	<b>PLYWOOD SARKING</b>						
L.13	<u>Fix H3.2 plywood over top of floor</u>						
L.14	Plywood, Generally	151.00	m2	29.25	4,416.75	4,416.75	
L.15	Reform internal gutter and					incl above - see roof frame	
<b>To Collection</b>						50,106	

<b>Project:</b> Private Commercial	<b>Details:</b> 187 Fitzgerald Avenue – Repair Estimate
<b>Building:</b> 187 Fitzgerald	

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
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**ROOF FRAME**

*(Continued)*

L.16	<b>EXTERNAL PARAPET</b>						
L.17	<u>Timber rot, blistering and paint damage to all remaining parapets and fascia's (some are not in place) on the Northern and Western elevations. Partial damage on the southern elevation. No significant damage noted on the Eastern elevation.</u>						
L.18	Generally	35.31	m	170.00	6,002.70	6,002.70	

**ROOF FRAME**

**To Collection**

6,003

**Project:** Private Commercial  
**Building:** 187 Fitzgerald

**Details:** 187 Fitzgerald Avenue – Repair Estimate

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
<b>EXTERNAL WALL FINSHES</b>							
O.1	<b>INSULATION</b>						
O.2	<u>Pink Batts R2.8 90mm Wall Insulation fitted tightly between wall framing</u>						
O.3	External Walls, Installation only	249.00	m2	3.60	896.40	896.40	To voids
O.4	<b>BUILDING WRAP</b>						
O.5	<u>Tekton Building Wrap fixed to wall framing, lapped 150mm at joints and taped</u>						
O.6	Exterior walls, Installation only	249.00	m2	6.50	1,618.50	1,618.50	
O.7	<b>CAVITY BATTENS</b>						
O.8	<u>45 x 20mm Radiata H3.1 Cavity Battens vertical for Weather-board cladding system</u>						
O.9	External Walls, generally	249.00	n/a	40.94	10,194.81	10,194.81	
O.10	<b>WEATHERBOARDS</b>						
O.11	<u>Allow to refurbish existing weatherboard to make suitable for reuse</u>						
O.12	Weatherboard (damaged)	62.20	m2	304.20	18,921.24	18,921.24	
O.13	<u>Cladding as indicated below, to exterior face, external and internal angle moulding, edge finishing to openings and decoration where required</u> <u>Weatherboards</u>						
O.14	Reinstate Weatherboard (refurbished)	62.20	m2	152.10	9,460.62	9,460.62	
O.15	Weatherboard (new)	186.80	m2	317.00	59,215.60	59,215.60	
<b>To Collection</b>						<b>100,307</b>	

**Project:** Private Commercial  
**Building:** 187 Fitzgerald

**Details:** 187 Fitzgerald Avenue – Repair Estimate

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
<b>EXTERNAL WALL FINSHES</b> <span style="float: right;"><i>(Continued)</i></span>							
O.16	FC board to Parapet (>500mm)	35.31	m	115.00	4,060.65	4,060.65	
O.17	<u>Allow to reseal all joints in Linea cladding, including raking out existing damaged sealant and preparation</u>						
O.18	Elevation generally	249.00	m2	16.00	3,984.00	3,984.00	
O.19	<b>FEATURE ITEMS</b>						
O.20	<u>Allow to refurbish existing feature timbers for reinstatement</u>						
O.21	Joinery specialist	1.00	sum	20,000.00	20,000.00	20,000.00	
O.22	<u>Allow to reinstall existing feature timbers</u>						
O.23	Colonial trim - mid height	18.00	m	53.75	967.50	967.50	
O.24	Colonial trim - roof height	24.00	m	53.75	1,290.00	1,290.00	
O.25	Colonial trim - corner mould	62.00	m	53.75	3,332.50	3,332.50	
O.26	Colonial trim - window head / surround	7.00	no	212.50	1,487.50	1,487.50	
O.27	<b>PAINTING</b>						
O.28	<u>Three coat water based exterior paint system to external walls to match existing, paint walls where new cladding will butt in with existing</u>						
O.29	Exterior Paint	249.00	m2	35.00	8,715.00	8,715.00	
O.30	Feature timbers	111.00	m	25.00	2,775.00	2,775.00	

**EXTERNAL WALL FINSHES**

**To Collection**

46,612

**Project:** Private Commercial**Details:** 187 Fitzgerald Avenue – Repair Estimate**Building:** 187 Fitzgerald

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
<b>WINDOWS &amp; DOORS</b>							
P.1	<b>UPVC WINDOWS AND DOORS</b>						
P.2	<u>Supply and install Windows and Doors to replace existing including all fixings and fittings</u>						
P.3	Windows, generally	57.20	m2	900.00	51,480.00	51,480.00	
P.4	<b>EXTERNAL DOORS</b>						
P.5	<u>Supply and install 2400 x 950mm Timber Entrance Door including all hinges, hardware and the like</u>						
P.6	Doors (including highlight)	4.00	no	2,879.60	11,518.40	11,518.40	
P.7	Doors with glazing	2.00	no	3,879.60	7,759.20	7,759.20	

**WINDOWS & DOORS****To Collection**

70,758

Project: Private Commercial

Details: 187 Fitzgerald Avenue – Repair Estimate

Building: 187 Fitzgerald

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
<b>ROOF</b>							
Q.1	<b>ROOF</b>						
Q.2	<u>lashing and ridging distortion and sheeting corrosion present on the roof cladding which has caused internal water ingress to the building. A full inspection of the roof was unable to be completed, however the small areas noted all had consistent levels of damage</u>						
Q.3	<u>Sheet Roofing, Corrugate with wire netting, underlay and 0.1m of flashing per m2 of roof</u>						
Q.4	AlumiGard™ 0.9mm, pre-finished	151.00	m2	130.00	19,630.00	19,630.00	
<b>RAINWATER MANAGMENT</b>							
Q.6	<u>Butynol internal gutter; dressed under metal cladding and vertical to parapet</u>						
Q.7	Generally	35.31	m	400.00	14,123.99	14,123.99	
Q.8	<u>Eaves Gutter or Spouting with external and internal angles, and downpipe droppers</u>						
Q.9	125 half round	22.04	m	66.00	1,454.54	1,454.54	
Q.10	<u>Round Downpipe including proprietary offsets and clips - Prefinished Steel, 0.55mm</u>						
Q.11	100mm diameter, 1 offset/5m drop	10.00	m	108.00	1,080.00	1,080.00	
Q.12	<u>Custom flashings</u>						
Q.13	Parapet	35.31	m	65.00	2,295.15	2,295.15	

**ROOF**

To Collection

38,584



Project: Private Commercial

Details: 187 Fitzgerald Avenue – Repair Estimate

Building: 187 Fitzgerald

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
<b>ACCESS</b>							
R.1	<b>ACCESS SCAFFOLDING</b>						
R.2	<u>Exterior scaffold for builders and roof edge protection, Erect, Dismantle &amp; Transportation. Including weekly rental and safety charges</u>						
R.3	Erect, dismantle and maintenance of a vertical scaffold system to the elevation of the building	250.95	m2	35.00	8,783.25	8,783.25	
R.4	Rental (Per Week)	14.00	week	750.00	10,500.00	10,500.00	
R.5	Safety & Compliance Checks (Per Week)	14.00	week	100.00	1,400.00	1,400.00	
R.6	<u>Internal</u>						
R.7	1 x Mobile tower Alloy scaffolding	1.00	no	600.00	600.00	600.00	
R.8	1 x Mobile Alloy scaffolding	5.00	weeks	90.00	450.00	450.00	
R.9	<b>PLANT</b>						
R.10	<u>Allow a sum for a Hiab to lift structural steel into place, costs for delivery and lifting time</u>						
R.11	Hiab, generally	1.00	sum	6,000.00	6,000.00	6,000.00	

**ACCESS****To Collection**

27,733

<b>Project:</b> Private Commercial	<b>Details:</b> 187 Fitzgerald Avenue – Repair Estimate
<b>Building:</b> 187 Fitzgerald	

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
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**STAIRS**

U.1	<b>STAIRS</b>						
U.2	<u>Allow to refurbish existing feature timbers for reinstatement</u>						
U.3	Joinery specialist	1.00	sum	10,000.00	10,000.00	10,000.00	
U.4	<u>Loose stair baluster posts and stair treads; reinstall as per original configuration</u>						
U.5	Generally	1.00	sum	2,400.00	2,400.00	2,400.00	

