

IN THE ENVIRONMENT COURT  
AT CHRISTCHURCH

I TE KŌTI TAIAO O AOTEAROA  
KI ŌTAUTAHI

IN THE MATTER of the Resource Management Act 1991  
AND of an appeal under section 120 of the Act  
BETWEEN THE VICTORIA  
NEIGHBOURHOOD  
ASSOCIATION INCORPORATED  
(ENV-2020-CHC-000137)  
Appellant  
AND CHRISTCHURCH CITY COUNCIL  
Respondent  
AND THE YOUTH HUB TRUST  
Applicant

Environment Judge P A Steven - sitting alone under section 279 of the Act  
In Chambers at Christchurch

Date of Consent Order: 18 June 2021

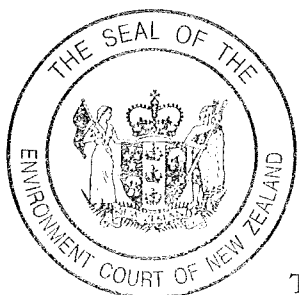
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**CONSENT ORDER**

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A: Under section 279(1)(b) of the Resource Management Act 1991, the Environment Court, by consent, orders that:

- (1) the appeal is allowed subject to the conditions of consent and plans set out in **Attachment A** and **Attachment B** to this order;
- (2) the appeal is otherwise dismissed.



B: Under section 285 of the Resource Management Act 1991, there is no order as to costs.

## REASONS

### Introduction

[1] The Victoria Neighbourhood Association Incorporated (**VNA**) filed this appeal against the decision of the Christchurch City Council (**the Council**) to grant resource consent (RMA/2020/405) to the Youth Hub Trust to construct and operate a community facility inclusive of an events centre, basketball court, café, market garden, sheltered housing, and six residential units at 109 Salisbury Street, Christchurch Central.

[2] An Independent Hearing Commissioner (**the Commissioner**) appointed by the Council heard the application and granted consent (**the Decision**). Some relevant key aspects of the Decision are:

- (a) Noise and vibration – the Commissioner found that basketball court noise would be audible over the ambient environment, would be greater than currently experienced by some surrounding residents, and that active management by the Youth Hub of activities that would affect noise was essential;
- (b) Traffic effects – the Commissioner acknowledged the residents’ concerns about access to the Youth Hub from Gracefield Avenue and that they would prefer no access from Gracefield Avenue. The Commissioner stated that they would have preferred no access from Gracefield Avenue as well but concluded that traffic effects would be “generally acceptable”;
- (c) Scale of non-residential activity – the Commissioner acknowledged that the Youth Hub non-residential components are not “small scale”. The Commissioner concluded that if the Youth Hub is well managed the Youth Hub and the surrounding residential community should be able to exist together successfully; and

- (d) Residential amenity and character – the Decision concluded that the proposed Youth Hub is partly consistent and partly inconsistent with the objectives and policies in respect of residential amenity and character, in respect of a location in the Residential Central City Residential Zone.

[3] VNA made a submission on the application for resource consent and subsequently appealed the Decision. VNA sought that the resource consent be refused or alternatively, consequential or necessary additional relief to give effect to the matters it raised.

[4] VNA indicated it was open to consideration of changes to the conditions or alterations to the proposal in the following areas:

- (a) removal of the events centre or reduction in its size;
- (b) a limit on the number of services;
- (c) moving the basketball court inside;
- (d) further restrictions on the Gracefield Avenue access;
- (e) retention of the café as a training activity not available to the public;
- (f) amending the scope of pre-works assessment;
- (g) including a more comprehensive code of conduct for on-site residents, clients and visitors; and
- (h) some minor alterations (for example glazing or other window treatments) relating to site specific concerns from individual property owners.

[5] The following gave notice of an intention to become a party under section 274 of the Act:

- (a) 298 Youth Health Centre;
- (b) Jeff and Sue Lyng;
- (c) Jennifer Keightley;
- (d) Lynette and Phil Stenning; and
- (e) Geoff Ridley.

### **Agreement reached**

[6] The parties attended Court-assisted mediation and engaged in informal dispute resolution. The parties have agreed to a proposed resolution of the appeal which entails the grant of the resource consent with changes to some of the consent conditions in the Decision.

[7] The parties are satisfied that the agreed changes will result in a reduction in adverse effects which is consistent with the objectives and policies of the Christchurch District Plan. The parties consider the changes appropriately further address matters raised in the Commissioner's decision.

[8] A summary of the agreed changes and the parties' rationale for the changes is set out below.

### ***Reduce potential adverse effects***

[9] The parties agreed a number of changes to reduce adverse effects on surrounding neighbours:

- (a) Basketball court – condition 43 clarifies and states specific restrictions on the extent and use of the basketball court space, and condition 3 specifies that there be no floodlighting outside of hours of use (between 9am and 7pm). These conditions were added to clearly specify limits on the scale and use of the basketball court, and to mitigate effects on neighbours, particularly noise effects in the evening;
- (b) Pre-construction survey – condition 40 replaces and expands on the pre-construction survey condition in the Decision, to expand the number of properties able to have a survey requested for and provide reassurance to all nearby residents;
- (c) Café – conditions 36 and 37 state the purpose of the cafe is as a training enterprise which will not be advertised. This will reduce visitation by the general public and the effects associated with visitor numbers to the site.

- (d) Alcohol – condition 38 requires that alcohol not be served anywhere on site as well as not being served in the cafe. This is a clearer statement of this aspect of the proposal;
- (e) Landscaping – condition 52 specifies that trees on the north boundary marked G12 be allowed to reach their mature height, to address a concern that the trees would not have the mitigating effect as shown on the proposal elevations.

### *Engagement with residents regarding ongoing Youth Hub operation*

[10] The parties have agreed to a number of amendments to enable the involvement of members of VNA in some of the operational planning for the Youth Hub. These are:

- (a) the establishment of a community liaison group (**CLG**) including members of VNA (conditions 28 – 31);
- (b) that the ‘operational site management plan’ (**OSMP**) be prepared and subsequently amended in consultation with the CLG (conditions 21 and 27);
- (c) that the temporary traffic management plan (**TTMP**) be prepared in consultation with the CLG’s appointed traffic engineer (condition 5), and that the operational traffic management plan (**OTMP**) be prepared in consultation with the CLG (condition 6) to enable an extra component of involvement by VNA directly through their own professional advisor.

### *Scale and management of non-residential activities*

[11] The parties agreed changes to conditions which further limit and clarify the extent of the non-residential aspects of the Youth Hub, and their ongoing management:

- (a) Welfare and health care facility – the number of youth welfare service organisations present at any one time is limited to 20, for which a record will be kept (condition 32 – 35). The purpose of the change is to provide more clarity on the scale and use of the welfare and health facility spaces.

- (b) Art, recreation and event space management – the maximum visitor numbers for small events and the number of larger events is reduced and the meaning of visitors and staff have been clarified (conditions 15 – 18). A requirement for the consent holder to keep a record of details of events exceeding 40 visitors is added (condition 20). Additions to the matters required in the OSMP (condition 23) concern the use of the art and recreation and events spaces. The purpose of the additions is to reduce the potential for nuisance effects for neighbours and assist compliance with District Plan noise standards. These changes reduce, limit and monitor visitor numbers to the site, for the purpose of monitoring for Council, and to enable ongoing discussions about the effects of the operation;
- (c) Operational site management plan – the ‘event management plan’ (EMP) is re-named ‘operational site management plan’ (OSMP), and conditions 21 – 27 set out the process for certifying, amending and reviewing the OSMP, and particularise its required content. The changes to the conditions add detail to the process and required content, and the involvement of the CLG;
- (d) TTMP and OTMP, access and transport effects – the changes to the conditions are to clarify and expand the matters and effects to be managed by the TTMP and OTMP (condition 6 and 7). An additional condition requires signage at the Gracefield Avenue vehicle entrance stating its use for staff and accessible parking only (not drop-offs) in order to discourage and minimise use of the Gracefield Avenue vehicle access (condition 13).

### *Changes to approved plans*

[12] The changes on plans are either minor changes for clarity and consistency or are the result of more substantive agreements between the parties. The substantive changes are:

- (a) Treatment of the west edge of Gracefield Avenue where it meets the application site and does not have a formed footpath, has been clarified in changes to the plans. The changes are:

- (i) A101: grass verge now shown;
  - (ii) A101 and A300: a requirement for a 900mm high fence along road side with gates. The ground surface representation/fill shows paths over landscaped area;
  - (iii) A300: a requirement for a 900mm high fence along road side with gates; and
  - (iv) Details of the changes set out in (i) – (iii) above are also shown on landscape plans numbered L101, L102, L501 (G11 area details and planting schedule), L104, L105, and L106;
- (b) The changes to A301 require glazing at first floor level to have translucent treatment. The reason for this change is to address concerns of overlooking;
  - (c) The changes to A200 state that accesses at the west and north sides of the site are for emergency egress and services only. This change responds to VNA's concerns regarding the potential for ingress/egress other than through main entrances;
  - (d) The landscaping area marked G12 is to be detailed to respond to VNA's concerns that the trees proposed in that area would not grow to achieve the level of screening shown on the north elevation (L203.2 North Elevation – Landscape and Building) on L203. Detail shown on L101, L501 and planting scheduled, and shown in detail as 'North Edge 1:200 Feature Tree Plan' on L203.

***Minor changes in wording for clarity and to improve certainty***

[13] The parties have agreed a number of other miscellaneous changes as consequential changes to the substantive changes described above, and to tidy minor drafting errors.

**Consideration**

[14] The Court has now read and considered the appeal and the consent memorandum of the parties dated 14 May 2021.

[15] The Court is making this order under section 279(1) of the Act, such order being by consent, rather than representing a decision or determination on the merits pursuant to section 297. The Court understands for present purposes that:


- (a) all parties to the proceedings have executed the memorandum requesting this order;
- (b) all parties agree that the proposed amendments will resolve the appeal in full; and
- (c) all parties are satisfied that all matters proposed for the Court's endorsement fall within the Court's jurisdiction, and conform to the relevant requirements and objectives of the Act including, in particular, Part 2.

[16] I am prepared to make orders allowing the appeal by granting resource consent to the application as agreed between the parties. I have made minor amendments to ensure the conditions refer to the correct revisions and dates of plans.

### Order

[17] Therefore the Court orders, by consent that:

- (a) the appeal is allowed subject to the conditions of consent and plans set out in **Attachment A** and **Attachment B** to this order;
- (b) the appeal is otherwise dismissed;
- (c) costs are to lie where they fall.

  
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**P A Steven**  
**Environment Judge**





## Attachment A

1. Except where varied by the conditions of this consent the development shall proceed in accordance with the information and plans submitted with the application and labelled RMA/2020/405 and the amended plans dated 11/05/2021. The approved plans are:

#### Building plans

- Proposed site plan, drawing number A101, rev. 08, date 11/05/2021
- Ground floor plan, drawing number A200, rev. 08, date 11/05/2021
- First floor plan, drawing number A201, rev. 07, date 11/05/2021
- Second floor plan, drawing number A202, rev. 06, date 11/05/2021
- Roof Plan, drawing number A203, rev. 04, date 11/05/2021
- Elevations, drawing number A300, rev. 07, date 11/05/2021
- Elevations, drawing number A301, rev. 08, date 11/05/2021
- Project Zones, drawing number A900, rev.03, date 11/05/2021
- GFA – Ground floor, drawing number A901, rev. 08, date 11/05/2021
- GFA – First floor, drawing number A902, rev. 07, date 11/05/2021
- GFA – Second floor, drawing number A903, rev. 03, date 11/05/2021
- Public area – Ground floor, drawing number A904, rev. 04, date 11/05/2021
- Public area – First floor, drawing number A905, rev. 03, date 11/05/2021
- Public area – Second floor, drawing number A906, rev. 02, date 11/05/2021
- Use diagram ground floor, drawing number A907, rev. 04, date 11/05/2021
- Use diagram first floor, drawing number A908, rev. 03, date 11/05/2021
- Use diagram second floor, drawing number A909, rev. 03, date 11/05/2021

#### Landscape plans

- Concept plan ground level, drawing number L101, rev. 11, date 11/05/2021
- Concept plan upper levels, drawing number L102, rev. 11, date 11/05/2021
- Landscape concept plan details, drawing number L501
- Planting schedule – page 1
- Planting schedule – page 2
- South elevation Salisbury Street, drawing number L201, rev. 11, date 11/05/2021
- East elevation Gracefield Ave, drawing number L202, rev. 11, date 11/05/2021
- North elevation Gracefield Av North, drawing number L203, rev. 11, date 11/05/2021
- West elevation internal, drawing number L204, rev. 11, date 11/05/2021
- Landscape uses plan ground level, drawing number L104, rev. 11, date 11/05/2021
- Landscape uses plan upper levels, drawing number L105, rev. 11, date 11/05/2021
- Landscape uses plan combined, drawing number L106, rev. 11, date 11/05/2021

#### Lighting

2. At least 10 working days prior to the commencement of construction work associated with this resource consent, the consent holder shall provide a design certificate from a suitably qualified and experienced person confirming that the development will achieve compliance with the following requirements:
  - a) Lighting of the parking area shall be maintained at a minimum level of 2 lux, with high uniformity, during the hours of operation.
  - b) All exterior lighting shall be directed away from adjacent properties and roads.
  - c) There shall be no light spill at any residential boundary exceeding 4 lux. The point of measurement for the lux spill is either at a point 2 metres inside the boundary, or at the closest window, whichever is the nearer, of the property affected by glare from the proposed activity.
3. There shall be no floodlighting of the basketball court area when not in use in accordance with condition [43].

4. Upon completion of the lighting installation, an installation certificate from a suitably qualified person shall be provided to the Council showing that the lighting has been installed in accordance with the design certificate.

*Note: The required design certificate and installation certificate shall be provided to the Council Attention: Team Leader - Environmental Compliance, by way of email to [rcmon@ccc.govt.nz](mailto:rcmon@ccc.govt.nz).*

#### Traffic Management

5. All proposed construction works shall be carried out in accordance with a certified Temporary Traffic Management Plan (TTMP). The consent holder shall prepare a TTMP in consultation with a suitably qualified (COPTMM STMS Level 2) traffic engineer appointed by the Victoria Neighbourhood Association and submit this to Council, Attention: Christchurch Transport Operation Centre (CTOC) by way of email to [rcmon@ccc.govt.nz](mailto:rcmon@ccc.govt.nz), at least 10 working days prior to the commencement of construction work associated with this consent. The TTMP shall identify the nature and extent of temporary traffic management and how all road users will be managed by the use of temporary traffic management measures and comply with the NZTA Code of Practice for Temporary Traffic Management (CoPTTM). Activities on any public road should be planned so as to cause as little disruption, peak traffic delay or inconvenience to road users as possible without compromising safety.
6. Once operational, all activity on the site shall be carried out in accordance with a certified Operational Travel Management Plan (OTMP). The purpose of the OTMP is to encourage travel to / from the site by modes other than private car travel as far as is practicable; and to manage the traffic and car parking effects associated with those people that choose to travel to the site. The OTMP shall be prepared in consultation with the Community Liaison Group.
7. The OTMP shall include but not be limited to the following matters:
  - i. The objectives of the OTMP;
  - ii. Travel management measures including but not limited to appointment of a travel management co-ordinator, staff car-pooling, off-site parking options, advising visitors of on-site parking limitations, encouraging alternative means of travel, management of loading requirements on-site;
  - iii. Management of on-site parking space allocation and use, including any provision for time limited parking within the Salisbury Street car park;
  - iv. Monitoring of staff and visitor parking, travel behaviour on-site, and traffic-related and safety impacts associated with Gracefield Avenue access to the Youth Hub, which shall include as a minimum, monitoring every six months for the first 18 months of operation and then annually thereafter; and
  - v. A process for the collection of formal feedback from the Community Liaison Group regarding the impact of the number of visitors during the day, evenings and weekends.
8. All car parking spaces within the Salisbury Street car park, with the exception of any parking space for the disabled, shall be marked as P5 time restricted. This condition shall cease to apply if P5 parking spaces become available on Salisbury Street adjacent to the site.
9. The consent holder shall submit the OTMP to Council ([rcmon@ccc.govt.nz](mailto:rcmon@ccc.govt.nz)) for certification at least 20 working days prior to operations associated with this consent commencing on the site. This OTMP is to be certified by the Council as meeting the requirements of condition [7] prior to the commencing of operations and, once certified, the OTMP shall thereafter form part of the Approved Consent Document.
10. Should the Council refuse to certify the OTMP, the consent holder shall submit a revised OTMP to the Council for certification. The certification process shall follow the same procedure and requirements as outlined in conditions [6-9].

11. The OTMP may be amended at any time by the Consent Holder, in consultation with the Community Liaison Group. Any amendments to the OTMP shall be submitted by the Consent Holder to the Council for certification. Any amendments to the OTMP shall be:
- a) for the purposes of improving the measures outlined in the OTMP for achieving the OTMP purpose (see condition [6]), and;
  - b) consistent with the conditions of this resource consent.

If the amended OTMP is certified, then it becomes the certified OTMP for the purposes of condition [6] and shall thereafter form part of the Approved Consent Document.