**STAIRS**

**To Collection** 12,400

**Project:** Private Commercial  
**Building:** 187 Fitzgerald

**Details:** 187 Fitzgerald Avenue – Repair Estimate

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
<b>INTERNAL WALLS &amp; FINISHES</b>							
V.1	<b>PLASTERBOARD</b>						
V.2	<u>Install 13mm Standard Gib-board mechanically fixed to timber framing or battens</u>						
V.3	Walls, generally	591.61	m2	37.12	21,960.39	21,960.39	
V.4	<u>Install 13mm Fyreline Gib-board mechanically fixed to timber framing or battens</u>						
V.5	Walls, generally	96.47	m2	44.76	4,318.04	4,318.04	
V.6	<u>Install 13mm Aqualine Gib-board mechanically fixed to timber framing or battens</u>						
V.7	Walls, generally	78.92	m2	66.06	5,213.70	5,213.70	
V.8	<b>STOPPING</b>						
V.9	<u>Stopping compound to gib-board joints and junctions, including all preparation, filling and sanding, level 4, Entire rooms</u>						
V.10	Walls, generally	767.00	m2	15.20	11,658.40	11,658.40	
V.11	<b>TRIMS</b>						
V.12	<u>Install ornate trims and skirtings, fixed to gib-board finishes</u>						
V.13	Walls, generally	200.00	m	50.70	10,140.00	10,140.00	
V.14	<u>Install Architrave, fixed to gib-board finishes</u>						
V.15	Walls, generally	400.00	m	50.70	20,280.00	20,280.00	
V.16	<b>PAINTING</b>						
<b>To Collection</b>						73,571	

<b>Project:</b> Private Commercial	<b>Details:</b> 187 Fitzgerald Avenue – Repair Estimate
<b>Building:</b> 187 Fitzgerald	

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
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**INTERNAL WALLS & FINISHES**

*(Continued)*

V.17	<u>3 Coats of Dulux DuSpec Internal Paint system to standard colours, including all cleaning and preparation</u>						
V.18	Plasterboard Walls, generally	591.61	m2	20.00	11,832.11	11,832.11	
V.19	Skirtings, not exceeding 150mm girths		incl	8.00	0.00	incl	
V.20	Architraves, not exceeding 50mm girths		incl	8.00	0.00	incl	

**INTERNAL WALLS & FINISHES**

**To Collection** 11,832

**Project:** Private Commercial  
**Building:** 187 Fitzgerald

**Details:** 187 Fitzgerald Avenue – Repair Estimate

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
<b>CEILING FINISHES</b>							
W.1	<b>INSULATION</b>						
W.2	<u>Supply and Install Pink Batts Ultra R3.6 Ceiling insulation fitted between ceiling joists</u>						
W.3	To Ceiling Joists	132.00	m2	13.68	1,805.28	1,805.28	
W.4	To Mid-floor	132.00	m2	13.68	1,805.28	1,805.28	
W.5	<b>RONDO BATTEN CEILINGS - TO NEW EXTENSION</b>						
W.6	<u>35mm Rondo batten, fixed to timber frame ceilings, including all joiners and clips @ 600mm c/c</u>						
W.7	Ceilings, generally	264.00	m2	35.00	9,240.00	9,240.00	
W.8	<u>35mm Perimeter Channel, fixed to timber frame ceilings, including all joiners and clips @ 600mm c/c</u>						
W.9	Ceilings, generally		incl			incl	
W.10	<b>PLASTERBOARD</b>						
W.11	<u>13mm Standard Gib-board mechanically fixed to timber framing or battens</u>						
W.12	Ceilings, generally	264.00	m2	37.12	9,799.68	9,799.68	
W.13	<u>Install 13mm Fyreline Gib-board mechanically fixed to timber framing or battens</u>						
W.14	Walls, generally	1.00	Psum	3,000.00	3,000.00	3,000.00	
W.15	<u>Install 13mm Aqualine Gib-board mechanically fixed to timber framing or battens</u>						
W.16	Walls, generally	20.00	m2	66.06	1,321.20	1,321.20	P-Qty
<b>To Collection</b>						26,971	

**Project:** Private Commercial  
**Building:** 187 Fitzgerald

**Details:** 187 Fitzgerald Avenue – Repair Estimate

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
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**CEILING FINISHES***(Continued)*

W.17	<b>STOPPING</b>						
W.18	<u>Stopping compound to gib-board joints and junctions, including all preparation, filling and sanding, level 4</u>						
W.19	Ceilings, generally	264.00	m2	15.00	3,960.00	3,960.00	
W.20	Square stopping		excl	15.00	0.00	0.00	
W.21	<b>PAINTING</b>						
W.22	<u>3 Coats of Dulux DuSpec Internal Paint system to standard colours, including all cleaning and preparation</u>						
W.23	Ceiling linings, generally	264.00	m2	20.00	5,280.00	5,280.00	

**CEILING FINISHES****To Collection**

9,240

<b>Project:</b> Private Commercial	<b>Details:</b> 187 Fitzgerald Avenue – Repair Estimate
<b>Building:</b> 187 Fitzgerald	

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
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**INTERNAL DOORS**

X.1	<b>INTERNAL DOORS</b>						
X.2	<u>Install new standard hollow-core door, hardboard faced including timber frame</u>						
X.3	Timber Door, 1980x810mm	20.00	no.	1,579.60	31,592.00	31,592.00	

**INTERNAL DOORS**

**To Collection** 31,592

**Project:** Private Commercial  
**Building:** 187 Fitzgerald

**Details:** 187 Fitzgerald Avenue – Repair Estimate

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
Y.1	<b>TANKING</b>						
Y.2	<u>Tile and slate 6mm underlay 1800mm x 1200mm Hardies</u>						
Y.3	Floors, generally	22.70	m2	39.05	886.33	886.33	
Y.4	<b>CARPET</b>						
Y.5	<u>Supply and install selected floor coverings for all townhouses, note no product was spec'd</u>						
Y.6	Carpet - PC SUM \$70.00/m2 - Feltex Calluna carpet on 11mm Luxury Plush Underlay	91.95	m2	70.00	6,436.50	6,436.50	
Y.7	Carpet to Garage Floors		excl				
Y.8	<b>TIMBER FLOORING</b>						
Y.9	<u>Acoustic underlay</u>						
Y.10	Commercial Areas	124.64	m2	17.10	2,131.34	2,131.34	
Y.11	Residential areas	124.64	m2	17.10	2,131.34	commercial	
Y.12	<u>Tongued &amp; grooved flooring, 25mm, including sanding and 3 coats of polyurethane</u>						
Y.13	Commercial - Timber Flooring - PC Sum Supply \$150/m2	124.64	m2	320.00	39,884.78	39,884.78	
Y.14	Residential - Timber Floor - PC Sum supply - \$90/m2	124.64	m2	250.00	31,159.98	commercial	
Y.15	<b>VINYL</b>						
Y.16	<u>2mm thick Tarkett Optima or similar, sheet vinyl flooring</u>						

**To Collection**

49,339



Trade Breakup



<b>Project:</b> Private Commercial	<b>Details:</b> 187 Fitzgerald Avenue – Repair Estimate
<b>Building:</b> 187 Fitzgerald	

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
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**FLOOR FINISHES**

*(Continued)*

Y.17	wet areas	22.70	m2	150.00	3,404.60	3,404.60	
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**FLOOR FINISHES**

**To Collection** 3,405

<b>Project:</b> Private Commercial	<b>Details:</b> 187 Fitzgerald Avenue – Repair Estimate
<b>Building:</b> 187 Fitzgerald	

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
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**FIXTURES & FITTINGS**

Z.1	<b>FIXTURES &amp; FITTINGS</b>						
Z.2	<u>Allow general sum for replacement of kitchens, storage/shelvings, vanities, hardware and other miscellaneous FF&amp;E</u>						
Z.3	Generally	1.00	Psum	200,000.00	200,000.00	200,000.00	

**FIXTURES & FITTINGS**

**To Collection**      200,000

<b>Project:</b> Private Commercial	<b>Details:</b> 187 Fitzgerald Avenue – Repair Estimate
<b>Building:</b> 187 Fitzgerald	

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
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**PLUMBING & DRAINAGE SERVICES**

AC.1	<b>PLUMBING &amp; PIPEWORK</b>						
AC.2	<u>General plumbing pipework including in-slab, stack vents and external taps</u>						
AC.3	Plumbing, generally	1.00	sum	24,280.00	24,280.00	24,280.00	
AC.4	Allow for main contractors attendance	1.00	sum	750.00	750.00	750.00	
AC.5	<b>SHOWER INSTALLATION</b>						
AC.6	<u>Allow to install the above showers</u>						
AC.7	Install Showers, generally	1.00	sum	860.00	860.00	860.00	
AC.8	<b>BUILDERS WORK</b>						
AC.9	<u>Allow for building work for the following</u>						
AC.10	HWC Stand and additional walls strapping (Battens)	3.00	no	280.13	840.39	840.39	

**PLUMBING & DRAINAGE SERVICES**

**To Collection** 26,730

**Project:** Private Commercial  
**Building:** 187 Fitzgerald

**Details:** 187 Fitzgerald Avenue – Repair Estimate

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
<b>SANITARYWARE</b>							
AD.1	<b>SANITARY PLUMBING</b>						
AD.2	<u>Allow for the supply of the sanitary ware to be fitted by the plumber</u>						
AD.3	<u>WC</u>						
AD.4	Kado Lux Ccbtnw OH Bk/I WC Suite White	3.00	PC sum	477.39	1,432.17	1,432.17	
AD.5	Cosmo Metal Toilet Roll Holder Blis		Incl				
AD.6	<u>SHOWER</u>						
AD.7	Sereno Frameless 1.3m + Centre Door	2.00	PC sum	1,299.20	2,598.40	2,598.40	
AD.8	Allproof Tile Waste (Square) 80mm	2.00	PC sum	315.18	630.36	630.36	
AD.9	<u>TAPWARE</u>						
AD.10	Azzurra Bella Rain Shower Head With Up-swept Arm	3.00	PC sum	75.00	225.00	225.00	SHOWER
AD.11	Echo 3 Function Slide Shower Mixer	3.00	PC sum	75.00	225.00	225.00	SHOWER
AD.12	Milli Glance Basin Mixer Chrome	3.00	PC sum	291.30	873.90	873.90	BASIN
AD.13	T/Bill Flag 96300 P/Dwn Sink Mixer CP	3.00	PC sum	447.83	1,343.49	N/A	KITCHEN
AD.14	OR						
AD.15	Mizu Soothe Sink Mixer W/Pullout CP	5.00	PC sum	386.96	1,934.80	1,934.80	KITCHEN
AD.16	<u>VANITY</u>						

**To Collection**

7,920

<b>Project:</b> Private Commercial	<b>Details:</b> 187 Fitzgerald Avenue – Repair Estimate
<b>Building:</b> 187 Fitzgerald	

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
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**SANITARYWARE**

*(Continued)*

AD.17	Citi 750 Floor Standing 2 Drawer Vanity in Gloss White	3.00	PC sum	850.00	2,550.00	2,550.00	
AD.18	ADD						
AD.19	Diverta 550 Inset Basin 1th White	3.00	PC sum	223.70	671.10	n/a	
AD.20	Laufen Pro Wash hand Basin	3.00	PC sum	334.77	1,004.31	n/a	
AD.21	Bottle Trap Chrome 32/40mm	3.00	PC sum	110.40	331.20	n/a	
AD.22	Pop up Waste W/OF Dome Flat 32mm	3.00	PC sum	33.55	100.65	100.65	
	<u>Sub-total Of Sanitary Ware</u>					<u>10,570.28</u>	
AD.23	<u>HWC</u>						
AD.24	300 Ltr Atlantic Cylinder Steatite Element	3.00	PC sum	1,251.55	3,754.65	INCL	
AD.25	<u>DELIVERY CHARGE</u>						
AD.26	All fittings and fixtures	1.00	sum	300.00	300.00	300.00	

**SANITARYWARE**

**To Collection** 2,951

<b>Project:</b> Private Commercial	<b>Details:</b> 187 Fitzgerald Avenue – Repair Estimate
<b>Building:</b> 187 Fitzgerald	

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
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**ELECTRICAL SERVICES**

AE.1	<b>ELECTRICAL</b>						
AE.2	<u>General electrical services including all wiring, lighting, fittings, fixtures and systems</u>						
AE.3	Electrical, generally	1.00	sum	25,557.00	25,557.00	25,557.00	
AE.4	Car Charger Ports		Excl				
AE.5	<b>FIRE SERVICES</b>						
AE.6	<u>Supply and Installation of Smoke Alarm Detectors.</u>						
AE.7	Smoke Alarms,		INCL			ELEC	
AE.8	<b>APPLIANCES</b>						
AE.9	<u>General Kitchen appliance supply</u>						
AE.10	Generally	1.00	PCsum	12,000.00	12,000.00	12,000.00	

**ELECTRICAL SERVICES**

To Collection 37,557

<b>Project:</b> Private Commercial	<b>Details:</b> 187 Fitzgerald Avenue – Repair Estimate
<b>Building:</b> 187 Fitzgerald	

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
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**MECHANICAL SERVICES**

AF.1	<b>HEAT PUMP</b>						
AF.2	<u>Supply and install Mitsubishi high wall heat pump including all ductwork and fixings; install mechanical ventilation where required</u>						
AF.3	Generally	1.00	no	24,000.00	24,000.00	24,000.00	

**MECHANICAL SERVICES**

**To Collection**      24,000

<b>Project:</b> Private Commercial	<b>Details:</b> 187 Fitzgerald Avenue – Repair Estimate
<b>Building:</b> 187 Fitzgerald	

Ref.	Description	Quantity	Unit	Rate	Subtotal	Total	User1
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**DRAINAGE, SURFACE WATER & SERVICES**

AG.1	<b>STORM-WATER DRAINAGE</b>						
AG.2	<u>Allow to excavate in trenches for storm-water drainage and connect into existing drainage pipes</u>						
AG.3	150mm dia, SN4		excl	39.37	0.00	by others	
AG.4	<b>WASTE-WATER DRAINAGE</b>						
AG.5	<u>Allow to excavate in trenches for waste-water drainage and connect into existing drainage pipes</u>						
AG.6	150mm dia, SN4		excl	39.37	0.00	by others	

**DRAINAGE, SURFACE WATER & SERVICES**

To Collection

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## Report / Decision on a Resource Consent Application

(Sections 95A, 95B and 104 / 104B)

<b>Application number:</b>	<b>RMA/2023/325</b>
<b>Applicant:</b>	Fern Fitzgerald Limited
<b>Site address:</b>	187 Fitzgerald Ave, Central City, Christchurch
<b>Zone:</b>	<b>District Plan:</b> Residential Central City Zone <b>Proposed Plan Change 14:</b> High Density Residential Zone
<b>Overlays and map notations:</b>	<b>District Plan:</b> Central City Building Height 14m Overlay Category 3: Lower Noise Level Area Central City Outer Zone Flood Management Area Liquefaction Hazard Liquefaction Management Area (LMA) Heritage Item (641) Heritage Setting (376)  <b>Proposed Plan Change 13:</b> Heritage Item, Heritage Setting <b>Proposed Plan Change 14:</b> High Density Residential Precinct
<b>Activity status:</b>	Discretionary Activity
<b>Application:</b>	To demolish the existing heritage scheduled building.

### Section 133A minor corrections to report

A section 133A minor correction to the decision has been issued to amend the conclusion of the s95 report. The original conclusion noted:

#### Conclusion

Overall, I consider that any adverse effects on the wider environment will be minor and that there will be no affected persons.

This has been amended to:

#### Conclusion

Overall, I consider that any adverse effects on the wider environment will be more minor and that there will be no affected persons.

I consider this to be a minor correction within the scope of s133A, noting no other changes are required to be made to the report. Pursuant to s133A, the conclusion now aligns with the conclusion so earlier sections of the report that public notification is necessary given the findings in terms of adverse heritage effects. The section 133A decision has been made within 20 working days of the granting of the consent as required.

### Proposed activity

The proposal is described in detail in section 3 of the application. The key aspects are:

- Demolition of the heritage building including earthworks to remove the foundations.

I conducted a site visit, along with Mr Gareth Wright (Councils Heritage Advisor) and the applicant's team on 12 December 2022, prior to the lodgement of this consent. This enabled us to inspect the interior and exterior of the building.

## Description of site and existing environment

The application site, surrounding environment and consent history are described in section 2 of the application. I adopt the applicant's description.

Of note, the building was constructed as a late Victorian combination shop/dwelling, built around 1900 of Otto Lieske and remained with the family until 1968 until it was sold and then became a shirt factory and later an audio/television repair store. The building was damaged in the 2010-2011 earthquake sequence and has since remained vacant and boarded up. During this time, it has been subject to unauthorised occupation which was seen it further deteriorate.

## Activity status

### Christchurch District Plan

The site is zoned Residential Central City in the operative Christchurch District Plan.

The proposal is a discretionary activity under the following rules in the District Plan:

Activity status rule	Standard not met	Reason	Matters of control or discretion	Notification clause
8.9.2.3 RD1	8.9.2.1 P1 a. Volume of earthworks	The proposed earthworks may exceed the 20m <sup>3</sup> maximum volume in Table 9 The earthworks will be within 5m of heritage item and may exceed the volumes in Table 9 within a heritage setting.	Relevant matters of discretion: 8.9.4.1 - Nuisance 8.9.4.3 - Land stability 8.9.4.6 – Amenity 8.9.4.8 - Historic heritage	8.9.1 a. - Must not be publicly notified
9.3.4.1.4 D2	-	The proposal is for the demolition of a Significant (Group 2) heritage item.	-	No Clause

### Proposed Plan Changes 13 Heritage and 14 Housing and Business Choice

Proposed Plan Changes 13 (PC13) and 14 (PC14) are relevant to this proposal. They were notified on 17 March 2023 and propose amendments to the objectives, policies and rules associated with residential development in accordance with the Medium Density Residential Standards (MDRS) in Schedule 3A of the RMA (as modified by the recession plane qualifying matter), and heritage buildings and areas respectively. PC14 also includes other residential intensification provisions and seeks to amend the objectives, policies and rules associated with commercial development within and around the central city, suburban commercial centres and planned high frequency and capacity public transport. The submission period closed on the 12<sup>th</sup> of May 2023.