12. Any staff arriving on the site by car between the hours of 11:00pm and 07:00am shall only park in one of the three southern car parking spaces in the Gracefield Avenue car park.
13. The access to the Gracefield Avenue car park shall be sign posted “Staff and Accessible Parking Only; No drop-offs at this entrance”. The sign shall be placed so that it is clearly legible to motorists before they enter the site.
14. The Salisbury Street car park shall be used during the day time period only (07:00am to 11:00pm). Vehicle access to the car park shall be physically prevented during night time hours.

Management of art, recreation and events space

15. (A) Except as provided for by Condition 15(B), the spaces labelled “art and recreation space” and “events” in Plan ‘Public area – Ground floor’ drawing number A904, rev. 04, shall only be utilised as follows:

<b>DAYS</b>	<b>HOURS</b>	<b>MAXIMUM NO. OF VISITORS (EXCLUDING STAFF AND RESIDENTS OF THE YOUTH HUB)</b>
Monday to Sunday	09:00am – 9:30pm	40

- (B) The spaces labelled “art and recreation space” and “events” in Plan ‘Public area – Ground floor’ drawing number A904, rev. 04 may additionally be utilised for events as follows:

<b>DAYS</b>	<b>HOURS</b>	<b>MAXIMUM NO. OF VISITORS (EXCLUDING STAFF AND RESIDENTS OF THE YOUTH HUB)</b>
Friday or Saturday evenings, maximum of 6 evenings per year	Up to 10:00pm	120
Friday or Saturday evenings, maximum of 6 evenings per year	Up to 10:00pm	200

16. For condition 15B, 'staff' is defined as Youth Hub staff living on-site and staff from the agency or agencies responsible for organising the particular event.
17. If more than one event is held at the same time, the combined number attending all events shall be accommodated within the maximum numbers in condition 15A and 15B.
18. The spaces labelled "art and recreation space" and "events" in Plan 'Public area – Ground floor' drawing number A904, rev. 04 shall only be utilised by organisations and persons directly associated with the provision of services to, and support for youth at, the Youth Hub.
19. Roof terraces shall not be accessible by visitors attending functions or events that are restricted under conditions [15] and [18] at the Youth Hub.
20. A record of all events/functions held on site that exceed a total of 40 visitors (excluding staff and on-site residents) shall be kept detailing the nature of the event, date, time and number of guests. A copy of the record shall be made available to the Council and the Community Liaison Group on request.

#### Operational Site Management Plan

21. Three months prior to the first operation of the Youth Hub an Operational Site Management Plan (OSMP) shall be prepared in consultation with the Community Liaison Group and submitted to Council (rcmon@ccc.govt.nz) for certification. The purpose of the OSMP is to ensure the efficient operation of the Youth Hub including that use of the site will be managed and supervised to avoid nuisance effects on neighbours, and to maintain compliance with the relevant District Plan standards and conditions of consent.
22. All activities on the site shall be carried out in accordance with a certified OSMP. The OSMP shall include but not be limited to the following matters:
  - i. Code of conduct for Youth Hub residents and visitors and operational guidelines for the management of the non-residential activities;
  - ii. Hours of operation;
  - iii. Access and security procedures;
  - iv. Management and monitoring of the use of access to and from Gracefield Avenue, including providing information to visitors, in advance of visits, concerning use of the Gracefield Avenue carpark and pedestrian access;
  - v. Recording the intended function of the Youth Hub (to provide 'wrap-around' services for the designated age group (10-25 years)) and purpose of specific spaces (for example the café operating as a training space on a not-for-profit basis) and outdoor courtyards;
  - vi. Management of the basketball court to minimise noise effects including potential for noise dampening surfaces and measures;
  - vii. Management and staffing of functions;
  - viii. Management of outdoor areas accessible to visitors;
  - ix. Management of traffic on site and including with reference to the OTMP;

- x. Complaints procedures and manager contact details (available 24/7);
  - xi. The method of recording all events/functions held on site that exceed a total of 40 visitors (excluding staff and on-site residents);
  - xii. Procedures for notification of local residents of upcoming events under condition 15B;
  - xiii. A record of comments on the OSMP made by community representatives on the Community Liaison Group with reasons provided for any departure from these comments; and
  - xiv. Any other information necessary to ensure compliance (including monitoring and reporting procedures for site usage) with the conditions of this resource consent and avoidance of nuisance effects on neighbours.
23. The OSMP shall include a section which specifically addresses management of the art, recreation and events space, including during events set out in condition 15A and 15B. The purpose of this section of the OSMP is to ensure any use of the site for events will be managed and supervised to avoid nuisance effects on neighbours, and to maintain compliance with the relevant District Plan noise standards. It shall include the relevant matters set out in condition 22(vii), (ix), (xi), (xii) and xiv above.
24. The consent holder shall submit the OSMP to Council ([rcmon@ccc.govt.nz](mailto:rcmon@ccc.govt.nz)) for certification at least 3 months prior to the Youth Hub operations commencing on the site. This OSMP shall be certified by the Council as meeting the requirements of conditions [21-23] prior to the first operation and, once certified, the OSMP shall thereafter form part of the Approved Consent Document.
25. Should the Council refuse to certify the OSMP, the consent holder shall submit a revised OSMP to the Council for certification. The certification process shall follow the same procedure and requirements as outlined in condition [24].
26. The OSMP shall be reviewed every 6 months for the first 18 months of operation and annually thereafter, to ensure it is achieving the purposes set out in condition 21.
27. The OSMP may be amended at any time by the Consent Holder in consultation with the Community Liaison Group. Any amendments to the OSMP shall be submitted by the Consent Holder to the Council for certification. Any amendments to the OSMP shall be:
- a) for the purposes of improving the measures outlined in the OSMP for achieving the OSMP purpose (see condition [21]), and;
  - b) consistent with the conditions of this resource consent.

If the amended OSMP is certified, then it becomes the certified OSMP for the purposes of condition [22] and shall thereafter form part of the Approved Consent Document.

#### Community Liaison Group

28. Within 6 months of the commencement of this consent, the consent holder shall establish a Community Liaison Group (CLG) comprising representatives chosen by the consent holder and representatives of the Victoria Neighbourhood Association (or subsequent resident association) as determined by them. An invitation for inclusion on the CLG shall be extended to up to 4 representatives of the Victoria Neighbourhood Association (VNA).
29. The function of the CLG is to provide a line of two-way communication and information sharing between the consent holder and the local community for the duration of the consent. The

function of the CLG is also to provide input into the development and review of the code of conduct and management plans required by conditions [ 6 and 21] of this resource consent.

30. The consent holder shall ensure that CLG members are advised of the intended dates of the CLG's meetings at least 10 days prior and supplied with copies of any reports or recommendations arising from the CLG's activities within 7 days following the meeting.
31. Prior to submission of an OSMP or OTMP (or an amendment to these management plans) to the Council for certification, a draft shall be provided to the CLG for comment. The CLG shall also be provided with a draft of any proposed revisions to the first draft OSMP (including the code of conduct) at least 6 weeks prior to its submission to Council.

*Note: The Community Liaison Group is not a decision-making group, but an important forum for the dissemination of information from the consent holder to affected neighbours. It also provides the opportunity for meaningful engagement between the parties, and for the Community Liaison Group to comment on consent compliance and provide recommendations for changes to operations, monitoring and adaptive management. Comments and recommendations from the CLG are to be given due consideration.*

*Note: The Community Liaison Group is considered "established" when the consent holder has collated contact details for all members and the Group has been provided with a plan of how the consultation process will be facilitated. The Community Liaison Group will set its own procedures and determine the need for and frequency of the meetings.*

*Note: The Community Liaison Group is expected to provide comments to the consent holder within two weeks of being sent information to review.*

#### Welfare Facility Floor Space

32. Offices for youth welfare services, excluding the health care facility, shall comprise no more than 419m<sup>2</sup> of gross floor area on the site and shall be limited to the areas marked "Support Services" on Plans 'GFA Ground Floor' A901 Rev. 8 and 'GFA First Floor' A902 Rev. 7. Youth welfare services means organisations and staff providing information, counselling and material welfare of a personal nature directly associated with the provision of support services for youth. It includes personal and family counselling, legal aid, government organisations and the offices of charitable organisations directly associated with the provision of support services for youth.
33. A maximum of 20 youth welfare service organisations shall be physically present within the areas marked "Support Services" on Plans 'GFA Ground Floor' A901 Rev. 8 and 'GFA First Floor' A902 Rev. 7 at any one time.
34. A record of youth welfare service organisations operating on site at any one time shall be kept detailing the nature of the organisations and days/hours of operation. A copy of the record shall be made available to the Council and the Community Liaison Group on request.

#### Health Care Facility

35. The health care facility, excluding the youth welfare services organisations, shall comprise no more than 214m<sup>2</sup> of gross floor area on the site and shall be limited to the areas marked "Health Care/Counselling" on Plans 'GFA Ground Floor' A901 Rev. 8 and 'GFA First Floor' A902 Rev. 7. Health care facility means space used for the provision of health services for youth aged between 10-25 years by registered health practitioners (approved under the Health Practitioners Competence Assurance Act 2003 [and subsequent versions]) and includes accessory offices and retail activity to the above.

#### Café

36. The café shall be operated as a training enterprise for youth and is not intended or expected to make a profit, nor is its primary purpose to serve the general public.
37. No signage advertising the presence of the café on site shall be located outside of the buildings on the site or offsite. Advertising for the café shall not be included in notices to the general public (including in flyers, newspapers and social media).
38. No alcohol shall be served in the café or anywhere else on site.

#### Noise and Vibration

39. All construction activities shall be managed and controlled in accordance with NZS6803:1999.
40. Prior to any work commencing on the site, the consent holder shall undertake at their expense a pre-construction condition survey on adjoining sites for any buildings and hard landscaping (i.e. paved or sealed surfaces) within 5m of the site boundary, where agreed to and approved by the adjoining landowner. A pre-construction condition survey for any buildings and hard landscaping (i.e. paved or sealed surfaces) shall also be undertaken for any other property where deemed appropriate by a suitably qualified and experienced person and where requested to do so by the landowner. The pre-construction condition survey shall include photographs to record the existing condition of buildings and hard landscaping, focusing on any damage that is already apparent. Prior to the work commencing on the site a copy of the pre-construction condition survey shall be provided to the landowner.
41. An acoustic fence shall be installed prior to construction activity commencing on all internal boundaries. The acoustic fence shall be 2m in height, shall have a minimum surface mass of 8.0kg/m<sup>2</sup> except that fencing adjoining the Salisbury Street car park shall have a minimum surface mass of 15kg/m<sup>2</sup>, and shall be maintained in good condition with no gaps.
42. Music played within the cafe shall be played at background levels only.
43. The basketball court shall be:
  - a. restricted to the area shown on Concept plan ground level, drawing number L101, rev. 11, date 11/05/2021;
  - b. limited to one single hoop;
  - c. limited to use between the hours of 9:00am and 7:00pm.

#### Erosion and Sediment Control

44. All filling and excavation work shall be carried out in accordance with a site specific Erosion and Sediment Control Plan (ESCP), prepared by a suitably qualified and experienced professional, which follows the best practice principles, techniques, inspections and monitoring for erosion and sediment control contained in ECan's Erosion and Sediment Control Toolbox for Canterbury <http://esc Canterbury.co.nz/>. The ESCP must be held on site at all times and made available to Council on request.
45. Run-off shall be controlled to prevent muddy water flowing, or earth slipping, onto neighbouring properties, legal road, or into a river, stream, drain or wetland. Sediment, earth or debris shall not fall or collect on land beyond the site or enter the Council's stormwater system. All muddy water must be treated, using at a minimum the erosion and sediment control measures detailed in the site-specific Erosion and Sediment Control Plan, prior to discharge to the Council's stormwater system.
46. The ESCP shall be implemented on site and maintained over the construction phase, until the site is stabilised (i.e., no longer producing dust or water-borne sediment). The ESCP shall be improved if initial and/or standard measures are inadequate. All disturbed surfaces shall be adequately topsoiled and vegetated as soon as possible to limit sediment mobilisation.



47. Dust emissions shall be appropriately managed within the boundary of the property in compliance with the Regional Air Plan. Dust mitigation measures such as water carts or sprinklers shall be used on any exposed areas. The roads to and from the site, and entrance and exit, must remain tidy and free of dust and dirt at all times.
48. The consent holder shall notify Christchurch City Council no less than three working days prior to works commencing, (email to [rcmon@ccc.govt.nz](mailto:rcmon@ccc.govt.nz)) of the earthworks start date and the name and contact details of the site supervisor.
49. All loading and unloading of trucks with excavation or fill material shall be carried out within the subject site.

#### Landscaping

50. The proposed landscaping shall be established on site within the first planting season (extending from 1 April to 30 September) following the final, passed building inspection.
51. All landscaping required for this consent shall be maintained. Any dead, diseased, or damaged landscaping shall be replaced by the consent holder within the following planting season (extending from 1 April to 30 September) with trees/shrubs of similar species.
52. All trees located within the area marked G12 'Northern Boundary Planting' on Concept plan ground level, drawing number L101, rev. 11, date 11/05/2021 shall, on achieving the mature height specified on the approved Planting Schedule Page 2, be maintained at that height.

#### Market Garden

53. Access by visitors to the roof top garden shall be restricted to between the hours of 08:00am to 04:00pm Monday to Sunday.

#### Review

54. Pursuant to Section 128 of the Resource Management Act 1991, the Council may review conditions by serving notice on the consent holder within a period of one month of any 12 month period following the date of this decision, in order to deal with any adverse effects on the environment which may arise from the exercise of this consent and which it is appropriate to deal with at a later stage.

#### **Advice notes:**

- i) *Monitoring*  
The Council will require payment of its administrative charges in relation to monitoring of conditions, as authorised by the provisions of section 36 of the Resource Management Act 1991. The current monitoring charges are:
  - (a) A monitoring programme administration fee of \$102.00 to cover the cost of setting up the monitoring programme; and
  - (b) A monitoring fee of \$175.50 for the first monitoring inspection to ensure compliance with the conditions of this consent; and
  - (c) Time charged at an hourly rate if more than one inspection, or additional monitoring activities (including those relating to non-compliance with conditions), are required.

The monitoring programme administration fee and inspection fees will be charged to the applicant with the consent processing costs. Any additional monitoring time will be invoiced to the consent holder when the monitoring is carried out, at the hourly rate specified in the applicable Annual Plan Schedule of Fees and Charges.

- ii) This site may be an archaeological site as defined and protected under the provisions of the Heritage New Zealand Pouhere Taonga Act 2014. Archaeological sites are defined in the HNZPTA as any place in New Zealand where there is physical evidence of pre-1900 occupation, regardless whether the site is known or not, recorded in the NZAA Site Recording Scheme or not, or listed with Heritage New Zealand or the local council. Authority from Heritage New Zealand is required for any work that affects or may affect an archaeological site. **Please contact the Heritage New Zealand regional archaeologist on 03 363 1880 or [archaeologistcw@heritage.org.nz](mailto:archaeologistcw@heritage.org.nz) before commencing work on the land.**

iii) *Development Contributions Assessment*

This proposal has been assessed for development contributions (DCs) under the provisions of the [Christchurch City Council Development Contributions Policy](#) (DCP). The proposal has been found to create additional demand on network and community infrastructure or reserves.

To help fund community facilities, the Local Government Act 2002 (LGA) allows a council to require development contributions if the effect of a development requires the council to provide new or upgraded infrastructure.

This Notice informs you of the DCs required by the Council for the development but is not a request for payment. An invoice will be issued by the Council when it requires payment of the DC's. Payment will be required before issue of a code compliance certificate for a building consent, commencement of the resource consent activity, issue of a section 224(c) certificate for a subdivision consent or authorisation of a service connection, whichever is first. An invoice can be issued earlier at your request. Council may also issue an invoice, at its discretion, if it considers the development is already utilising Council infrastructure for which DCs are being required.