The heritage rules in PC13 and PC14 have immediate legal effect pursuant to section 86B(3) as they seek to protect historic heritage.

In terms of PC14 and the MDRS, the site is identified as being within the following qualifying matter areas, being Sunlight Access, Heritage Item and Heritage Setting. As a result, the rules do not have immediate legal effect given section 86BA(1)(c)(ii) and the operative district plan rules continue to apply. While the objectives and policies have legal effect from the date of notification, Policy 2 of the MDRS requires that the MDRS (including the objectives and policies) cannot be applied where a qualifying matter is relevant.

All elements of the both plan changes are currently open for submissions and the only rules in legal effect are those that relate to historic heritage. As such, the rules in the operative plan also currently remain in effect.

The application was lodged prior to the heritage rules in PC13 and PC14 coming into effect, therefore pursuant to s88A the activity status is set by the operative District Plan rules in effect at the time of lodgement. The proposed rules themselves do not apply but regard must be had to relevant provisions of the plan changes when assessing the application under s104(1)(b).

The relevant rule in PC13 remains unchanged from the operative plan but it still considered relevant for the purpose of the s104(1)(1b) assessment.

## Overall activity status

Overall, the application must be assessed as a discretionary activity, being the most restrictive activity status.

### Written approvals [Sections 95D, 95E(3)(a) and 104(3)(a)(ii)]

No written approvals have been provided with the application.

### NOTIFICATION ASSESSMENT

#### Adverse effects on the environment and affected persons [Sections 95A, 95B, 95E(3) and 95D]

When assessing whether adverse effects on the **environment** will be, or are likely to be, more than minor, any effects on the owners and occupiers of the application site and adjacent properties must be disregarded (section 95D(a)). The assessment of **affected persons** under section 95E includes persons on adjacent properties as well as those within the wider environment.

As a discretionary activity, assessment of this proposal is unrestricted and all actual and potential effects must be considered. Guidance as to the effects that require consideration is contained in the relevant objectives and policies, and any associated matters of discretion or control.

The objectives and policies in the operative District Plan set the context for assessing the effects of the application. I note that the MDRS objectives and policies introduced in PC14 do not apply in qualifying matter areas, and other proposed objectives and policies including those in PC13 are open to challenge via submissions and can therefore be given very little weight.

Sections 95D(b) and 95E(2)(a) allow the adverse effects of activities permitted by the District Plan or an NES to be disregarded (the “permitted baseline”). In this case, given the site contains a heritage building there is no permitted baseline as any proposal, outside of minor maintenance or repair work as set out in rule 9.3.4.1.1 and corresponding definitions, requires resource consent.

#### Adverse Heritage Effects

As noted earlier, the objectives and policies in the District Plan set the context for assessing the effects of the proposed demolition of a heritage item. Of particular relevance to this application is Objective 9.3.2.1.1 which:

*“recognises the condition of buildings, particularly those that have suffered earthquake damage, and the effect of engineering and financial factors on the ability to retain, restore, and continue using them; and acknowledges that in some situations demolition may be justified by reference to matter in Policy 9.3.2.2.8”.*

The associated Policy 9.3.2.2.8 outlines five matters for considering the appropriateness of the demolition of a heritage item, which includes:

- i. whether there is a threat to life and/or property for which interim protection measures would not remove that threat;
- ii. whether the extent of the work required to retain and/or repair the heritage item is of such a scale that the heritage values and integrity of the heritage item would be significantly compromised;
- iii. whether the costs to retain the heritage item (particularly as a result of damage) would be unreasonable;
- iv. the ability to retain the overall heritage values and significance of the heritage item through a reduced degree of demolition; and
- v. the level of significance of the heritage item.

The objectives and policies do clearly acknowledge that in some situations demolition may be justified. In acknowledging this fact, it is my opinion that the structural matters resulting from the earthquake and associated repair strategies are relevant to the assessment of the heritage values of this building. I consider that the starting point for the assessment of the buildings significance and the potential effects of its loss due to demolition is its post-earthquake damaged state, as the damage caused cannot be undone.

In terms of the unreasonableness of costs to retain the heritage item, I note that any cost savings to the applicant are considered a positive effect, which are not to be considered as part of a s95 notification recommendation. Further comment as to these costs, in the context of the Objective and Policy highlighted above are made below.

I note that the interior is not scheduled or protected by the District Plan as such any interior works could occur without resource consent.

The Applicant has provided information on the extent of the work required to retain and repair the building such that it can be brought back into a commercial use, the cost of these works and an assessment of the implications of this repair work for the heritage values of the building.

Details of the repair work are set out in section 4 of the Heritage Impact Assessment (HIA). These include full replacement of the foundation system, which would include lifting the whole building to enable a suitable foundation to be installed. Above ground, most of the internal linings need replacement, as well as the external cladding, roof and windows. Estimated costings for this work were also provided, which noted costs were likely to be upwards of \$2million + GST. I note that the HIA has not been prepared by a Heritage Expert, although I do understand Mr Vincent has a background of working with heritage buildings.

The application has been assessed by Mr Gareth Wright, Councils Heritage Advisor who notes that for damaged heritage items, it is necessary to consider if, following a reasonable repair strategy, the building would maintain or reinstate its heritage values such that it would remain scheduled within the District Plan. In the case where the repair would diminish the heritage values, and the heritage values are compromised then demolition may be appropriate.

Mr Wright continues *'The damage sustained by 187 Fitzgerald Avenue as a consequence of deferred maintenance and the Canterbury Earthquake sequence has not notably impacted the heritage values ascribed to it. As it stands, the building is substantially complete – albeit in poor condition'*. In terms of the exterior repair, Mr Wright states *'The proposed scope of works to the exterior envelope of the building would see the greater part of its heritage fabric replaced or reconstructed. But if the repair is undertaken 'like for like' and done well, the building will appear as before – and will still represent those values for which it was scheduled'*. Mr Wright concludes that given the building will present as before, it will retain at least a moderate degree of authenticity and integrity. Notably, Mr Wright argues that timber buildings especially, suffer decay and require repair and reconstruction over time.

Mr Wright therefore concludes that with reasonable repair, the building would maintain an integrity and authenticity and the heritage values would be maintained such that it would still be scheduled as a significant item within the District Plan and therefore the adverse effects on heritage values are substantial.

In terms of the engineering and financial factors (costs) noting Objective 9.3.2.1.1(a)(ii) and Policy 9.3.2.2.8(a)(iii) it is recognised and acknowledged that the building is in poor condition. The cost of repair are seemingly prohibitive, I must therefore conclude unreasonable in the context of this policy, also noting the extent of work required, specifically in terms of the foundation and structural engineering as noted in the Tetrad Structural Report (19 January 2023). However, whilst recognising that this plan context would somewhat mitigate the loss of the heritage values, I do not consider that the condition of the building and the unreasonableness of the costs would outweigh the total loss of heritage value.

I note the conclusion of the applicant that the heritage values would be significantly compromised following the repair work required. However, there is no heritage expert advice to back this up from the applicant such that I am constrained in terms of the expert advice before me as to how these repairs relate to the post repair heritage values. As such I agree with and adopt the expert advice from Mr Wright.

I therefore conclude that adverse effects on the heritage values due to the demolition would be more than minor, even after taking into account the mitigating factors of the unreasonableness of the costs, on the wider environment and as such public notification is required. I do not however consider any specific identifiable persons to be adversely affected by the proposed demolition.

### **Adverse Earthworks Effects**

Earthworks will be limited to removing the limited foundation structure and clearing this portion of the site. Conditions have been offered to ensure best practice methods are following, including erosion and sediment control. To ensure that the earthworks will not adversely affect the future development potential of the land for permitted activities, the applicant has offered conditions requiring adherence to NZ standards for residential filling and the provision of documentation for the property file so that future owners are alerted and any buildings appropriately designed to account for the fill that will have taken place. Furthermore, a requirement for all fill material to be clean fill will ensure there are no adverse effects on the quality of groundwater or future NESCS issues created as a result of the work. Overall, I consider any adverse earthworks effects would be less than minor on both the environment and any persons.

### **Adverse Construction Effects**

The demolition process will result in a number of temporary effects that are relevant to consider as part of this consent process. Such effects include nuisance dust, sediment and debris, noise effects, damage to roads and potential traffic safety and management effects. In the event consent is granted, I consider that all of these temporary demolition effects can be managed by conditions of consent, which cover the following matters:

- Mitigation of any dust effects caused during the demolition so that dust is not a nuisance to nearby properties.
- Restricting demolition activities so as not to cause noise nuisance for residents at night.
- Provision to keep roads and adjoining access ways clear of dust and debris during the demolition process.
- The provision of a traffic management plan, to ensure traffic and pedestrian safety throughout the process, noting the proximity of the building to the footpath and road.
- The repair of any damage caused during demolition to adjoining roads, access ways and footpaths.