## Attachment B



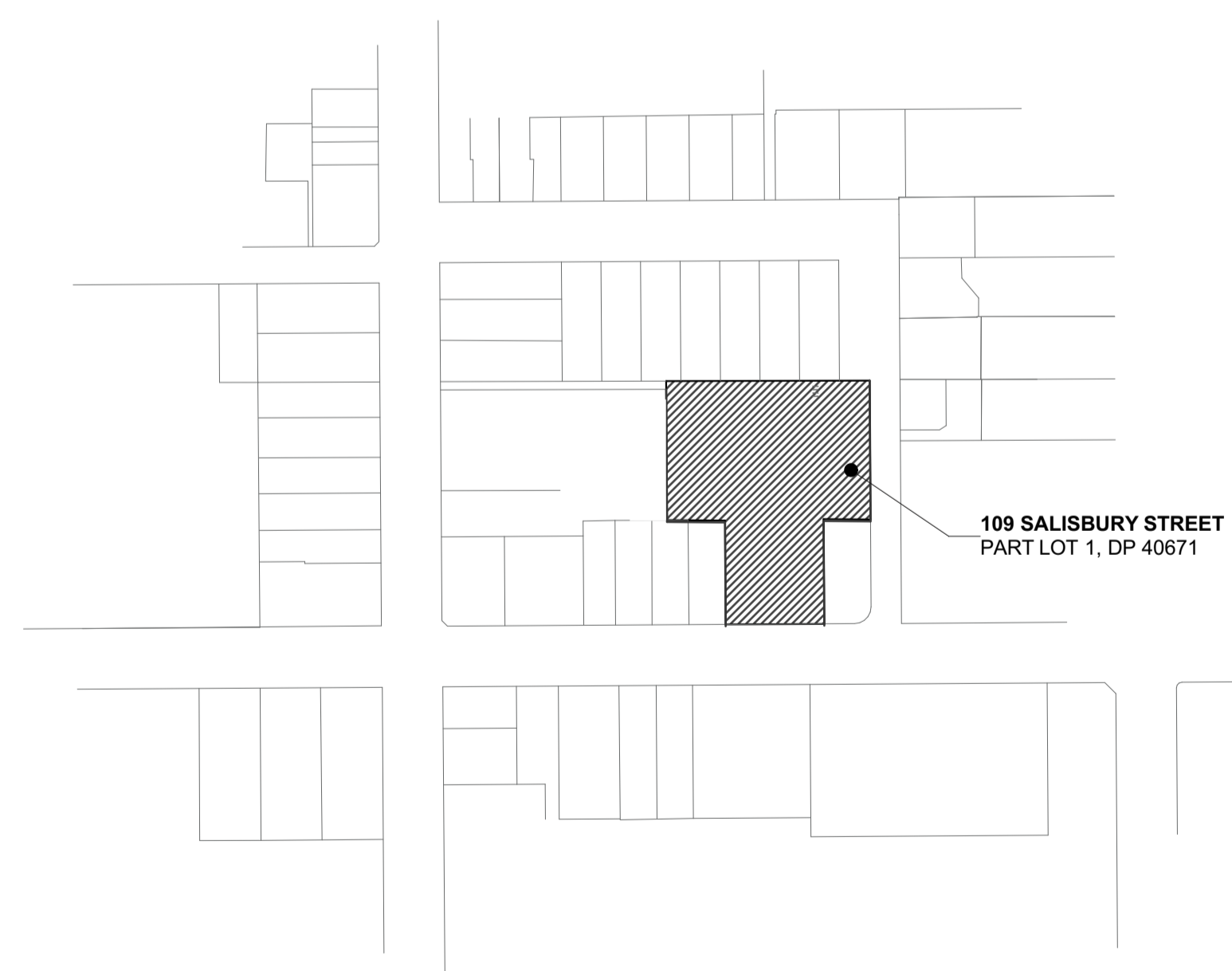
## Resource Consent Application Rev. 8

**Te Hurihanga Ō Rangatahi  
The Youth Hub**  
109 Salisbury Street Christchurch New Zealand

Layout ID	Layout Name	Published	Issued Date	Current Revision ID
A000	Cover Sheet	<input checked="" type="checkbox"/>	11/05/2021 8:41 AM	08
A001	Indicative 3D Images	<input type="checkbox"/>	22/05/2020 5:21 PM	02
A002	Indicative 3D Images	<input type="checkbox"/>	24/02/2020 9:57 AM	01
A101	Proposed Site plan	<input checked="" type="checkbox"/>	11/05/2021 8:41 AM	08
A200	Ground Floor Plan	<input checked="" type="checkbox"/>	11/05/2021 8:41 AM	08
A201	First Floor Plan	<input checked="" type="checkbox"/>	11/05/2021 8:41 AM	07
A202	Second Floor Plan	<input checked="" type="checkbox"/>	11/05/2021 8:41 AM	06
A203	Roof Plan	<input checked="" type="checkbox"/>	11/05/2021 8:41 AM	04
A300	Elevations	<input checked="" type="checkbox"/>	11/05/2021 8:41 AM	07
A301	Elevations	<input checked="" type="checkbox"/>	11/05/2021 8:41 AM	08
A900	Project Zones	<input checked="" type="checkbox"/>	11/05/2021 8:41 AM	03
A901	GFA - Ground Floor	<input checked="" type="checkbox"/>	11/05/2021 8:41 AM	08
A902	GFA - First Floor	<input checked="" type="checkbox"/>	11/05/2021 8:41 AM	07
A903	GFA - Second Floor	<input checked="" type="checkbox"/>	11/05/2021 8:41 AM	03
A904	Public Area - Ground Floor	<input checked="" type="checkbox"/>	11/05/2021 8:41 AM	04
A905	Public Area - First Floor	<input checked="" type="checkbox"/>	11/05/2021 8:41 AM	03
A906	Public Area - Second Floor	<input checked="" type="checkbox"/>	11/05/2021 8:41 AM	02
A907	Use Diagram Ground Floor	<input checked="" type="checkbox"/>	11/05/2021 8:41 AM	04
A908	Use Diagram First Floor	<input checked="" type="checkbox"/>	11/05/2021 8:41 AM	03
A909	Use Diagram Second Floor	<input checked="" type="checkbox"/>	11/05/2021 8:41 AM	03

Distribution	
Client	X
Local Authorities	X
Structural Engineer	
Landscape Architect	X
Planner	X
Urban Designer	X
Traffic Engineer	X
Acoustic Engineer	

Distribution Format		
Electronic	PDF	X
	ArchiCAD	
Physical	Paper	



1. Site Location Plan 1:2000

RevID	CHID	Change Name	Date
01			24/02/2020
02	CH-23	Cover sheet updated	22/05/2020
03	CH-36	Cover sheet updated	4/09/2020
04	CH-38	Cover sheet updated	28/09/2020
05	CH-51	Cover sheet updated	13/10/2020
06	CH-62	Cover sheet updated	9/04/2021
07	CH-64	Revision updated	3/05/2021
08	CH-69	Drawing register updated	
08	CH-71	Reissued without change markers for clarity	11/05/2021

**NOT FOR CONSTRUCTION**

Do not scale.  
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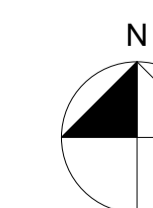
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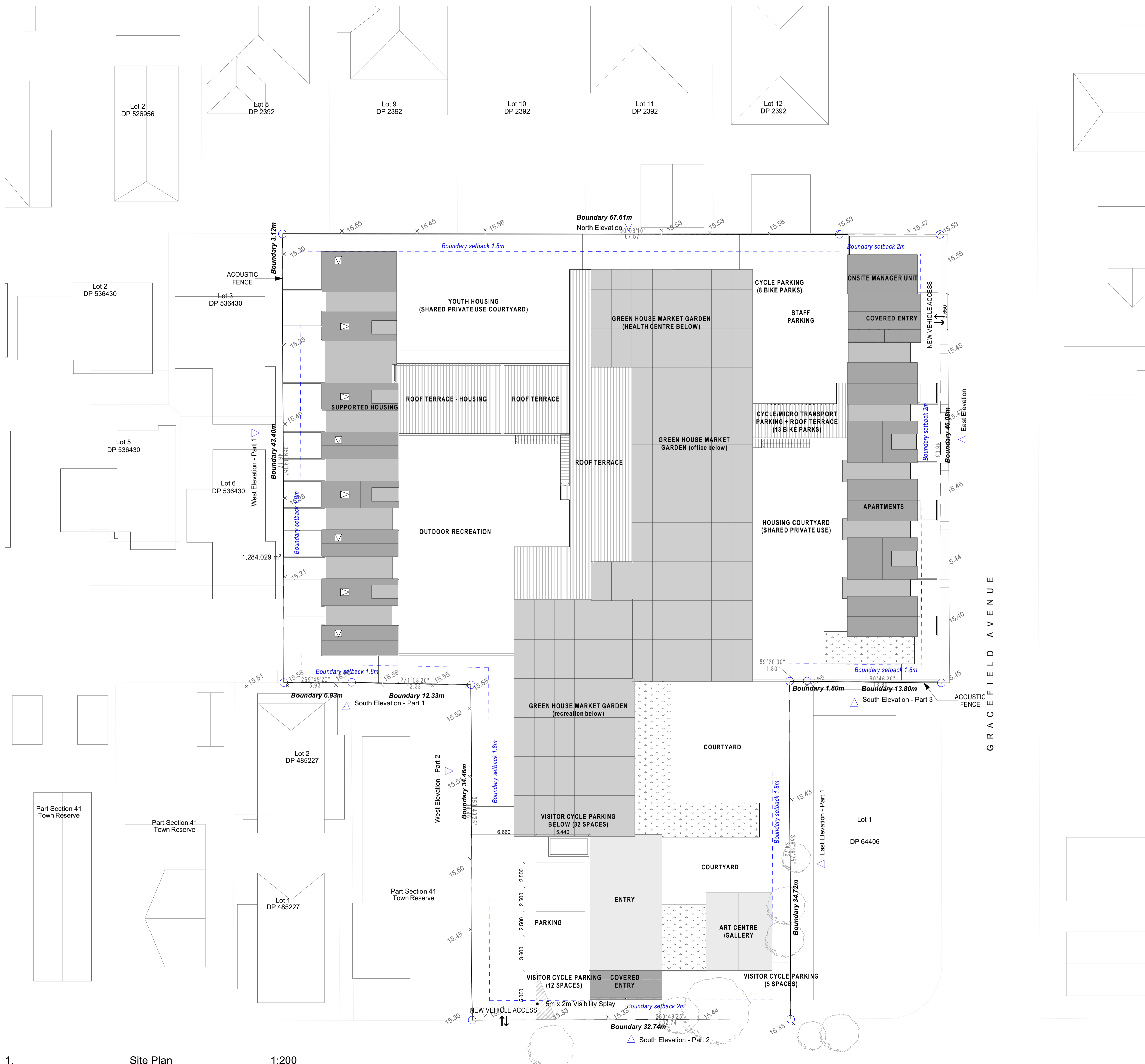
Client  
The Youth Hub Trust

Project  
Te Hurihanga Ō Rangatahi - The Youth Hub  
109 Salisbury Street Christchurch New Zealand

Title  
**Cover Sheet**

Scale	1:2000 @ A1	
Drawn	IN/JK	
Checked	AK/AJ	
Published Date	11/05/2021	
Issued for	Resource Consent	
Project no.	Drawing no.	Rev.
18-008	A000	08





**BUILDING FLOOR AREAS**

<b>Residential Units</b>	5 units: 4 x 3 bedroom unit 1 x 4 bedroom unit (includes 1 x accessible bedroom)
Gross floor area	503.55m <sup>2</sup>
<b>On site managers unit</b>	42.75m <sup>2</sup>
<b>Residential Activity (Youth hub housing):</b>	22 housing units 2 supervisor units
Gross floor area	462.31m <sup>2</sup>
<b>Food and Beverage (cafe)</b>	
Gross floor area	68.32m <sup>2</sup>
Public area	48.95m <sup>2</sup>
<b>Training/Workshop Space</b>	
Gross floor area	741.24m <sup>2</sup>
Public area	737.04m <sup>2</sup>
<b>Health Care / Counselling</b>	
Gross floor area	213.67m <sup>2</sup>
Public Area	195.41m <sup>2</sup>
<b>Support Services</b>	
Gross floor area	419.33m <sup>2</sup>
<b>Basketball Court</b>	
Gross floor area	132.92m <sup>2</sup>
<b>Farm</b>	
Gross floor area	779.04m <sup>2</sup>
Public floor area	190.66m <sup>2</sup>

**SITE PLAN LEGEND**

- Boundary
- Proposed Tree (Refer to landscape architects documents to planting details)
- Vehicle Access
- SH/FL 13.28
- Surveyed levels
- Greenhouse (glass) roofs
- Walk-on terrace with membrane below
- Possible green roof with membrane below
- Long-run steel roofing (Kowhai Glow)
- Membrane roof

**SITE INFORMATION**

Site Description: Pt Lot 1 DP 40671  
 CCC Zone: Residential Central City  
 Site Area: 4250m<sup>2</sup>  
 Building Footprint: 2236.5m<sup>2</sup>  
 Site Coverage: 52.62%

**BUILDING AREA**

Building Footprint: 2236.5m<sup>2</sup>  
 Parking: 389.35m<sup>2</sup>

**SITE COVERAGE**

Building Footprint: 52.62%  
 Parking: 9.16%

Refer to Landscape Architects documents to Hardscaping and Landscaping coverage information

**CYCLE PARKING**

Covered Visitor	36 spaces
Uncovered Visitor	17 spaces
Staff	42 spaces

**SURVEY INFORMATION:**

Budget Setouts LTD  
 28-06-19  
 Heights in terms of Chch Drainage Datum

**NOTE:**  
 To be read in conjunction with landscape architects documents

RevID	CHID	Change Name	Date
03	CH-37	Survey updated	28/09/2020
	CH-40	Space label updated	
	CH-42	Deck removed, trees added, fence added and gate moved	
	CH-44	Landscape architect note added	13/10/2020
	CH-46	Cycle parking layout updated	
	CH-47	Acoustic fence shown	
	CH-52	Updated areas	
	CH-56	Neighbour context updated	9/04/2021
	CH-58	Grass verge information added. Refer to landscape architect	
	CH-65	900mm high fence introduced along road side with gates. Ground surface representation (H) updated in plans to show paths over landscaped area.	3/05/2021
	CH-71	Reissued without change markers for clarity	11/05/2021

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 Project: Te Hurihanga Ō Rangatahi - The Youth Hub  
 109 Salisbury Street Christchurch New Zealand

**Proposed Site plan**

Scale: 1:200 @ A1  
 Drawn: IN/JK  
 Checked: AK/AJ  
 Publish Date: 11/05/2021  
 Issued for: Resource Consent

Project no.	Drawing no.	Rev.
18-008	A101	08



**FLOOR PLAN LEGEND**

- ○ Boundary
- Setback Line
- Roof Above/Below
- ⊠ Void

**SPACE DESIGNATIONS**

- AW Accessible toilet
- AWS Accessible toilet with shower
- AU Accessible single sleeping unit with ensuite
- B Bed room
- BS Bin store
- BT Bathroom
- CT Consult room
- CU On-site manager unit
- D Dining
- GW Green waste composting
- K Kitchen
- KT Kitchenette
- L Living
- LA Laundry facilities
- LT Lift
- M Meeting
- O Office/Breakout
- PC Private courtyard
- R3U Residential 3 bedroom unit
- R4U Residential 4 bedroom unit
- S Storage
- ST Study
- SU Supervisor sleeping unit
- U Single sleeping unit with ensuite
- W Unisex toilet

**NOTE:**

To be read in conjunction with landscape architects documents

RevID	CHID	Change Name	Date
06	CH-56	Neighbour context updated	9/04/2021
	CH-57	Gate swing reversed	
	CH-58	Grass verge information added. Refer to landscape architect	
	CH-59	Parking layout reorganised. Accessible carpark relocated to be closer to entrance. Cycle parking changed to 4 double stand.	
07	CH-65	900mm high fence introduced along road side with gates. Ground surface representation(s) updated in plans to show paths over landscaped area.	3/05/2021
	CH-66	Space name updated	
	CH-67	Emergency egress and services name added for information	
	CH-68	Gate shown for clarity	
08	CH-71	Revised without change markers for clarity	11/05/2021

**NOT FOR CONSTRUCTION**

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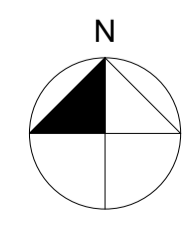


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 Project  
**Te Hurihanga Ō Rangatahi - The Youth Hub**  
 109 Salisbury Street Christchurch New Zealand

**Ground Floor Plan**

Scale 1:150 @ A1	Drawn IN/JK	Checked AK/AJ
Project no. 18-008	Drawing no. A200	Rev. 08
Issue Date 11/05/2021	Issued for Resource Consent	





**ROOF PLAN LEGEND**

- Roof Pitch
- 1 Greenhouse (glass) roofs
- 2 Walk-on terrace with membrane below
- 3a Long-run steel roofing (Kowhai Glow)
- 3b Long-run steel roofing (galvanised)
- 4 Membrane roof
- 5 Possible green roof with membrane below
- 6 Translucent profiled roofing
- 7 Timber Decking

**FLOOR PLAN LEGEND**

- Boundary
- Setback Line
- Roof Above/Below
- ⊠ Void

**SPACE DESIGNATIONS**

- AW Accessible toilet
- AWS Accessible toilet with shower
- AU Accessible single sleeping unit with ensuite
- B Bed room
- BS Bin store
- BT Bathroom
- CT Consult room
- CU On-site manager unit
- D Dining
- GW Green waste composting
- K Kitchen
- KT Kitchenette
- L Living
- LA Laundry facilities
- LT Lift
- M Meeting
- O Office/Breakout
- PC Private courtyard
- R3U Residential 3 bedroom unit
- R4U Residential 4 bedroom unit
- S Storage
- ST Study
- SU Supervisor sleeping unit
- U Single sleeping unit with ensuite
- W Unisex toilet

**NOTE:**  
To be read in conjunction with landscape architects documents

RevID	CHID	Change Name	Date
01	CH-02	Glazing added	
	CH-03	Window visibility updated for clarity	
	CH-16	Wall moved north	
	CH-18	Interior layout adjusted	22/05/2020
	CH-19	Bin store added	
	CH-27	New bay window	
03	CH-32	Glazing reduced	4/09/2020
	CH-35	Green waste composting added	
04	CH-39	Level and recession planes adjusted	28/09/2020
05	CH-40	Space label updated	13/10/2020
	CH-44	Landscape architect note added	
06	CH-58	Neighbour context updated	9/04/2021
07	CH-71	Reissued without change markers for clarity	11/05/2021

**NOT FOR CONSTRUCTION**

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Client  
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Project  
**Te Hurihanga Ō Rangatahi - The Youth Hub**  
109 Salisbury Street Christchurch New Zealand

Title  
**First Floor Plan**

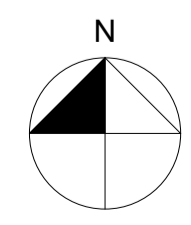
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Published Date: 11/05/2021  
Issued for: Resource Consent

Project no.	Drawing no.	Rev.
18-008	A201	07





**ROOF PLAN LEGEND**

- Roof Pitch
- 1 Greenhouse (glass) roofs
- 2 Walk-on terrace with membrane below
- 3a Long-run steel roofing (Kowhai Glow)
- 3b Long-run steel roofing (galvanised)
- 4 Membrane roof
- 5 Possible green roof with membrane below
- 6 Translucent profiled roofing
- 7 Timber Decking

**FLOOR PLAN LEGEND**

- Boundary
  - - - Setback Line
  - - - Roof Above/Below
  - ⊠ Void
- SPACE DESIGNATIONS**
- AW Accessible toilet
  - AWS Accessible toilet with shower
  - AU Accessible single sleeping unit with ensuite
  - B Bed room
  - BS Bin store
  - BT Bathroom
  - CT Consult room
  - CU On-site manager unit
  - D Dining
  - GW Green waste composting
  - K Kitchen
  - KT Kitchenette
  - L Living
  - LA Laundry facilities
  - LT Lift
  - M Meeting
  - O Office/Breakout
  - PC Private courtyard
  - R3U Residential 3 bedroom unit
  - R4U Residential 4 bedroom unit
  - S Storage
  - ST Study
  - SU Supervisor sleeping unit
  - U Single sleeping unit with ensuite
  - W Unisex toilet

**NOTE:**  
To be read in conjunction with landscape architects documents

RevID	CHID	Change Name	Date
01	CH-01	Rearrangement to single 1200mm clear pedestrian/cycle way, vehicle entrance moved north accordingly and covered entrance roof arrangement adjusted.	
02	CH-02	Glazing added	22/05/2020
	CH-03	Window visibility updated for clarity	
	CH-04	Surface texture removed for clarity	
	CH-19	Bin store added	
03	CH-22	Study added	4/09/2020
	CH-31	Translucent treatment added	
	CH-32	Glazing reduced	
	CH-35	Green waste composting added	
04	CH-30	Level and recession plane adjusted	28/09/2020
	CH-43	Glazing treatment height adjusted	
05	CH-44	Landscape architect note added	13/10/2020
	CH-71	Retained without change markers for clarity	
06	CH-71	Retained without change markers for clarity	11/05/2021

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Project  
**Te Hurihanga Ō Rangatahi - The Youth Hub**  
109 Salisbury Street Christchurch New Zealand

**Second Floor Plan**

Scale  
1:150 @ A1

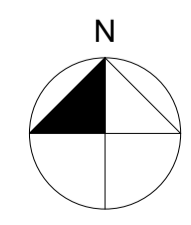
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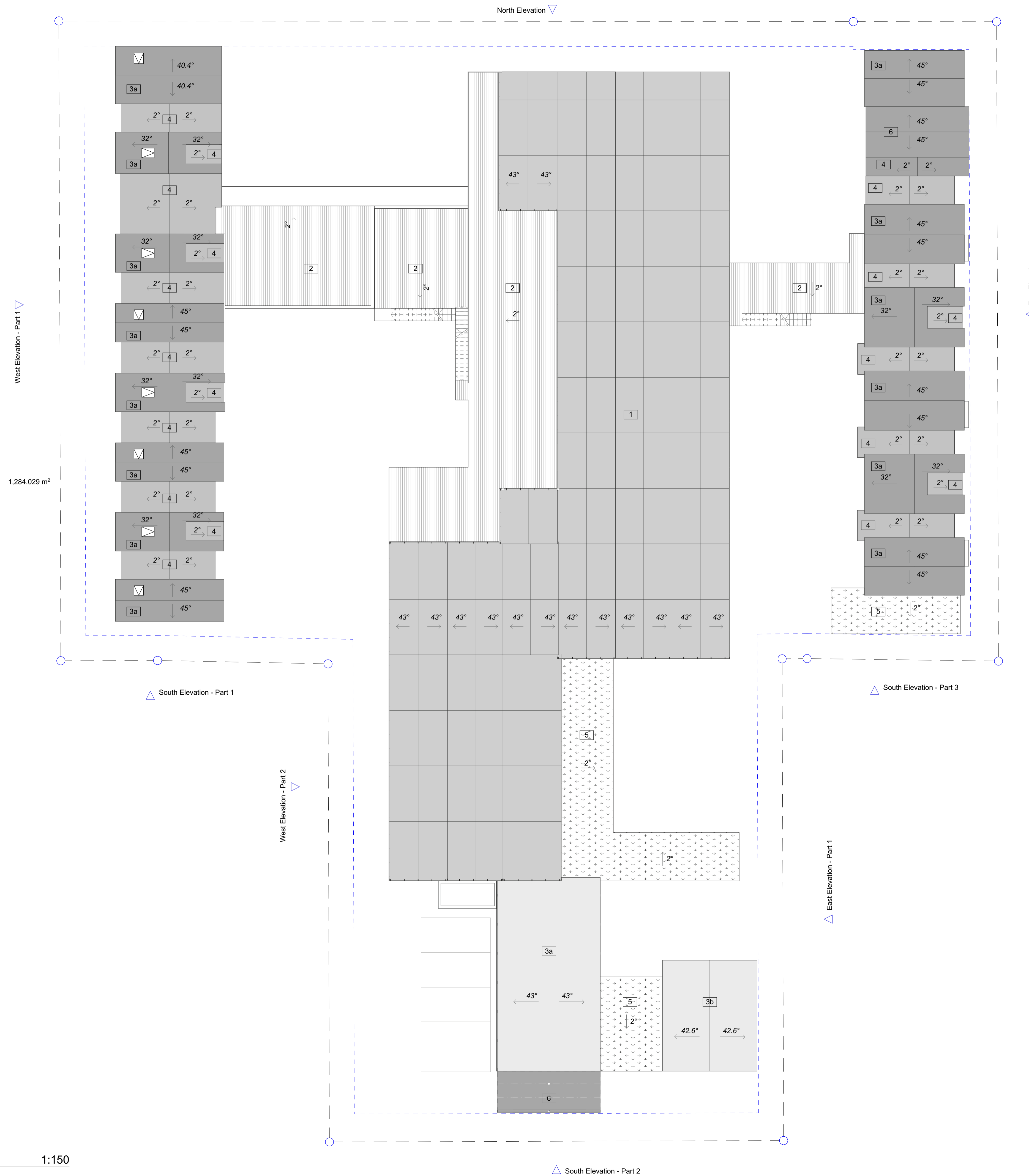
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Resource Consent

Project no.	Drawing no.	Rev.
18-008	A202	06







- ROOF PLAN LEGEND**
- Roof Pitch
  - 1 Greenhouse (glass) roofs
  - 2 Walk-on terrace with membrane below
  - 3a Long-run steel roofing (Kowhai Glow)
  - 3b Long-run steel roofing (galvanised)
  - 4 Membrane roof
  - 5 Possible green roof with membrane below
  - 6 Translucent profiled roofing
  - 7 Timber Decking

**NOTE:**  
To be read in conjunction with landscape architects documents

RevID	CHID	Change Name	Date
01			24/02/2020
02	CH-01	Rearrangement to single 1200mm clear pedestrian/cycle way, vehicle entrance moved north accordingly and covered entrance roof arrangement adjusted.	22/05/2020
03	CH-44	Landscape architect note added	13/10/2020
04	CH-71	Reissued without change markers for clarity	11/05/2021

**NOT FOR CONSTRUCTION**

Do not scale.  
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Client  
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Project  
**Te Hurihanga Ō Rangatahi - The Youth Hub**  
109 Salisbury Street Christchurch New Zealand

Title  
**Roof Plan**

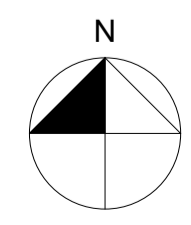
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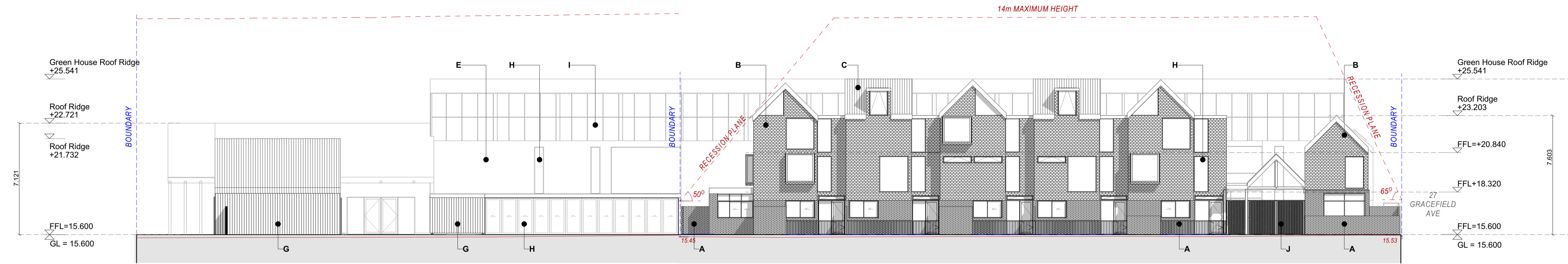
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Checked  
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Publish Date  
11/05/2021

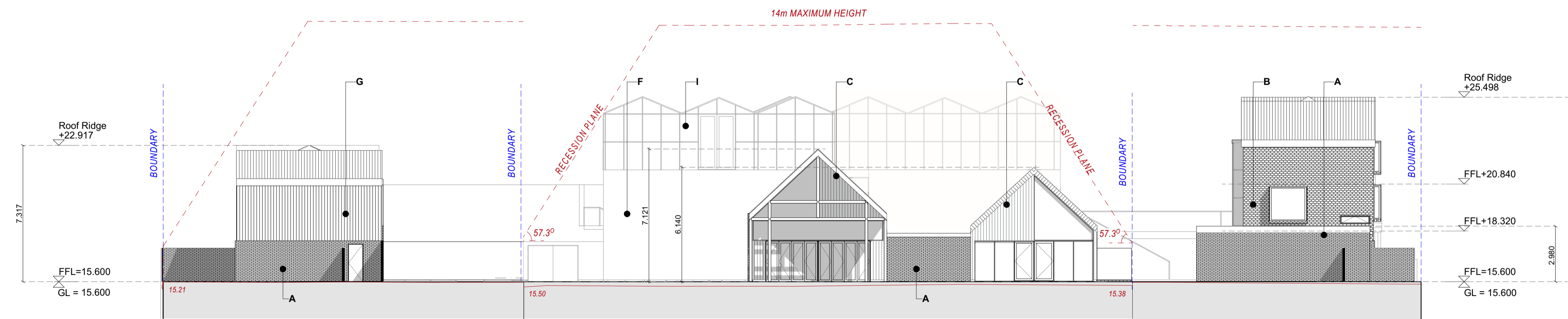
Issued for  
Resource Consent





1. East Elevation - Part 1 1:150  
A101, A200, A201, A202, A203, A907

2. East Elevation - Gracefield Avenue 1:150  
A101, A200, A201, A202, A203



3. South Elevation - Part 1 1:150  
A101, A200, A201, A202, A203

4. South Elevation - Salisbury Street 1:150  
A101, A200, A201, A202, A203

5. South Elevation - Part 3 1:150  
A101, A200, A201, A202, A203

**FINISHES LEGEND**

Refer to 3D images on sheet A001 and A002 for indicative colour and materials

- A Brick (type & colour TBC)
- B Timber Shingles
- C Colorsteel Cladding in 'Kowhai Glo'
- D Galvanised Steel Cladding
- E Concrete with teal paint finish
- F Concrete with maroon paint finish
- G Vertical Timber Cladding
- H Glazing
- I Green House (Glazing)
- J Timber Gate
- K Translucent treatment
- Existing ground levels
- Proposed ground levels

**NOTE:**

To be read in conjunction with landscape architects documents

RevID	CHID	Change Name	Date
02	CH-05	Building heights added - Building levels corrected	
	CH-09	Fence height reduced to 1200mm	22/05/2020
	CH-20	Facade glazing rearranged	
	CH-21	Portion of building moved south	
	CH-32	Glazing reduced	
03	CH-34	translucent treatment introduced to bottom panel	4/09/2020
04	CH-39	Level and recession planes adjusted	28/09/2020
	CH-41	Spatial space moved	
05	CH-44	Landscape architect note added	13/10/2020
	CH-48	Glazing adjusted	
06	CH-65	900mm high fence introduced along road side with gates. Ground surface representation fill updated in plans to show paths over landscaped area.	3/05/2021
07	CH-71	900mm high fence introduced along road side with gates.	11/05/2021

**NOT FOR CONSTRUCTION**

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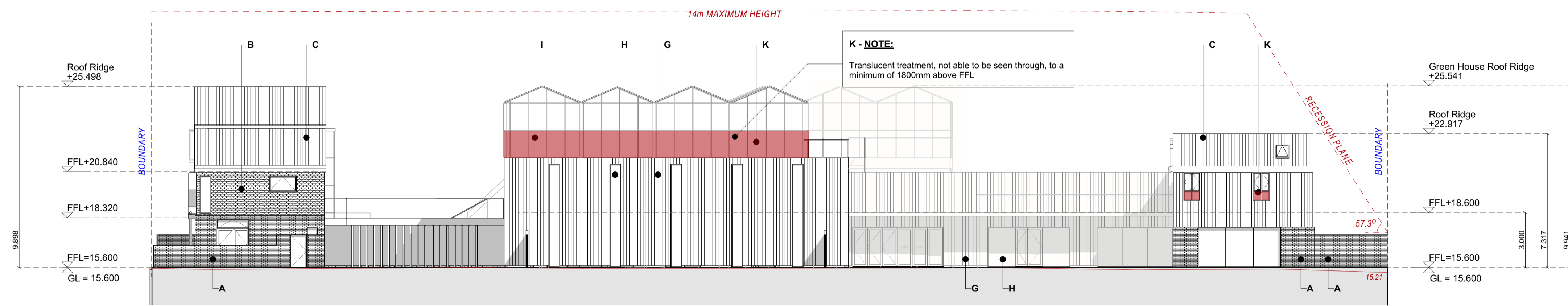
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Client  
The Youth Hub Trust

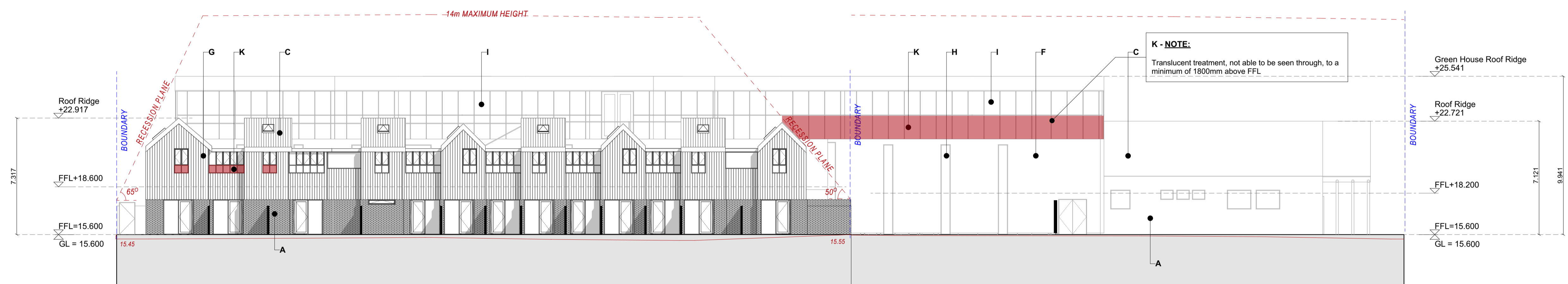
Project  
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109 Salisbury Street Christchurch New Zealand

**Elevations**

Scale 1:150 @ A1		
Drawn IN/JK		
Checked AK/AJ		
Publish Date: 11/05/2021		Issued for: Resource Consent
Project no. 18-008	Drawing no. A300	Rev. 07