These are addressed by conditions which have been accepted by the Applicant.

In conclusion, any demolition effects are of a temporary nature and when properly managed in accordance with a demolition plan and the types of consent conditions discussed above any effects on the environment will be less than minor.

### Conclusion

Overall, I consider that any adverse effects on the wider environment will be more minor and that there will be no affected persons.

### Notification tests [Sections 95A and 95B]

Sections 95A and 95B set out the steps that must be followed to determine whether public notification or limited notification of an application is required.

<b>PUBLIC NOTIFICATION TESTS – Section 95A</b>	
<b>Step 1: Mandatory notification – section 95A(3)</b>	
➤ Has the applicant requested that the application be publicly notified?	<b>No</b>
➤ Is public notification required under s95C (following a request for further information or commissioning of report)?	<b>No</b>
➤ Is the application made jointly with an application to exchange reserve land?	<b>No</b>
<b>Step 2: If not required by Step 1, notification is precluded if any of these apply – section 95A(5)</b>	
➤ Does a rule or NES preclude public notification for all aspects of the application?	<b>No</b>
➤ Is the application a controlled activity?	<b>No</b>
➤ Is the application a boundary activity?	<b>No</b>
<b>Step 3: Notification required in certain circumstances if not precluded by Step 2 – section 95A(8)</b>	
➤ Does a rule or NES require public notification?	<b>No</b>
➤ Will the activity have, or is it likely to have, adverse effects on the environment that are more than minor (discussed above)?	<b>Yes</b>
<b>Step 4: Relevant to all applications that don't already require notification – section 95A(9)</b>	
➤ Do special circumstances exist that warrant the application being publicly notified?	<b>No</b>

Given the high-profile nature of heritage issues following the earthquake and the media coverage of earthquake issues, this application may attract a level of public interest. This is evident from the involvement of heritage interest groups in Council processes. However, the case law suggests that public interest alone does not give rise to special circumstances. I therefore consider that special circumstances do not exist in this case and that public notification of this application under S95A(4) is not warranted.

In accordance with the provisions of section 95A, the application **must be publicly notified**.

### LIMITED NOTIFICATION TESTS – Section 95B

<b>Step 1: Certain affected groups/persons must be notified – sections 95B(2) and (3)</b>	
➤ Are there any affected protected customary rights groups or customary marine title groups?	<b>No</b>
➤ If the activity will be on, adjacent to, or might affect land subject to a statutory acknowledgement - is there an affected person in this regard?	<b>No</b>
<b>Step 2: If not required by Step 1, notification is precluded if any of the following apply – section 95B(6)</b>	
➤ Does a rule or NES preclude limited notification for all aspects of the application?	<b>No</b>
➤ Is this a land use consent application for a controlled activity?	<b>No</b>
<b>Step 3: Notification of other persons if not precluded by Step 2 – sections 95B(7) and (8)</b>	
➤ Are there any affected persons under s95E, i.e. persons on whom the effects are minor or more than minor, and who have not given written approval (discussed above)?	<b>No</b>
<b>Step 4: Relevant to all applications – section 95B(10)</b>	
➤ Do special circumstances exist that warrant notification to any other persons not identified above?	<b>No</b>

In accordance with the provisions of section 95B, the application **must not be limited notified**.

<b>Notification recommendation</b>
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That, for the reasons outlined above, the application be processed on a **publicly notified** basis pursuant to sections 95A and 95B of the Resource Management Act 1991.

**Reported and recommended by:** Jonathan Gregg, Team Leader Planning      **Date:** 30 May 2023

<b>Notification decision</b>
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That the above recommendation be accepted for the reasons outlined in the report.

**Commissioner:**

Name: Nathan O'Connell

Signature: 

Date: 1 June 2023

<b>Section 133A Decision</b>
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For the purpose of s133A correction:

I agree that it is appropriate to use s.133A of the Act to amend the wording of the above conclusion. Within the body of the assessment, Mr Gregg concluded that adverse effects on the heritage values from demolishing the building would be more than minor, however, the overall conclusion regarding effects was 'minor'. This is clearly a mistake and the use of s.133A is appropriate in this instance.

**Commissioner:**

Name: Nathan O'Connell

Signature: 

Date: 1 June 2023

# **RMA/2023/325: Demolition of Commercial Building, 335 Gloucester Street/187 Fitzgerald Avenue, Christchurch - Heritage Assessment**

## **1.0 Heritage Significance**

- 1.1 The building was constructed as a dual shop and dwelling for land agent Otto Lieske and his wife Harriet in c1900. It remained with the Lieske family until 1968. Latterly it served as the premises (with adjacent buildings) of a shirt factory, and of a tv/audio repair business. Minor additions were made in the 1940s.
- 1.2 The building has historical significance as a late-Victorian dual shop-house. It has historical significance as the home and retail premises of the Lieske family for nearly seventy years, and as a former corner store – a once ubiquitous but now uncommon form of retail building. It has cultural and spiritual significance as a demonstration of the way of life of nineteenth and early twentieth century retailers, and as a demonstration of the socio-cultural pattern of inter-generational ownership and small-scale retail that was once prevalent in the city. It has architectural and aesthetic significance as an example of the larger ‘corner shop’, a distinctive colonial building type. It has technological and craftsmanship significance for what it may reveal of late Victorian construction. It has contextual significance as a building type now rare in the city, and as a landmark on Fitzgerald Avenue.
- 1.3 The building is a significant (Group 2) scheduled heritage item in the Christchurch District Plan. Group 2 scheduled heritage items are those considered of significance to the District.

## **2.0 Background**

- 2.1 Following a period of deferred maintenance, the building sustained moderate damage in the Canterbury Earthquake Sequence of 2010-2011. Chimneys, the shop windows and a western addition were subsequently deconstructed. The building has been unoccupied since.
- 2.2 The building was purchased by the applicant in late 2020. An application (RMA/2021/3139) to restore it for use as offices and a café, and to build a townhouse complex across the remainder of the site was lodged in 2021 and approved in late 2022. Following a reassessment of the feasibility of the restoration proposal, this demolition application was lodged in early 2023.

## **3.0 Application**

- 3.1 In light of detailed structural and financial analysis, the applicant (Fern Fitzgerald Ltd) has determined that the building is uneconomic to repair and upgrade. Application has therefore been made to fully demolish the building. In support of the application, the following key documentation has been provided:
- A consent application (Baseline Group, 13 February 2023) incorporating an Assessment of Environmental Effects. Appendices to the application include a:
    - Heritage Impact Assessment (Baseline Group, 14 February 2023). Appendices to the HIA include a:
      - Costings report (Logic Group, January 2023)

- Structural report (Tetrad Consulting, 19 January 2023). Appendices to the structural report include a:
    - Condition survey (Tetrad, 18 January 2023)
    - Structural repair scope (Tetrad, 18 January 2023)
    - Previous structural strengthening design concept (Centraus, 4 August 2021)
- An RFI response was submitted on 23 March 2023. Appendices included
  - Valuer comment (Ford Baker, 20 March 2023)
  - New build comparison costings (Logic Group, 1 March 2023)
  - List of potential funding (Baseline)
  - Additional policy statement (Baseline)

3.2 The Tetrad Structural Report delineates structural repair and structural strengthening. Structural repair is further broken down into sub-structure and super-structure repair. The sub-structure repair scope recommends a full foundation replacement to ensure structural integrity. Either a concrete slab/concrete waffle slab or a timber subfloor with a concrete perimeter foundation are considered suitable alternatives. The super-structure repair scope includes framing repair, floor replacement (50%), full wall and ceiling lining replacement, full weatherboard replacement and full roof replacement. The structural strengthening scope proposes an augmentation of structural capacity to meet building code requirements such that the building would be able to be fully occupied for commercial purposes. The scope suggests that this could be achieved by supplementing or replacing the existing floor structure with new beams and joists; bracing the walls with new wall linings and steel bracing frames; and installing fire-rated wall and ceiling linings.

3.3 In response to an RFI query regarding the possibility of upgrading the existing foundation system, the structural engineer replied [if the existing system is retained] *...there are some critical elements with respect to building code requirements for both the sub-floor ventilation and commercial use which cannot be achieved. In addition, in order to achieve the bracing capacity of the first floor, new internal foundations would be required.*

3.4 The Baseline Application and Heritage Impact Assessment note that the repair and upgrade required to bring the building back into (commercial) use would result in major structural intervention and loss of heritage fabric (possibly up to 70%). Significant reconstruction of heritage form and fabric would therefore be necessary. Baseline concludes that the upgrade will compromise heritage fabric and values. Demolition is therefore stated to be a feasible option.

3.5 The additional policy assessment provided by Baseline in response to the RFI notes the District Plan Objective that allows for the consideration of physical condition when deciding whether to schedule a heritage item. The assessment also notes that the building's architectural and aesthetic values would be impacted by the upgrade, and moreover, that its authenticity and integrity would be compromised such that it would not retain sufficient heritage significance to remain on the District Plan heritage schedule.