1. North Elevation 1:150  
A101, A200, A201, A202, A203



2. West Elevation - Part 1 1:150  
A101, A200, A201, A202, A203

3. West Elevation - Part 2 1:150  
A101, A200, A201, A202, A203

**FINISHES LEGEND**

Refer to 3D images on sheet A001 and A002 for indicative colour and materials

- A Brick (type & colour TBC)
  - B Timber Shingles
  - C Colorsteel Cladding in 'Kowhai Glo'
  - D Galvanised Steel Cladding
  - E Concrete with teal paint finish
  - F Concrete with maroon paint finish
  - G Vertical Timber Cladding
  - H Glazing
  - I Green House (Glazing)
  - J Timber Gate
  - K translucent treatment
- Existing ground levels  
Proposed ground levels

**NOTE:**

To be read in conjunction with landscape architects documents

RevID	ChID	Change Name	Date
02	CH-05	Building heights added + Building levels corrected	22/05/2020
	CH-07	Glazing adjusted	
	CH-08	Bike storage separation added	
	CH-09	Fence height reduced to 1200mm	
	CH-31	Translucent treatment added	
03	CH-32	Glazing reduced	4/09/2020
	CH-33	Glazing reduced and translucent treatment introduced to bottom panel	
	CH-34	translucent treatment introduced to bottom panel	
04	CH-39	Level and recession planes adjusted	28/09/2020
05	CH-43	Glazing treatment height adjusted	13/10/2020
06	CH-44	Landscape architect note added	13/10/2020
07	CH-61	Translucent treatment added	10/04/2021
08	CH-68	Gate shown for clarity	3/05/2021
08	CH-71	Revised without change markers for clarity	11/05/2021

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Project  
Te Hurihanga Ō Rangatahi - The Youth Hub  
109 Salisbury Street Christchurch New Zealand

**Elevations**

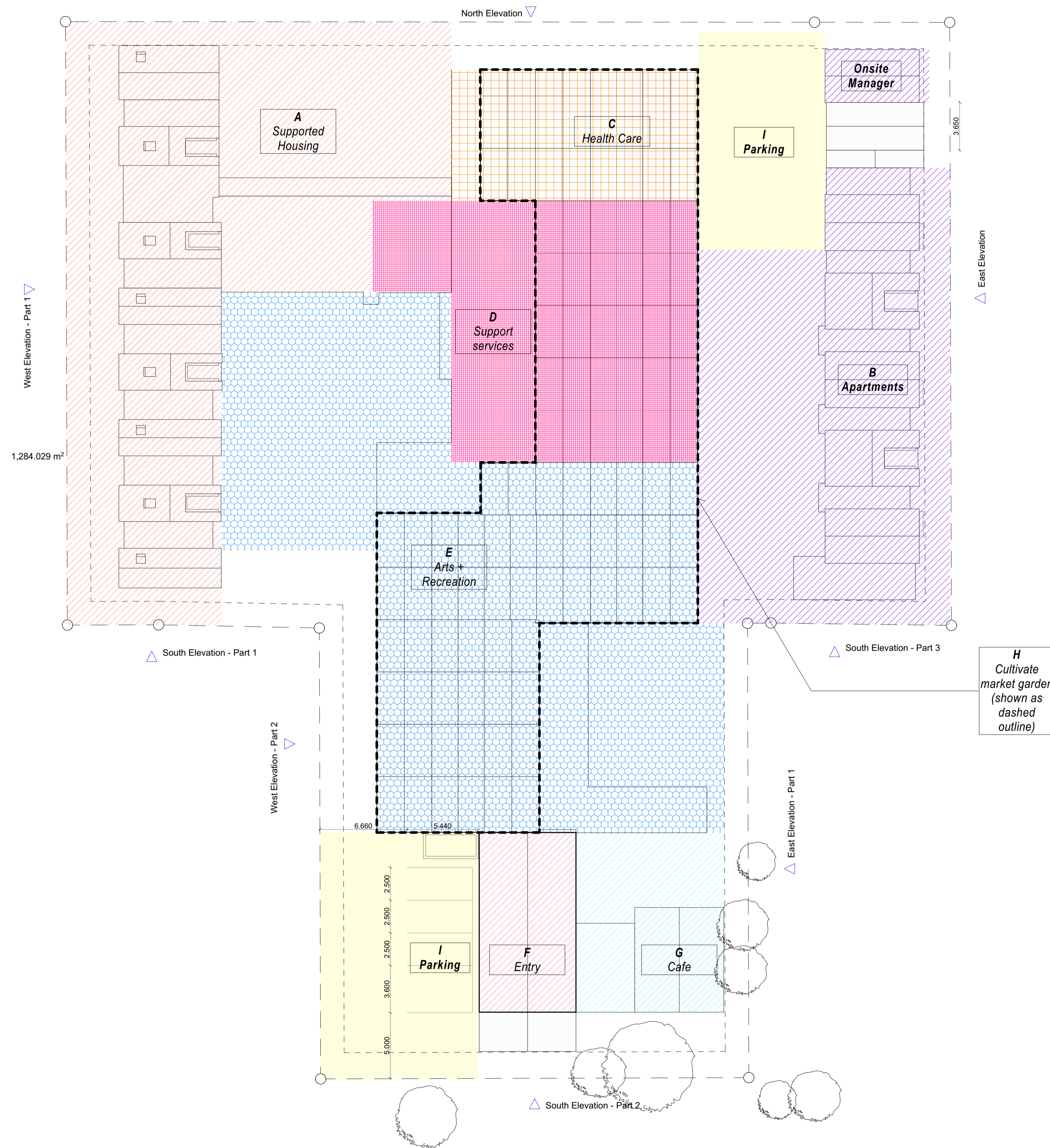
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Drawn  
IN/JK

Checked  
AK/AJ

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Project no. 18-008	Drawing no. A301	Rev. 08
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**PROJECT ZONES**

- A Supported Housing
- B Apartments
- C Health Care
- D Support services
- E Arts + Recreation
- F Entry
- G Cafe
- H Cultivate market garden
- I Parking

**NOTE:**

This drawing is intended to be read in colour



RevID	CHID	Change Name	Date
01			24/02/2020
02	CH-29	Zone name updated	22/05/2020
03	CH-71	Reissued without change markers for clarity	11/05/2021

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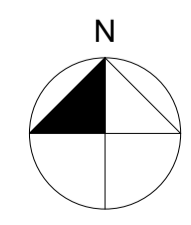
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**Project Zones**

Scale  
1:200 @ A1

Drawn  
IN/JK

Checked  
AK/AJ



Project no.	Drawing no.	Rev.
18-008	<b>A900</b>	03



**GROSS FLOOR AREA - GROUND FLOOR**

- Zone of gross floor area
- Residential Units  
179.93m<sup>2</sup>
- On site managers unit  
24.23m<sup>2</sup>
- Residential Activity  
290.72m<sup>2</sup>
- Food and Beverage (cafe)  
68.32m<sup>2</sup>
- Training/Workshop Space  
551.29m<sup>2</sup>
- Health Care / Counselling  
103.80m<sup>2</sup>
- Support Services  
185.16m<sup>2</sup>
- Basketball Court  
132.918m<sup>2</sup>

**NOTE:**

This drawing is intended to be read in colour



RevID	CHID	Change Name	Date
01			24/02/2021
02	CH-53	Changes carried through from A200	13/10/2020
	CH-57	Gate swing reversed	
06	CH-59	Parking layout rearranged. Accessible carpark relocated to be closer to entrance. Cycle parking changed to 4 double stand.	9/04/2021
	CH-60	Uses clarification	
	CH-65	900mm high fence introduced along road side with gates. Ground surface representation(s) updated in plans to show paths over landscaped area.	3/05/2021
07	CH-66	Spazio name updated	
	CH-67	Emergency egress and services name added for information	
	CH-68	Gate shown for clarity	
08	CH-71	Revised without change markers for clarity	11/05/2021

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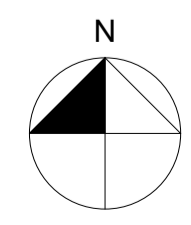
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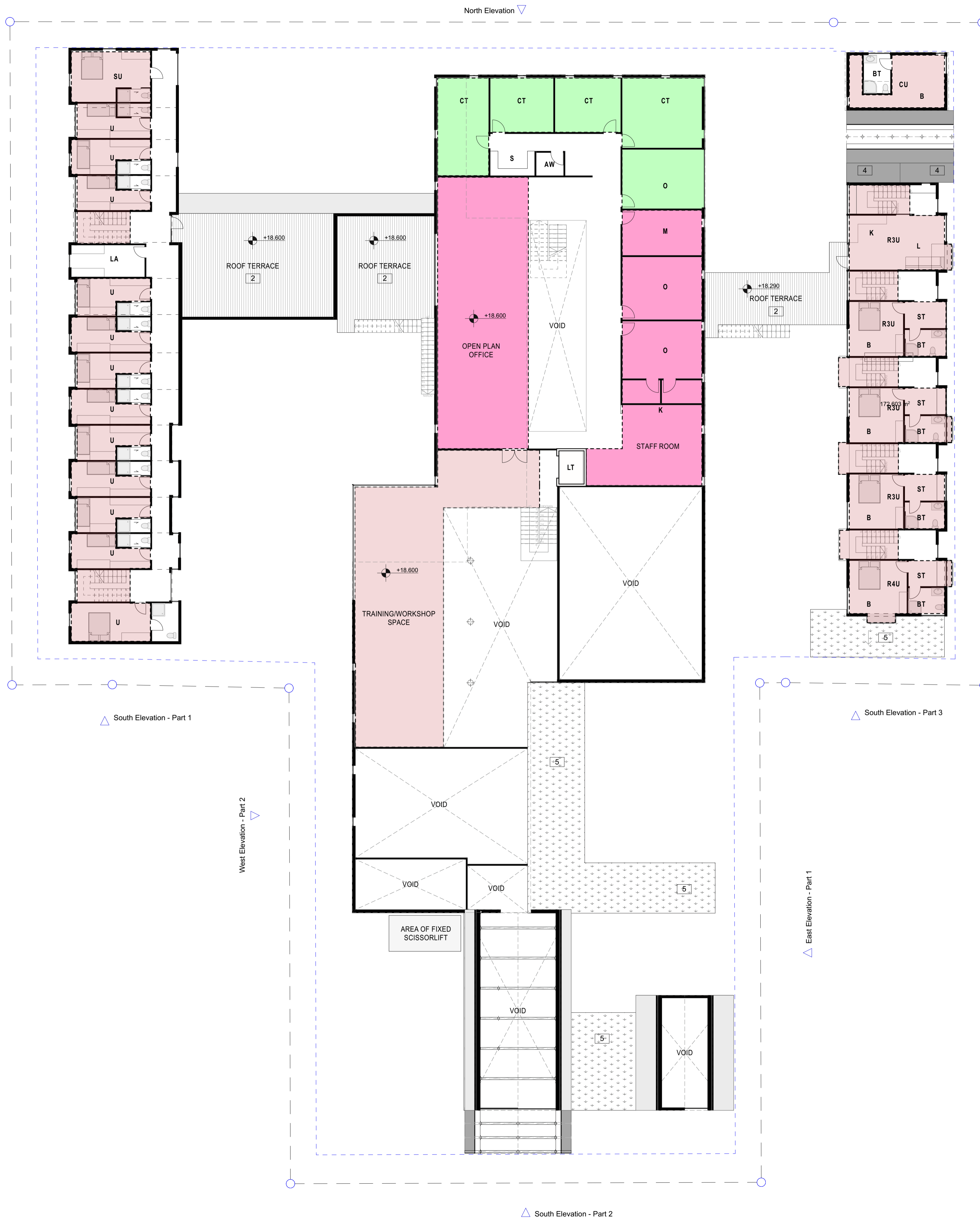
Client  
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Project  
**Te Hurihanga Ō Rangatahi - The Youth Hub**  
 109 Salisbury Street Christchurch New Zealand

Title  
**GFA - Ground Floor**

Scale 1:150 @ A1	Drawn IN/JK	Checked AK/AJ
Project no. 18-008	Drawing no. A901	Rev. 08
Issue Date 11/05/2021	Issued for Resource Consent	





**GROSS FLOOR AREA - FIRST FLOOR**

- Zone of gross floor area
- Residential Units  
170.72m<sup>2</sup>
- On site managers unit  
18.52m<sup>2</sup>
- Residential Activity  
171.59m<sup>2</sup>
- Food and Beverage (cafe)  
Nil
- Training/Workshop Space  
189.95m<sup>2</sup>
- Health Care / Counselling  
109.87m<sup>2</sup>
- Support Services  
234.17m<sup>2</sup>
- Basketball Court  
Nil

**NOTE:**

This drawing is intended to be read in colour



RevID	CHID	Change Name	Date
01			24/02/2021
02	CH-54	Changes carried through from A201	13/10/2020
06	CH-60	Uses clarification	9/04/2021
07	CH-71	Reissued without change markers for clarity	11/05/2021

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**GFA - First Floor**

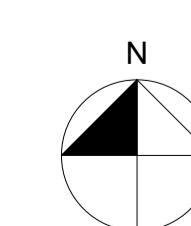
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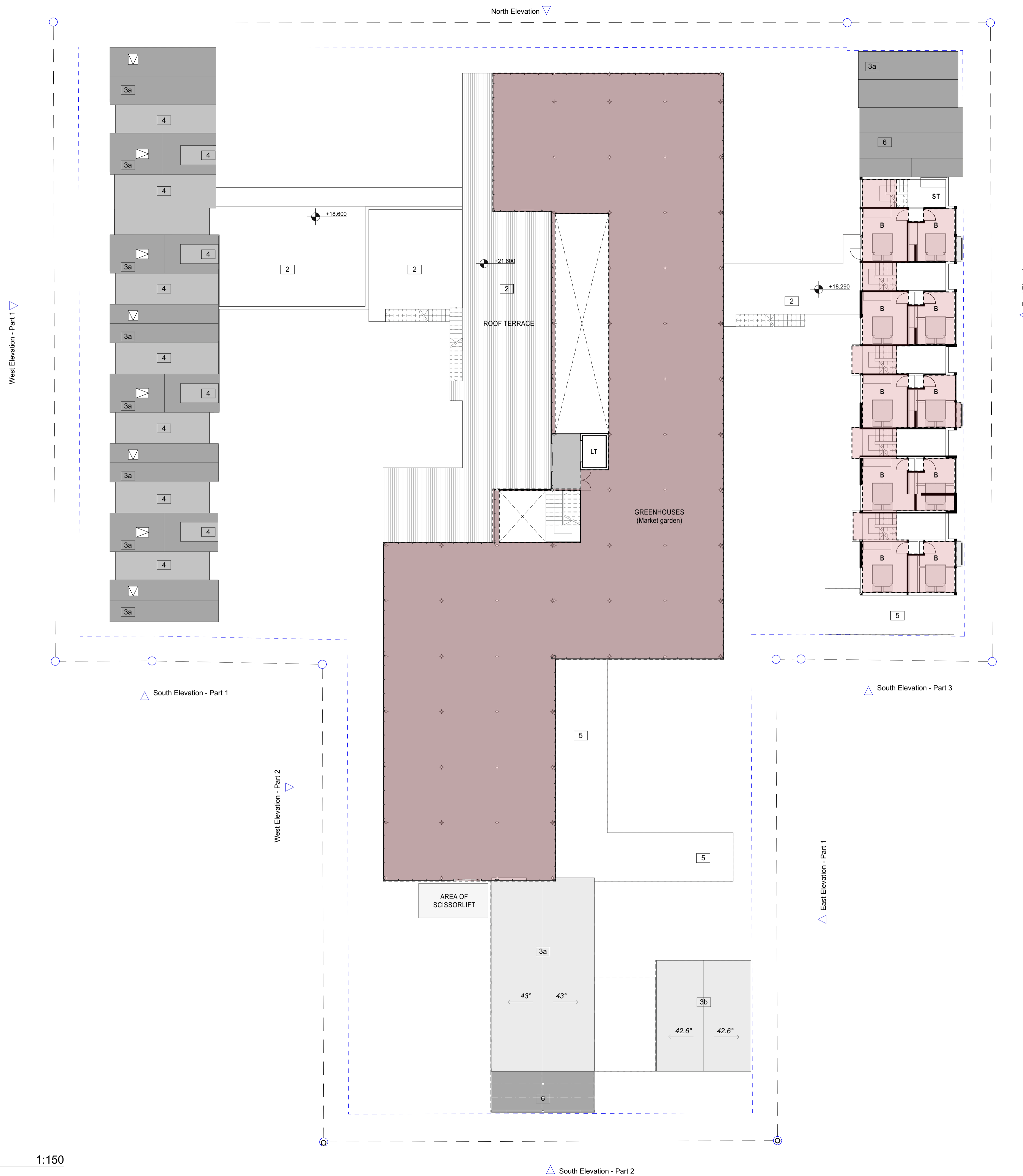
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IN/JK

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AK/AJ

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Project no.	Drawing no.	Rev.
18-008	<b>A902</b>	07





**GROSS FLOOR AREA - SECOND FLOOR**

	Zone of gross floor area
	Residential Units 152.89m <sup>2</sup>
	On site managers unit Nil
	Residential Activity Nil
	Food and Beverage (cafe) Nil
	Training/Workshop Space Nil
	Health Care / Counselling Nil
	Support Services Nil
	Basketball Court Nil
	Farm 787.39m <sup>2</sup>

**NOTE:**

This drawing is intended to be read in colour



RevID	CHID	Change Name	Date
01			24/02/2020
02	CH-01	Rearrangement to single 1200mm clear pedestrian/cycle way, vehicle entrance moved north accordingly and covered entrance roof arrangement adjusted.	22/05/2020
	CH-03	Window visibility updated for clarity	
	CH-04	Surface texture removed for clarity	
03	CH-71	Reissued without change markers for clarity	11/05/2021

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Title  
**GFA - Second Floor**

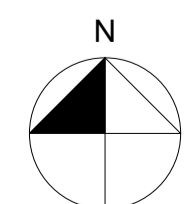
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Project no. 18-008	Drawing no. <b>A903</b>	Rev. 03
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**PUBLIC FLOOR AREA - GROUND FLOOR**

- Zone of public floor area
- Residential Units  
Nil
- On site managers unit  
Nil
- Residential Activity  
Nil
- Food and Beverage (cafe)  
48.95m<sup>2</sup>  
(Outdoor Courtyard = 69.92m<sup>2</sup>)  
Training/Workshop Space  
589.09m<sup>2</sup>
- Health Care / Counselling  
103.80m<sup>2</sup>
- Support Services  
91.34m<sup>2</sup>
- Basketball Court  
134.19m<sup>2</sup>

**NOTE:**

This drawing is intended to be read in colour



RevID	CHD	Change Name	Date
01			24/02/2021
02	CH-53	Changes carried through from A200	13/10/2020
	CH-57	Gate swing reversed	
	CH-65	900mm high fence introduced along road side with gates. Ground surface representation/til updated in plans to show paths over landscaped area.	
03	CH-66	Space name updated	3/05/2021
	CH-67	Emergency egress and services name added for information	
	CH-68	Gate shown for clarity	
04	CH-71	Reissued without change markers for clarity	11/05/2021

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**Public Area - Ground Floor**

Scale  
1:150 @ A1

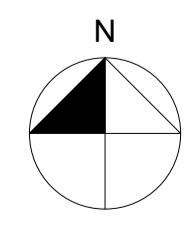
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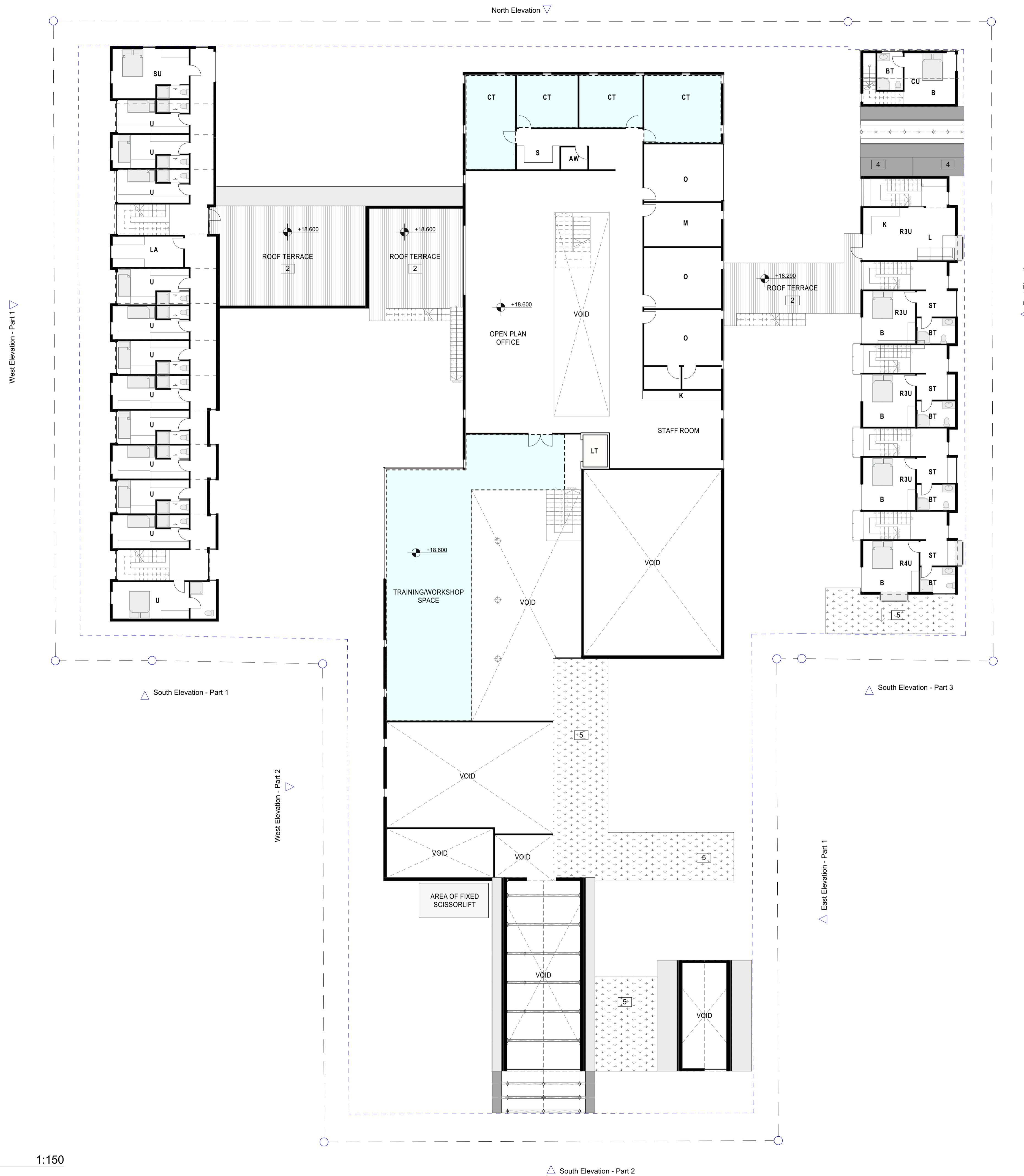
Publish Date  
11/05/2021

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Resource Consent

Project no.	Drawing no.	Rev.
18-008	A904	04







**PUBLIC FLOOR AREA - FIRST FLOOR**

- Zone of public floor area
- Residential Units  
Nil
- On site managers unit  
Nil
- Residential Activity  
Nil
- Food and Beverage (cafe)  
Nil
- Training/Workshop Space  
138.95m<sup>2</sup>
- Health Care / Counselling  
91.61m<sup>2</sup>
- Support Services  
Nil
- Basketball Court  
Nil

**NOTE:**  
This drawing is intended to be read in colour



RevID	CHD	Change Name	Date
01			24/02/2021
02	CH-54	Changes carried through from A201	13/10/2020
03	CH-71	Reissued without change markers for clarity	11/05/2021

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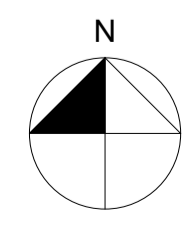
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**Public Area - First Floor**

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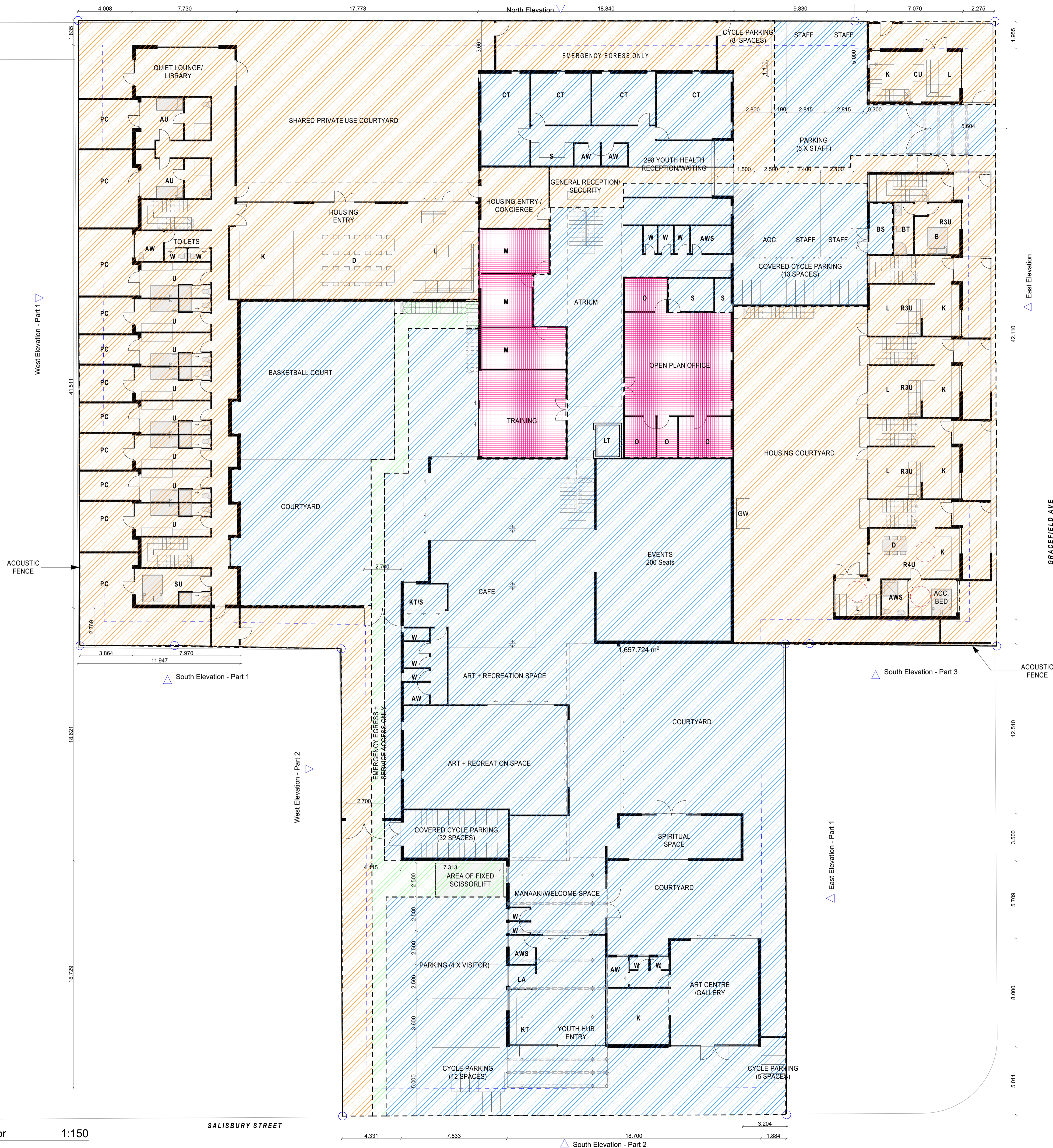
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18-008	<b>A905</b>	03







**USES - GROUND LEVEL**

	Residential	1830m <sup>2</sup>	: 43%
	Market Garden	95m <sup>2</sup>	: 2%
	Other (incl. 185m <sup>2</sup> of offices)	2325m <sup>2</sup>	: 55%
<b>Total:</b>		<b>4250m<sup>2</sup></b>	

**USES - TOTAL AREA ACROSS ALL LEVELS**

	Residential (incl. outdoor area)	2712m <sup>2</sup>	: 41%
	Market Garden	1093m <sup>2</sup>	: 17%
	Other	2812m <sup>2</sup>	: 42%

**NOTE:**

This drawing is intended to be read in colour



RevID	CHD	Change Name	Date
01			24/02/2021
02	CH-50	Sheet added	13/10/2020
	CH-57	Gate swing reversed	
	CH-65	900mm high fence introduced along road side with gates. Ground surface representation (R) updated in plans to show paths over landscaped area.	
03	CH-66	Space name updated	3/05/2021
	CH-67	Emergency egress and services name added for information	
	CH-68	Gate shown for clarity	
04	CH-71	Reissued without change markers for clarity	11/05/2021

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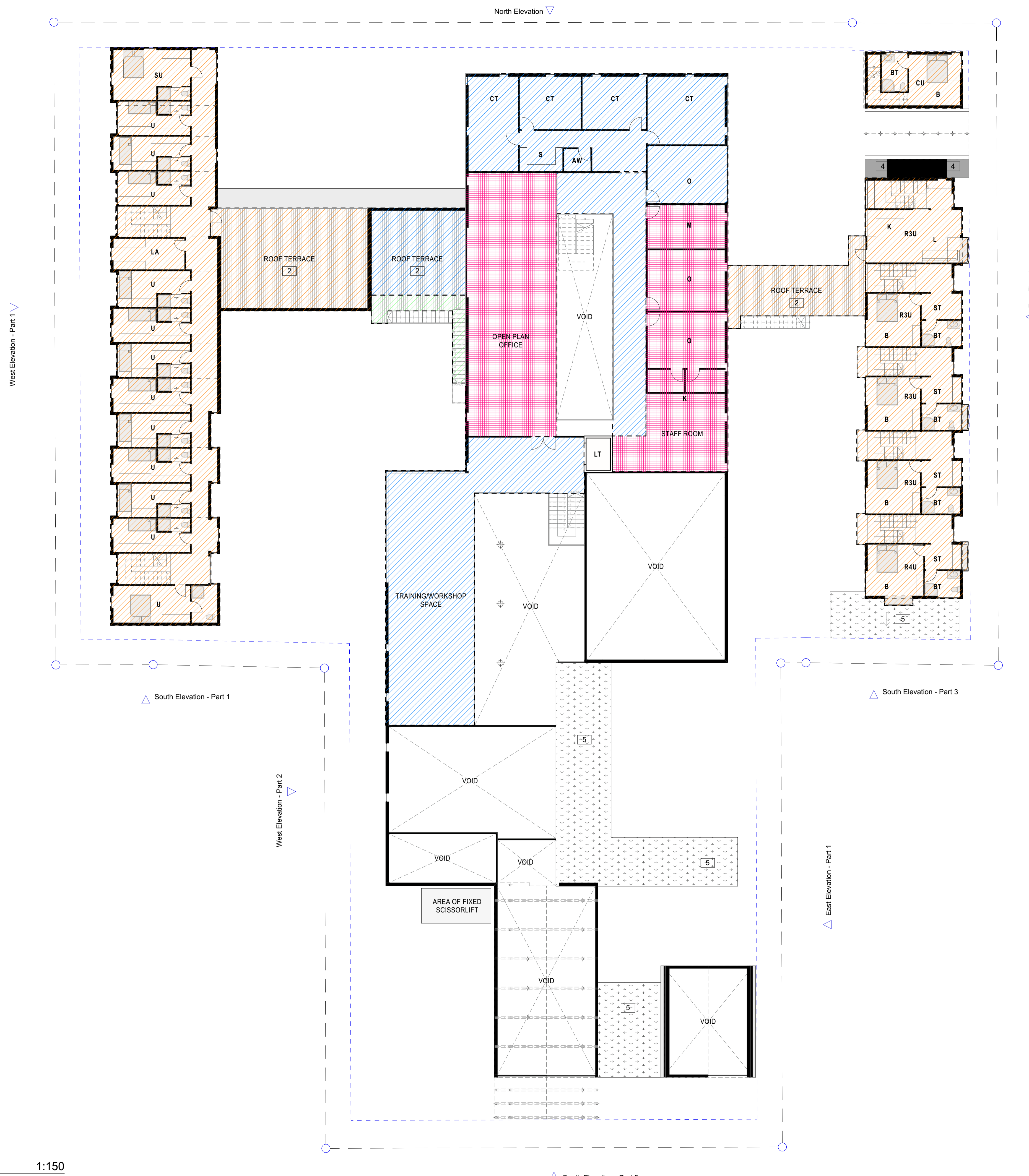
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Title  
**Use Diagram Ground Floor**

Scale  
**1:150 @ A1**  
 Drawn  
 IN/JK  
 Checked  
 AK/AJ  
 Publish Date  
**11/05/2021**  
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Project no.	Drawing no.	Rev.
<b>18-008</b>	<b>A907</b>	<b>04</b>



**USES - FIRST LEVEL**

	Residential	671m <sup>2</sup>	: 57%
	Market Garden	13m <sup>2</sup>	: 1%
	Other (incl. 234m <sup>2</sup> of offices)	488m <sup>2</sup>	: 42%
Total:		1173m <sup>2</sup>	

**USES - TOTAL AREA ACROSS ALL LEVELS**

	Residential (incl. outdoor area)	2712m <sup>2</sup>	: 41%
	Market Garden	1093m <sup>2</sup>	: 17%
	Other	2812m <sup>2</sup>	: 42%

**NOTE:**

This drawing is intended to be read in colour



RevID	CHID	Change Name	Date
01			24/02/2020
02	CH-50	Sheet added	13/10/2020
03	CH-71	Reissued without change markers for clarity	11/05/2021