3.6 Based on the Tetrad Structural Report, Logic Group provide a repair and upgrade cost plan estimate of \$2,070,000 plus GST (roughly \$2.4M).

3.7 Ford Baker estimate the market value of the repaired building (*as if complete*) on a subdivided site to be \$1,370,000 plus GST. Based on the Logic Group cost plan estimate,



Ford Baker observe that the cost of repair is \$700,000 in excess of that market value. On this basis they consider subdivision and sale to be uneconomic.

- 3.8 Logic Group consider that a comparable new build (two levels, similar floor area, GF retail, FF office) would cost between \$640,000 and \$720,000 plus GST. They note that the repair costs are unreasonable by comparison. Baseline observe that the cost of a comparable new build is 31% of the estimated cost of repair.
- 3.9 The applicant confirms that they purchased the property as an ‘as is where is’ with no insurance claims transferred.
- 3.10 The applicant demonstrates that they have investigated possible grant funding schemes. The only scheme for which this building is clearly eligible is Council’s Heritage Incentive Grant, which is contestable and does not offer sums of a quantum to make a significant contribution to repair costs.
- 3.11 Baseline concludes in both its Heritage Impact Assessment and RFI response that the significant costs involved demonstrate that retention is not the most *efficient* use of resources. The RFI finds that the costs of repair are unreasonable.

#### **4.0 Heritage Assessment**

- 4.1 District Plan Objective 9.3.2.1.1 (a) (iii) acknowledges that in some situations demolition [of a scheduled heritage item] may be justified by reference to the matters in Policy 9.3.2.2.8 (a). This policy requires that Council have regard to a number of factors when considering the appropriateness of a demolition of a scheduled heritage item. The most relevant of these in relation to the proposed demolition of 187 Fitzgerald Avenue are:
- whether the extent of the work required to retain and/or repair the heritage item is of such a scale that the heritage values of the heritage item would be significantly compromised (Plan Change 13 qualifies this by adding *...and the heritage item would no longer meet the criteria for scheduling in Policy 9.3.2.2.1*);
  - whether the costs to retain the heritage item (particularly as a result of damage) would be unreasonable.
- 4.2 The demolition of an intact heritage item is to be avoided as it results in the permanent loss of that item and the heritage values that it embodies. Where a damaged heritage item is proposed for demolition, it is necessary in the first place to determine if a reasonable repair strategy will maintain or reinstate its heritage values at a level sufficient for the item to remain scheduled. If such a strategy will either diminish an item’s heritage values to the point where they no longer meet this threshold, or cannot restore those values to the required level, then the item’s heritage values may be said to be significantly compromised. Demolition may then be considered to be an appropriate alternative course of action to repair.
- 4.3 To be scheduled as a heritage item on the Council Heritage Schedule, the heritage values that an item represents must meet the significance threshold set out in Policy 9.3.2.2.1. In the case of a Significant heritage item, this means having a moderate degree of authenticity and a moderate degree of integrity. The ICOMOS New Zealand Charter 2010 (p.9) defines authenticity as the credibility or truthfulness of the surviving evidence and knowledge of the cultural heritage value of a place. The Charter (p.10) defines integrity as the wholeness

or intactness of a place, including its meaning and sense of place, and all the tangible and intangible attributes and elements necessary to express its cultural heritage value. I note that the definitions of authenticity and integrity are closely inter-twinned, and that attempting to assess them independently of each other is therefore unhelpful. Additionally I note that the degree of ascribed authenticity and integrity is not defined, and therefore that the meaning of ‘moderate’ is contingent and not absolute.

4.4 The damage sustained by 187 Fitzgerald Avenue as a consequence of deferred maintenance and the Canterbury Earthquake sequence has not notably impacted the heritage values ascribed to it. As it stands, the building is substantially complete – albeit in poor condition. If the building undergoes the prescribed repair and upgrade however, will it still represent those values, and if so, will it still represent those values at a level sufficient to remain scheduled? Substantial change is flagged for interior form and fabric, but there is no evidence that the interior was a factor in deciding the overall significance of the building. Neither is the interior currently protected in the District Plan. The proposed scope of works to the exterior envelope of the building would see the greater part of its heritage fabric replaced or reconstructed. But if the repair is undertaken ‘like for like’ and done well, the building will appear as before – and will still represent those values for which it was scheduled. Will the extent of repair prevent these values meeting the significance threshold however? If the building essentially presents as before and no part of it will be speculation or invention, then it is difficult to argue that it will not possess at least a moderate degree of authenticity. If integrity is understood as just a tangible, physical quality, then the substantive replacement of large parts of the building might be understood to compromise its wholeness or intactness. The definition also refers to intangible attributes however, such as meaning and sense of place – and these are qualities less dependent on the simple age of elements of heritage fabric. Linking with this understanding is the recognition that all buildings suffer decay and that this is particularly the case with timber buildings. Consequently many heritage buildings in Christchurch City have necessarily undergone substantial repair and reconstruction over time; a situation exacerbated by earthquake damage. The argument is not being made however that they all possess insufficient integrity to remain scheduled. So I would argue that an informed restoration preserving fabric where it is possible to do so, but replacing it where necessary would still leave 187 Fitzgerald Avenue with a moderate degree of intactness.

## **5.0 Other Considerations**

5.1 The applicant states that given building code requirements and the poor state of repair of much of the building’s fabric, it is unlikely that any feature could be salvaged for reuse in a new build on the site.

5.2 In mitigation, the applicant proposes to have the building photographically recorded prior to and during demolition. This is supported; see relevant condition below.

5.3 The applicant acknowledges that an archaeological authority would be required if demolition were approved.

## **6.0 Conclusion**

The scheduled heritage item at 187 Fitzgerald Avenue is in a poor state of repair because of long-deferred maintenance and damage sustained in the Canterbury Earthquake Sequence. As

a consequence, the applicant (Fern Fitzgerald Ltd) is seeking consent for full demolition. The proposal will necessarily result in a complete and total loss of heritage fabric, with a corresponding loss of associated heritage values and significance. I consider that a reasonable repair proposal **would not** compromise the integrity and authenticity of the structure such that it would be unable to represent ascribed heritage values to the degree required to maintain it as a significant item on the district's heritage schedule. The effects of demolition on heritage values are therefore substantial.

Gareth Wright  
Heritage Advisor  
02 May 2023

Reviewed by:  
Suzanne Richmond  
Heritage Advisor  
1 May 2023

RESOURCE MANAGEMENT ACT 1991  
CHRISTCHURCH CITY COUNCIL

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**RESOURCE CONSENT APPLICATION – RMA/2023/325**

**187 Fitzgerald Avenue**

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MINUTE 1 OF COMMISSIONER

Date: 24 May 2023

## **1.0 INTRODUCTION**

- 1.1 I have been appointed by the Christchurch City Council (Council) to make the notification decision pursuant to s.95 of the Resource Management Act 1991 (the RMA) on the landuse resource consent application by Fern Fitzgerald Limited in respect to the demolition of a Group 2 Heritage Building at 187 Fitzgerald Avenue.

## **2.0 BACKGROUND**

- 2.1 I have read the application including the supporting reports and the Request for Further Information response, and I have read the s.95 notification report prepared by Mr Gregg. I have also read the advice of Mr Gareth Wright, Heritage Advisor, for Council.
- 2.2 I have carefully reviewed the directly relevant objectives and policies in the Christchurch District Plan which Mr Gregg uses to set the context for his assessment. I agree that the use of relevant objectives and policies to assist in providing context and scope to the assessment of effects under s.95 of the RMA is appropriate, particularly in this instance as Policy 9.3.2.2.8 specifically relates to matters of consideration when considering the appropriateness of demolishing a heritage item.
- 2.3 In this context, and based on the evidence provided by the Applicant, I find additional assessment is required in respect to the cost of retaining the heritage item.

## **3.0 DIRECTION**

- 3.1 I direct Mr Gregg provide additional assessment in respect to whether the cost to retain the heritage item (particularly as a result of damage) would be unreasonable. This additional assessment should refer to the relevant objectives and policies of the District Plan to provide context and shall only be in respect to s.95 of the RMA.
- 3.2 The additional assessment is to be incorporated into the s.95 report and provided no later than **Monday 29 May 2023**.
- 3.3 Once I receive the revised s.95 report, I will make a notification decision pursuant to s.95 of the RMA.
- 3.4 At this stage, no further comment or assessment is required from the Applicant.

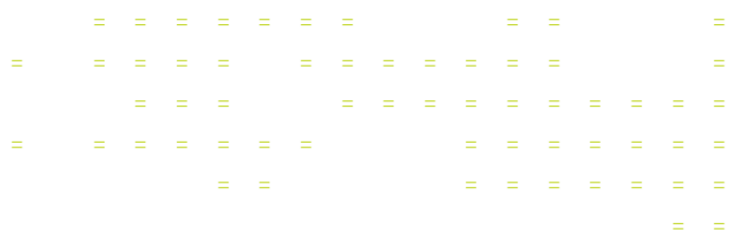
## **4.0 SERVICE**

- 4.1 A copy of this Minute is to be served on the Applicant for their information only.