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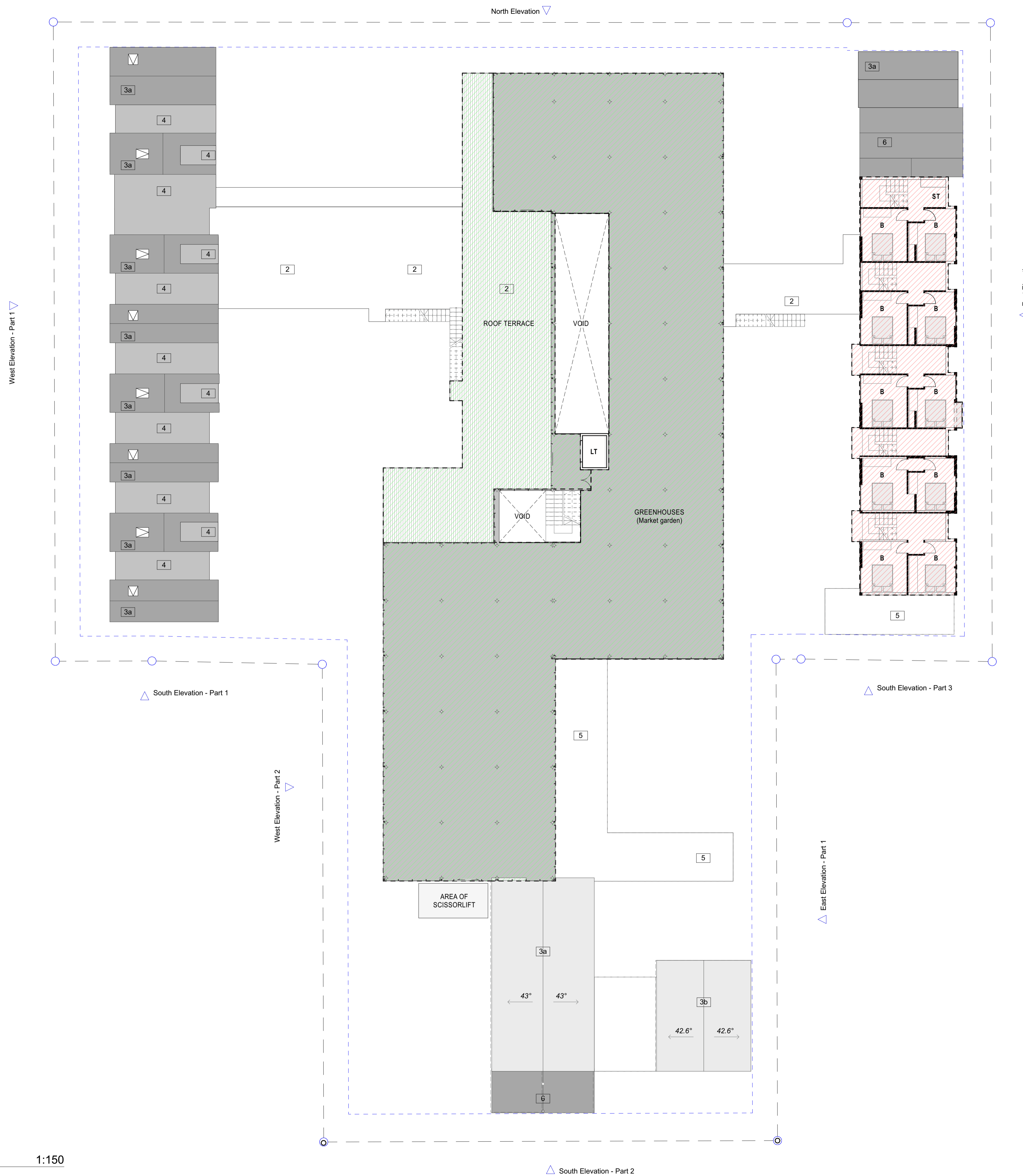
Project: Te Hurihanga Ō Rangatahi - The Youth Hub  
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Title: Use Diagram First Floor

Scale: 1:150 @ A1  
 Drawn: IN/JK  
 Checked: AK/AJ

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Project no.	Drawing no.	Rev.
18-008	A908	03



**USES - SECOND LEVEL**

	Residential	210m <sup>2</sup>	: 18%
	Market Garden	985m <sup>2</sup>	: 82%
	Other	nil.m <sup>2</sup>	
Total:		1195m <sup>2</sup>	

**USES - TOTAL AREA ACROSS ALL LEVELS**

	Residential (incl. outdoor area)	2712m <sup>2</sup>	: 41%
	Market Garden	1093m <sup>2</sup>	: 17%
	Other	2812m <sup>2</sup>	: 42%

**NOTE:**

This drawing is intended to be read in colour



RevID	CHD	Change Name	Date
01			24/02/2020
02	CH-50	Sheet added	13/10/2020
03	CH-71	Reissued without change markers for clarity	11/05/2021

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Title  
**Use Diagram Second Floor**

Scale  
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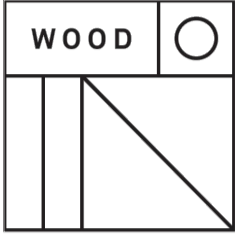
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Project no.	Drawing no.	Rev.
18-008	<b>A909</b>	03

# Youth Hub

## Landscape plans

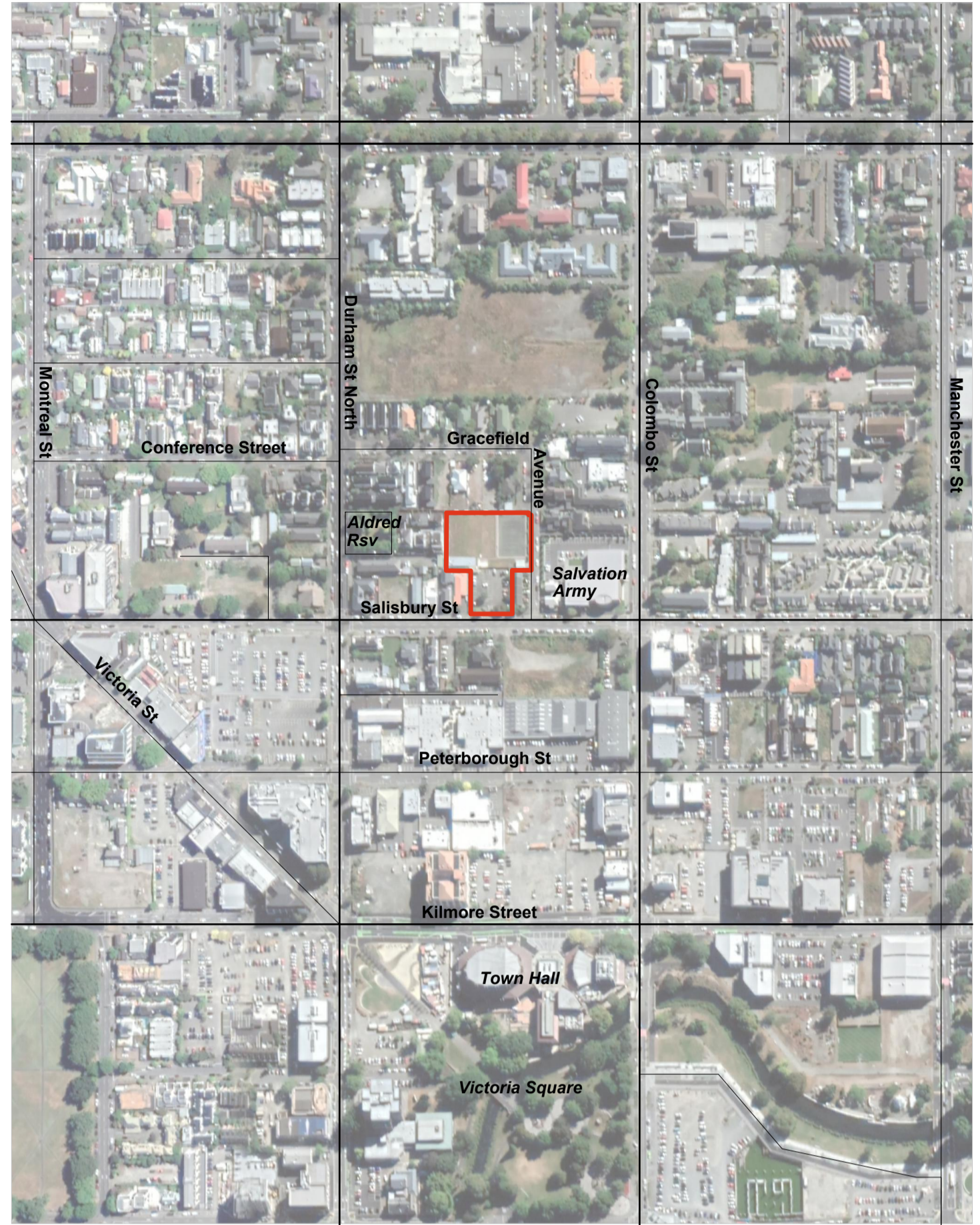
The Youth Hub Trust Te Hurihanga o Rangatahi  
 109 Salisbury Street, Christchurch



Stage/Job # **J0086.11 - YouthHub**  
 Issue Resource Consent  
 Revision No. **11**  
 11/5/2021

### Contents

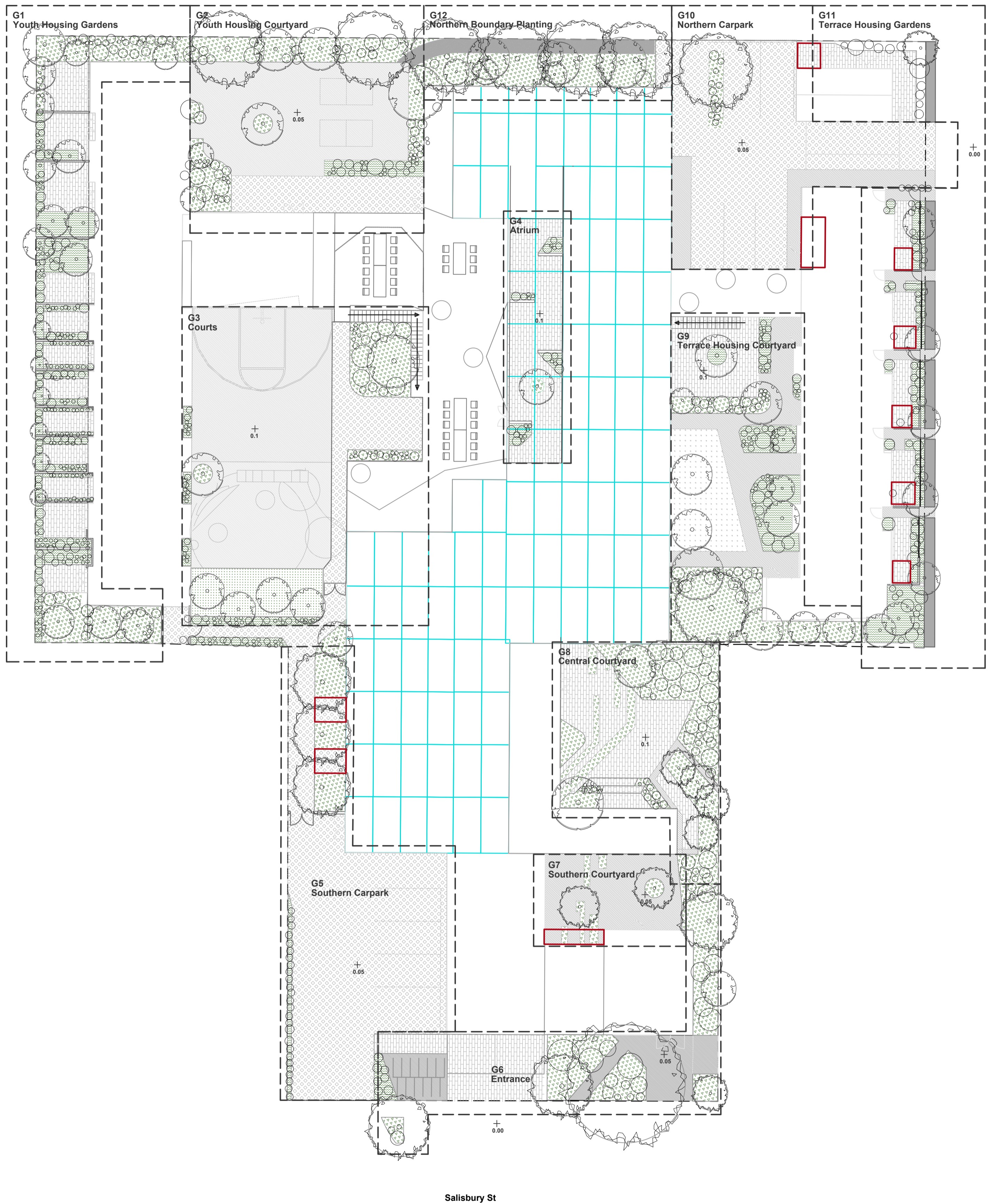
Page 1 -	Cover and Site location
Page 2 -	L102 Concept plan - Ground level
Page 3 -	L103 Concept plan - Terraces level
Page 4 -	Landscape concept plan details
Page 5 -	L201 South Elevation
Page 6 -	L202 East Elevation
Page 7 -	L203 North Elevation
Page 8 -	L204 West Elevation
Page 9 -	L04 Ground level Landscape Uses
Page 10 -	L05 Upper level Landscape Uses
Page 11 -	L06 Combined Landscape Uses



L101 Site location plan

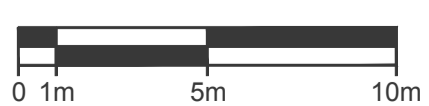
1:4000 @ a2





Not for construction purposes - consent issue

L101 | Concept Plan  
Ground level



Youth Hub  
Landscape plans

The Youth Hub Trust  
Te Hurihanga o Rangatahi

Stage/Job # **J0086.11 - YouthHub**  
Issue **Resource Consent**  
Revision No. **11**

Drawing Date 11/5/2021

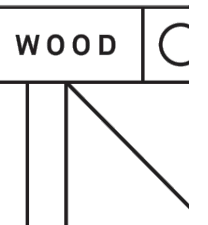
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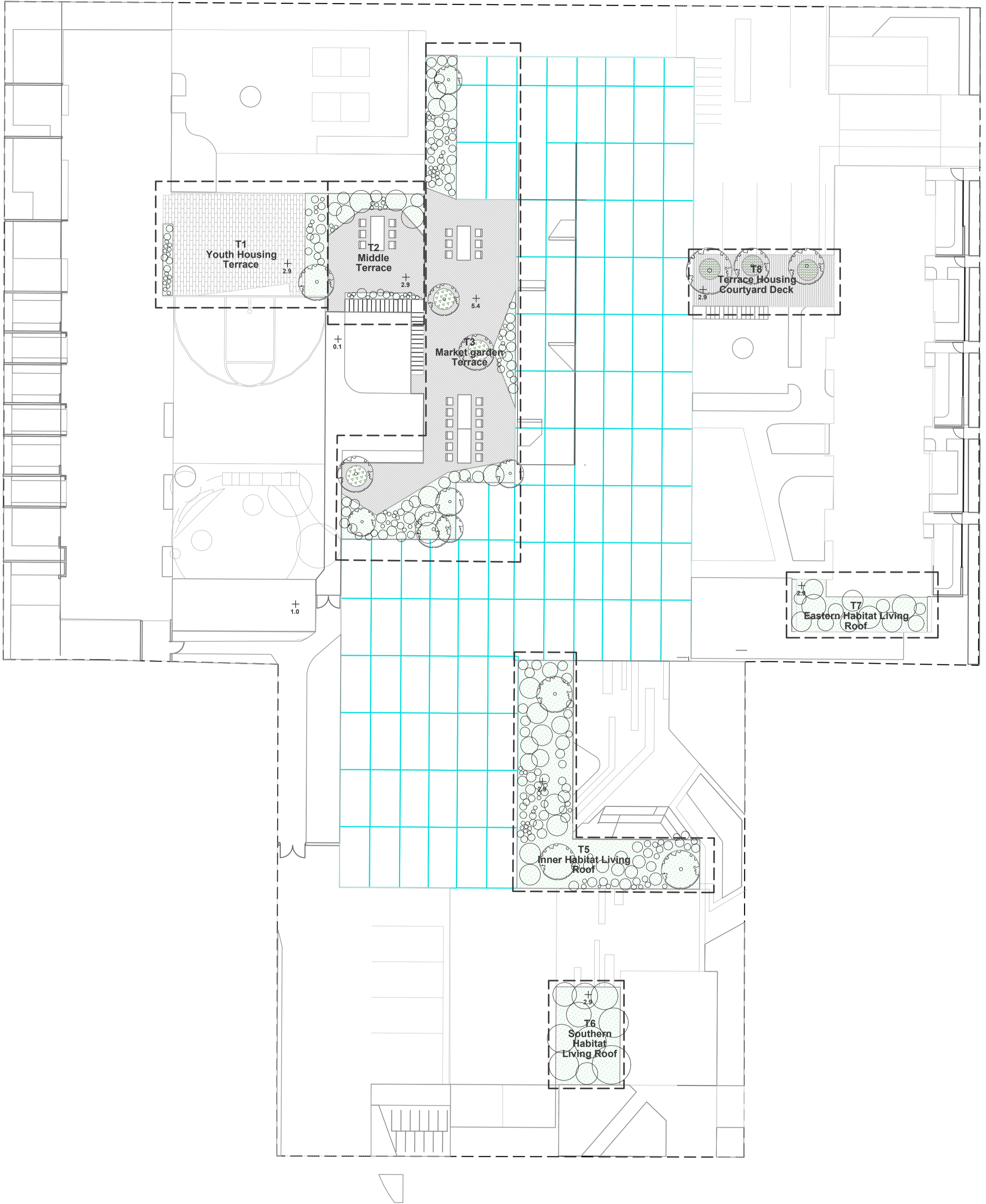
Page format A2