Commissioner O'Connell

24 May 2023



Ref: 8368

Christchurch City Council Civic Offices  
PO Box 73013  
Christchurch 8154

Sent via email to: Jonathan.Gregg@ccc.govt.nz

23/03/2023

**PLANNING  
SURVEYING  
ENGINEERING**

**BASELINE GROUP  
CHRISTCHURCH**

T 03 339 0401  
E info@blg.nz  
A 54 Manchester Street  
Christchurch Central

[www.blg.nz](http://www.blg.nz)

Dear Jonathan,

## RMA/2023/325 FURTHER INFORMATION

This letter is in response to the Request for Further Information for the above consent application received by email and dated 27/02/2023. The information provided follows the numbering of the RFI:

1. *With reference to the full consideration of options:*
  - a. *Please provide evidence that an upgrade of the existing foundation system is not a viable option (noting that foundation replacement is one of the larger cost items). I acknowledge that this may potentially require some limited intrusive investigation.*
  - b. *Please provide evidence that the possible subdivision and sale of the unrepaired building has been considered.*

Point 1.a. has been considered by the structural engineer, who provided the initial assessment and the following comments made:

*Our site walkover inspection identified the following:*

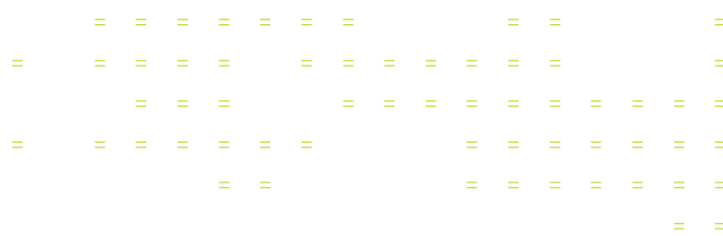
- *Moderate to major damage to the existing timber flooring*
- *Cracking and spalling damage to the perimeter concrete foundation wall which also appeared to be a concrete rubble type foundation wall*
- *Locations of pile settlement, moisture and borer damage to the subfloor framing*

*Repairing of the existing foundations to provide a building code compliant and functional structure would require:*

- *Removal of all framing and flooring to allow full inspection of the subfloor cavity and to enable jacking/packing and pile replacement where required. This would also be required to inspect water damage and borer damage to the subfloor framing.*
- *We note that the existing ground floor structure does not have a sufficient cavity space to provide subfloor ventilation as per NZBC. This would need to be addressed during the works to ensure no future build-up of moisture and subsequent future damage to the repaired subfloor structure.*
- *Underpinning of the external foundation wall and strengthening of the foundation wall with the construction of a new reinforced concrete bond beam. We note that unreinforced rubble foundations are not compliant with building standards or are suitable for a commercial-type use structure.*
- *Part of the overall repair works scope is reinstating the first floor framing structural support and lateral bracing capacity of the building which will likely require new internal foundation piles or subfloor elements to be added at the ground floor level.*

From the comments above it appears there are some critical elements with respect to building code requirements for both the sub-floor ventilation and commercial use which cannot be achieved. In addition, in order to achieve the bracing capacity of the first floor new internal foundations would be required.

The subdivision of the site has been duly considered and an application has been made to Council. Comment regarding the potential sale value of the site has been provided in Appendix 1 and concludes based on the current cost of repair, the



value of the property once repaired would not exceed the combined cost of the land purchase and the repairs required. Purchase of the site (on its own title), inclusive of the unrepaired building, would result in a potential net loss of approximately \$700,000 to the purchaser.

2. *To assist with determining whether the costs of repair are reasonable or unreasonable, I would like to see:*
  - a. *Costings for a contemporary (i.e. not a replica) two-level commercial building with a similar floor area and footprint;*
  - b. *A statement of grant availability and the details and outcome of any which have been applied for;*
  - c. *A statement of the building's insurance status, including pay-outs (if any) received by the building's current owners.*

Comparison costing for a contemporary building are attached in Appendix 2. The cost noted in this would be approximately 31% of the estimated repair cost. A summary of available heritage grants is provided in Appendix 3. In our assessment there are limited funding opportunities available and any funding available is contestable and unlikely to be of the quantum to make meaningful or significant contribution to the retention or rebuild of the heritage building.

With respect to insurance the applicant has confirmed the previous owners took the insurance claims and the property was purchased with no claims passed on, it was an 'as is where is' sale.

3. *With reference to the potential for mitigation, please provide evidence that the applicant has considered the salvage and possible reuse on site of heritage features.*

A summary of the condition of various elements of the building was provided in the Condition Survey in the Structural Report. Several of the distinct physical features of the building i.e. external windows and doors and the external parapet detailing have been assessed and identified as, primarily rotted, making them both unsuitable for reuse and not sufficient to meet building code requirements. Given the timber construction of the building and the weather and water damage suffered it is improbable any elements of the building which would make it distinct in term of heritage value could be reused on site for any modern building.

4. *Please provide an assessment against Policy 9.3.2.2.1 about whether the proposal would meet the schedule requirements for listing following the repair work, noting c.(iii.).*

Additional policy assessment is provided in Appendix 4.

We seek confirmation upon receipt and consideration of this information the RFI has now been satisfied and processing can recommence.

Please feel free to contact the writer on 03 339 0401 or via email [sally@blg.nz](mailto:sally@blg.nz), if you have any questions.

Yours faithfully,

**Baseline Group**

**Sally Elford**

Senior Planner

## Appendix 1: Valuer Comment

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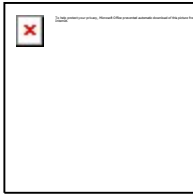
## Sally Elford

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**From:** Paul Szybiak <paul@rosefernhomes.co.nz>  
**Sent:** Monday, 20 March 2023 1:04 pm  
**To:** Sally Elford  
**Subject:** Fwd: 187 Fitzgerald - Structural Report

Hi Sally,

See below...



### Paul Szybiak

Managing Director , Rosefern Homes

---

**M** [021 0266 3756](tel:02102663756) **E** [paul@rosefernhomes.co.nz](mailto:paul@rosefernhomes.co.nz)

**W** [rosefernhomes.co.nz](http://rosefernhomes.co.nz)



---

**From:** Alan Chadderton <alan@fordbaker.co.nz>  
**Sent:** Monday, 20 March 2023, 11:21  
**To:** paul@rosefernhomes.co.nz <paul@rosefernhomes.co.nz>  
**Subject:** RE: 187 Fitzgerald - Structural Report

Hi Paul,

I have taken a look at the provided costings to repair and note FordBakers Market Valuation for 187-195 Fitzgerald Avenue dated 9 August 2022.

The report indicates an 'As If Complete' Market Value for the commercial portion (187 Fitzgerald Avenue) at \$1,370,000 + GST.

The cost to repair the building as provided is approximately \$2,070,000 + GST.

Based on the above, the indicated market value 'As If Complete' is \$700,000 below the cost to repair the building, suggesting this would be an uneconomical option to pursue.

If you have any questions, please let me know.

Regards

**Alan Chadderton**

Director

**DDI:** +64 3 964 4101 | **M:** +64 276308442 | **F:** +64 3 366 6520 | **E:** [alan@fordbaker.co.nz](mailto:alan@fordbaker.co.nz)  
Level 3, 48 Fitzgerald Avenue, P O Box 43, Christchurch 8140 | [www.fordbaker.co.nz](http://www.fordbaker.co.nz)

# fordbaker value

IMPORTANT NOTICE: This is an email from FordBaker Valuation Limited. We do not accept responsibility for any changes to this email or its attachments made after we have transmitted it. We do not accept responsibility for attachments made by others to this email.

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## Appendix 2: New build comparison costings

**From:** Eoin McLoughlin <[eoim@LOGICGROUP.CO.NZ](mailto:eoim@LOGICGROUP.CO.NZ)>  
**Sent:** Wednesday, March 1, 2023 3:34 PM  
**To:** Sam Connell <[sam@figureandground.co.nz](mailto:sam@figureandground.co.nz)>  
**Subject:** RE: [BLG-8368] 187 Fitzgerald Ave - Demolition RC - RFI received

Hi Sam,

- I've taken the most up to date benchmark costs for the Christchurch region from QV Cost Builder.
- I have assumed that a low rise office benchmark would be a suitable reference. This should cover basic construction of a "Contemporary" concrete tilt panel box with suspended floor, and glass façade on both levels.
- To ensure comparability I have added the extra over costs for an enhanced foundation which the benchmark rate would not capture.
- I have also added a retail fit-out rate for the ground floor only. The theoretical building can be described as retail on ground floor and office space above, meeting the requirement to reference a commercial building.
- Based on the benchmark rates the total value of circa \$640k (with a range of up to \$720k) demonstrates that \$2.1m repair cost would be unreasonable in comparison.
- All costs exclude GST

Base Building Cost					
Low Rise Offices, Partial Services. HVAC. Excludes sprinklers and FF&E. Basic standard finishes - Up to 2 storeys, no lifts	258.48	m2	2,050.00	529,879.98	529,879.98
Extra Over for site specific Foundation Cost (note allowance for nib not required)	1.00	sum		55,270.16	55,270.16
Neighbourhood Shop, 1 storey; Fit out of shell. Finishes, shop fittings and services	136.32	m2	390.00	53,165.79	53,165.79
<b>SUB-TOTAL</b>					<b>638,315.93</b>

Kind Regards



**EOIN MCLOUGHLIN**  
 Quantity Surveyor

**Tel:** +64 3 349 6260  
**Cel:** +64 27 554 1881  
**Email:** [eoim@logicgroup.co.nz](mailto:eoim@logicgroup.co.nz)  
**Web:** [www.logicgroup.co.nz](http://www.logicgroup.co.nz)

## Appendix 3: List of Potential Funding

Fund or Grant	Eligibility	Information	Apply?
Heritage Equip: Ministry of Culture and Heritage	Earthquake upgrade incentive program.	The Heritage EQUIP programme has been suspended – funding no longer available.	N
Christchurch City Council Heritage Incentive Grant	Heritage Incentive Grant funding aims to incentivise owners and kaitiaki to undertake works to protect, maintain, repair and upgrade heritage buildings, places, structures and objects. Maximum 50% of the value of scope of works.	Eligible, but contestable and limited funds as per comments from Brendon Smyth below.	N
Christchurch City Council Intangible Heritage Grant Fund	Intangible Heritage Grant funding aims to support communities, groups and individuals to protect, promote and celebrate their unique stories and taonga.	Not applicable to buildings.	N/A
Christchurch Heritage Festival Community Grants	This small grant scheme supports Community Event Providers to align with the vision and mission of the annual Christchurch Heritage Festival and to implement the 'Our Heritage, Our Taonga - Heritage Strategy 2019-2029'.	Not applicable to buildings.	N/A
Lottery Environment and Heritage Committee Grant	This fund provides grants for plans, reports and one-off projects that will protect, conserve and promote New Zealand's natural, cultural and physical heritage. Physical heritage projects restore, protect and/or conserve places, structures and large built objects that are important to our history.  Lottery Environment and Heritage does not fund projects to conserve, restore or protect privately or commercially owned land, buildings, structures and/or large built objects	Privately owned – note eligible.	N/A
National Heritage Preservation Incentive Fund: Heritage New Zealand Pouhere Taonga.	Funding for privately owned places on the New Zealand Heritage List.	Ineligible as building not on List.	N/A

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**From:** Smyth, Brendan <[Brendan.Smyth@ccc.govt.nz](mailto:Brendan.Smyth@ccc.govt.nz)>  
**Sent:** Tuesday, 7 March 2023 10:09 AM  
**To:** Mike Vincent <[mike@blg.nz](mailto:mike@blg.nz)>  
**Subject:** RE: [BLG-8368] Heritage funding 187 Fitzgerald Avenue

Hi Mike,

The answer is yes but we only have limited funds available so we could not fund a high percentage of relatively expensive repair and upgrade works. I did have some early discussions with the new owner developer and they were talking about making an application. This was when the scheme involved keeping the 187 building as a future restaurant or hospitality venue.

Regards  
Brendan

## Brendan Smyth

Team Leader Heritage  
Heritage Team

-  03 941 8934 027 213 0554
-  [Brendan.Smyth@ccc.govt.nz](mailto:Brendan.Smyth@ccc.govt.nz)
-  Te Hononga Civic Offices, 53 Hereford Street, Christchurch
-  PO Box 73012, Christchurch 8154
-  [ccc.govt.nz](http://ccc.govt.nz)

## Appendix 4: Additional Policy Assessment

Objective or Policy	Proposal	Assessment
<b>Historic Heritage</b>		
9.3.2.1.1 <i>Objective - Historic heritage</i>	This objective allows for the recognition of the condition of buildings, particularly those that have suffered earthquake damage and the effect of engineering and financial factors on the ability to retain and continue using them. The building has been subject to the forces of the Canterbury Earthquake and has been legally unused for over a decade. The disuse has resulted in material deterioration and damage to essential building and heritage fabric. The proposed demolition recognises the current condition of the building, the financial, and engineering factors in the applicant's ability to retain or reuse the building. This objective also acknowledges in some situations, demolition may be justified by reference to the matters in policy 9.3.2.2.8. It is considered in this instance it is appropriate to use this discretion and allow for the demolition of the heritage building.	<b>Consistent</b>
9.3.2.2.1 <i>Policy - Identification and assessment of historic heritage for scheduling in the District Plan</i>	<p>The assessment criteria with respect to whether a site should be scheduled or not in the District Plan allow consideration of the authenticity or integrity and the physical condition of the building. Appendix 9.3.7.1 provides the criteria for the assessment of significance of heritage values and these have been assessed in the Statement of Significance (SoS) for the building. In terms of the historical and social significance this is primarily based on the use as a commercial building and its construction era being a late Victorian combination shop and dwelling. Repairs to the building to enable its reuse are unlikely affected how the building would be assessed under this consideration. The cultural value makes reference to the use of proprietors of commercial premises living above or beside the use, again the repairs of the building are unlikely to affect this assessment. The assessment of the architectural and aesthetic significance notes it is a commonly found building type and is described as relatively plain with little architectural pretension and notes corner shops of a similar vintage are also extant at 147 and 167 Fitzgerald Ave. The building at 167 Fitzgerald Ave has been repaired and maintained and provides a more complete example of the heritage values embodied by the original building. With respect to the technological and craftsman significance it is noted in the SoS its significance is based on what it may reveal about late Victorian timber construction, methodologies, materials, fixtures and fittings. The building would be documented prior to demolition therefore further information could be revealed during this process. The repair of the building would likely compromise or remove any such craftsman significance. The contextual significance relies on the position and scale of the building and notes the building has some landmark significance. This aspect would be unaffected if the building were repaired as the location and scale would remain. The SoS notes there is potential for the site to provide archaeological significance. The building would be recorded and an archaeological authority would be required if demolition were to be approved. Archaeological evidence could be provided through the demolition process than might not otherwise be discovered through the repair process.</p> <p>While some of the criteria listed in Policy 9.3.2.2.1b.i.A-D may be met if the building were to be considered for scheduling currently not all of them would be due to the degree of authenticity and integrity of heritage fabric which would be compromised through the repair process.</p> <p>The current physical condition of the heritage building has been documented in the Structural Report and the reconstruction costs estimated. The extent of the upgrade/repair works required are extensive and would result in the heritage fabric essentially being replaced and it would therefore be compromised to the extent it is unlikely to retain its heritage significance, in order to remain a schedule</p>	<b>Not contrary</b>

Objective or Policy	Proposal	Assessment
<p>9.3.2.2.8 Policy - Demolition of heritage items</p>	<p>item.</p> <p>Currently the building is in a structurally vulnerable state, there are significant health and safety issues associated with any potential work within the building itself. As detailed in the Structural Report and the Repair Estimate. The extent of the repair and or replacement work would be of such a scale that the heritage value and integrity of the heritage item would be significantly compromised. It is estimated less than 30% of the original building would be able to be retained. An estimate of costs to repair the building to a usable state is provided in the Heritage Impact Assessment Appendix 2. The costs of repair would meet the unreasonable threshold being in excess of 2 million dollars. The existing building is a Significant (Group 2) building, this is the lower of the two categories provided in the District Plan.</p> <p>The heritage impact assessment notes:</p> <p style="padding-left: 40px;">The building has relied upon a structural bracing system, which combines the internal wall linings, cladding stiffness and diagonal timber bracing. Given most of the linings are damaged or missing and the cladding has severe degradation, there is essentially no dependable bracing system currently in place.</p> <p>It is recognised the cost to repair the structure is significant and would not represent the most efficient use of resources for the site.</p>	<p><b>Consistent</b></p>

Summary

Objective 9.3.2.1.1(ii) requires the condition of the building should be taken into account when looking at listing an item. If the consent is declined it is likely the building will remain as is, deteriorating further over time, presenting a health and safety risk, detracting from the amenity the surrounding residential area and potentially prohibiting the approved development of the site due to its prominent location.

The extent of upgrading required would impact the architectural and aesthetic values of the building to a point where any remaining heritage fabric would be scarce, and the building would comprise mostly new material.

The heritage values identified in the Statement of Significance are recognised and not in question and the loss of the building is acknowledged as a loss of heritage to at least a minor extent.

Overall, given the unique circumstances of the site, the fact it is a category 2 building and the costs of repair the proposal to demolish the building there is consistency with the relevant objectives and policies.