Drawn by Steffan Kraberger

Legend

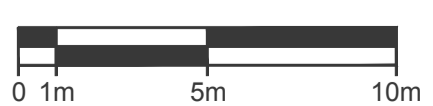
- |                                   |   |
|-----------------------------------|---|
| Low native shrubs                 | Native living roof (invertebrate habitat) |
| Medium native trees/shrubs        | Concrete                                  |
| Mixed exotic/native shrub garden  | Paving                                    |
| Market/Vegetable Garden           | Decking                                   |
| Permeable paving with groundcover | Waste bin storage areas                   |
| Grass                             |   |





Not for construction purposes - consent issue

**L102** | Concept Plan  
Upper levels













**Youth Hub**  
Landscape plans

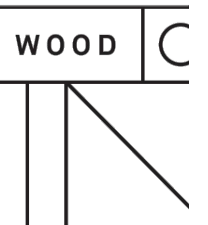
**The Youth Hub Trust**  
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Stage/Job # **J0086.11 - YouthHub**  
Issue **Resource Consent**  
Revision No. **11**

Drawing Date 11/5/2021  
Scale 1 : 200  
Page format A2  
Drawn by Steffan Kraberger

Legend

-  Low native shrubs
-  Native living roof (invertebrate habitat)
-  Medium native trees/shrubs
-  Mixed exotic/native shrub garden
-  Concrete
-  Market/Vegetable Garden
-  Paving
-  Permeable paving with groundcover
-  Decking
-  Grass





# Landscape concept plan details

## G1 Youth Housing Private Gardens

- 1.6m brick nib walls lead out to boundary at the intersection of each adjoining flat, dividing the private gardens.
- Planting within this framework is anchored by a series of small deciduous trees, including edible Fig, Kouosa dogwood, Louis Van Houtte Elm, and Crab apple.
- Underplanted with low care native evergreen shrubs, particularly on north side of courtyard (in shade). Sunny south side of courtyard planted with hardy berry shrubs such as NZ cranberry and blueberries.
- A series of Titoki line the first three houses from the North West corner down the boundary, screening both sides along this western boundary.

## G2 Youth Housing Courtyard

- Acoustic fence along boundary, with dense native shrub plantings behind, using predominantly large (2-4m) small leaved shrubs.
- The two trees directly north of the courtyard are deciduous ash to retain light through winter, with deciduous fruit trees in the center gardens of the courtyard. A large evergreen black beech *Fuscospora solandri* structures the northeast corner and ties into the large trees along the northern boundary of the main building as shown on the plan as G12.

## G3 Courts

- Large non-covered multi-sport space, surfaced using a variety of colored concretes with some wet-pour areas.
- Surrounding pathways and plantings tie the broad open area into the building context, with soft surfacing and a number of leafy green gardens, focusing on a close combination of *Coprosma repens*, *Coprosma lucida*, *Griselinia littoralis*, and *Macropiper excelsum* in shaded areas. At the south of the courts is a grassed area with four Marbleleaf grown to have lifted and interconnected canopies.

## G4 Atrium

- Intimate paved alleyway with low nib wall dividers to create seating and rest areas alongside the general thoroughfare.
- Use of effective indoor exotics and natives, including *Fuschia procumbens* and *Meryta sinclairii*.
- Elevated walkways above to allow alternative thoroughfare and breakout for upper tenancies.

## G5 Southern Carpark

- Permeable paving using 'grass pavers' with creeping groundcovers throughout such as creeping thyme; or alternative permeable paving solution such as Firth Surepave permeable.
- The carpark will be framed with a narrow fenceline planting of climbing NZ Jasmine (*Parsonsia heterophylla*), with *Fuschia procumbens* at the base. Other plantings along the south edge with the small triangular inset planter, and the existing street side planter with use a combination of low native shrubs including *Olearia nummularifolia*, *Teucrium parvifolium*, *Pseudowintera colorata*.

## G6 Entrances

- Retention of large maple and street tree.
- Composed native shrub plantings separate carpark, main entrance and cafe entrance. Use of plants such as *Olearia nummularifolia*, *Teucrium parvifolium* etc.

## G7 Southern courtyard

- An intimate courtyard to service the cafe, with edible plantings and referencing the materials of the central courtyard.

## G8 Inner Courtyard

- The inner courtyard is focused on creating a sense of sanctuary.
- A series of umbrella-form trees (lifted canopies) creating a feeling of soft enclosure, further framed with planter beds of swathed native shrubs ramping up the walls of the courtyard.
- Native groundcover bands set into the pavement further the grounding of the pavement.
- A sunken courtyard to the east is framed under 2-3 umbrella canopy trees, creating a subtle gateway into the sanctuary area.

## G9 Terrace Housing Courtyard

- A series personal small gardens line the east wall against the housing with hardy berry shrubs such as fejoa, NZ cranberry, blueberries, and *Fuschia exortica*.
- A feature *Metrosideros umbellata* (southern rata) sits against the west boundary (central) building, while the large scale of a *Fuscospora solandri* (black beech) in the south-west corner masks the scale of the central building, as well as enclosing the southern edge courtyard.
- A vegetable garden services the terrace housing, centered with two large prunus (a pear and an apple tree).

## G10 Northern carpark

- Permeable paving using 'grass pavers' with creeping groundcovers throughout such as creeping thyme; or alternative permeable paving solution such as Firth Surepave permeable. Surface treatment change to exposed aggregate pathway through entrance archway from Gracefield Avenue.
- Carpark framed with pockets of hardy evergreen natives such as *Olearia* spp., *Psuedopanax laetum*, or *Dodonaea viscosa*, and a feature Miro in the Northwest come in planter and pit planter & climbers on northern fence.
- Exposed aggregate pathway continues across to entrance, and ties into bike sheds on the east and west sides of the

carpark.

Brickwall extends along northern boundary before changing into paling at the main building.

## G11 Terrace Housing gardens

- Feature brick walls lead out to boundary at the intersection of each adjoining flat, defining the terrace character.
- Planting within this framework is anchored by a series of feature trees (e.g. *Olearia paniculata* (Akiraho) & *Sophora microphylla* (Kowhai)). Classical exotic shrubs such as viburnum and azalea's ramp down between these frames to accentuate the terrace house intervals.
- Enclosed courtyard with edge planting and brick wall at North/East Corner, servicing caretaker house.
- Planted berm extends length of interface with Gracefield avenue, planted with low clumping natives such as *Coprosma acerosa*, Hebe 'Emerald Gem', *Euphorbia glauca*, and *Chionochloa rubra*. Paving footpaths connect through berm to footpath.

## G12 Northern boundary of main block

Six large trees screen the main block on the northern boundary embodying the older plain ecosystem of the site. All evergreen natives, these will consist of *Prumnopitys ferruginea* (Miro), *Carpodetus serratus* (Putaputaweta), Black Beech and *Elaeocarpus hookerianus* (Pokaka). While these trees are large, they will grow tall with a relatively narrow (5-6m width) when in confined spaces. Pruning access is relatively easy given street side access, and the importance of screening the building is seen here as more critical than avoiding a small amount of opex maintenance costs.

## T1 Youth Housing Terrace

- An intimate terrace servicing the private courtyard and residence. Raised living roof garden bed edges on the eastern side provide privacy, while tables and washing line on the west provide function. A movie projector is setup against the south wall.

## T2 and T3 Market Garden Terraces

- A close combination of habitat living roofs with roof top seating and socializing areas set amongst the glass houses

## T4 Native habitat living roof

- Livingroof build-up system with planting and structures to create and protect a gecko and invertebrates habitat.

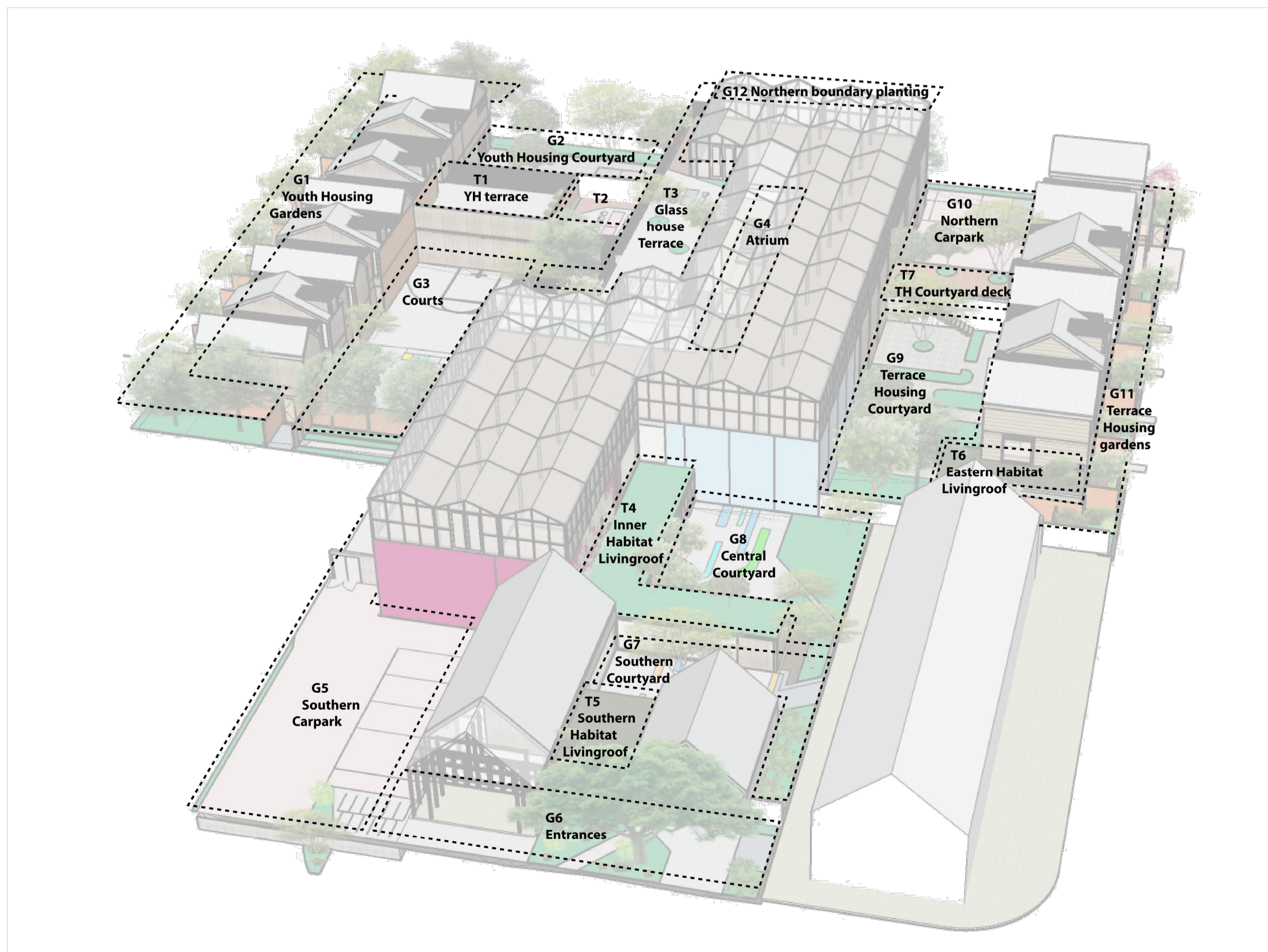
## T5 and T6 Native habitat living roof (Large plantings)

- Testing the capacity of the livingroof build-up system to encourage large native plantings as a feature for the entrances, while creating habitat.

## T7 Terrace Housing terrace

- Small social dwelling space, extending on Terrace Housing Courtyard while creating a separate sense of space. Focuses on a sense sanctuary 'up among the tree tops'.

- Note all native trees (approximately 35+) as shown on concept plans must not be less than 1.5 metres high at the time of planting



L501 Concept zones diagram

## Planting schedule - Page 1

### G1 - Youth Housing Gardens

Species	Common name	Quantity	Planted Pot size	3 year height/width	6 year height/width	Mature height/width
Cornus kousa	Korean dogwood	6	10L (1m)	2/1m	4/1.5m	9/4m
Ulmus procer 'Louis van Houtte'	Golden elm	6	25L (1.5m)	2/1m	4/1.5m	9/6m
Malus 'Jack Humm'	Fruiting crabapple	6	10L (1m)	2/1m	3/3m	4/3m
Anemone sylvestris	Snowdrop anemone	20	PB1 (0.1m)	1/0.5m	1/0.5m	1/0.5m
Pittosporum 'Berger'	Pitto ball	40	PB3 (0.5m)	1/1m	1/1m	1/1m
Libertia ixiodes	Libertia	50	PB1 (0.25m)	0.5/0.1m	0.5/0.1m	0.5/0.1m
Coprosma repens	Taupata	25	PB3 (0.5m)	1m/1.5m	1m/1.5m	1m/1.5m
Olearia cheesemanii	Daisy bush	20	PB3 (0.5m)	1m/1m	2/2m	2/2m
Olearia nummulariifolia	Hard-leaved tree daisy	20	PB3 (0.5m)	1m/1m	2/3m	2/3m
Viburnum opulus	Snow ball bush	15	PB3 (0.5m)	1m/1m	2/2m	2/2m
Alectryon Excelsus	Titoki	5	25L (1.5m)	2/0.5m	3/1m	5/3m
<b>Total</b>		<b>213</b>				

### G2 - Youth Housing Courtyard

Species	Common name	Quantity	Planted Pot size	3 year height/width	6 year height/width	Mature height/width
Fraxinus velutina	Arizona ash	2	10L (2m)	2/1m	4/2m	9/6m
Olearia avicenniaefolia	Mountain ake-ake	3	PB3 (0.5m)	2m/1m	3/3m	4/3m
Olearia nummulariifolia	Hard-leaved tree daisy	10	PB3 (0.5m)	1m/1m	2/3m	2/3m
Coprosma viriscens		15	PB3 (0.5m)	1m/0.5m	2/1m	3/1m
Raukaua anomalus		12	PB3 (0.5m)	1m/1m	1/1m	1m/1m
Olearia cheesemanii	Daisy bush	15	PB3 (0.5m)	1m/1m	2/2m	2/2m
Fuschia procumbens	creeping fuschia	15	PB1 (0.25m)	0.1m/1m	0.1/2m	0.1m/2m
Apple 'belle de boskoop'	Apple belle de boskoop	1	PB3 (0.5m)	2m/1m	3/1.5m	5/4m
<b>Total</b>		<b>73</b>				

### G3 - Courts

Species	Common name	Quantity	Planted Pot size	3 year height/width	6 year height/width	Mature height/width
Coprosma repens	Taupata	15	PB3 (0.5m)	1m/1.5m	1/1.5m	1m/1.5m
Grisselinia littoralis 'ardmore emerald'	Kapuka	15	PB3 (0.5m)	2m/1m	3/1.5m	4/2m
Olearia nummulariifolia	Hard-leaved tree daisy	10	PB3 (0.5m)	1m/1m	2/3m	2/3m
Macropiper excelsum	Kawakawa	15	PB3 (0.5m)	1m/0.5m	2/1m	4/4m
Coprosma lucida	Shining Karamu	15	PB3 (0.5m)	2m/1m	2/2m	5m/2m
Carpodetus serratus	Putaputaweta	4	25L (2m)	2/1m	6/3m	10/4m
<b>Total</b>		<b>74</b>				

### G4 - Atrium

Species	Common name	Quantity	Planted Pot size	3 year height/width	6 year height/width	Mature height/width
Meryta sinclairii	Puka	10	PB3 (0.5m)	2m/1m	3m/2m	5m/5m
Fuschia procumbens	creeping fuschia	35	PB1 (0.25m)	0.1m/1m	0.1/2m	0.1m/2m
<b>Total</b>		<b>45</b>				

### G5 - Southern Carpark

Species	Common name	Quantity	Planted Pot size	3 year height/width	6 year height/width	Mature height/width
Meryta sinclairii	Puka	10	PB3 (0.5m)	2m/1m	3m/2m	5m/5m
Fuschia procumbens	creeping fuschia	35	PB1 (0.25m)	0.1m/1m	0.1/2m	0.1m/2m
<b>Total</b>		<b>45</b>				

### G6 - Entrances

Species	Common name	Quantity	Planted Pot size	3 year height/width	6 year height/width	Mature height/width
Olearia nummulariifolia	Hard-leaved tree daisy	25	PB3 (0.5m)	1m/1m	2/3m	2/3m
Teucrium parvifolium		25	PB3 (0.5m)	1m/1m	1/1m	1m/1m
Libertia peregrinans	NZ Iris	15	2L (0.5m)	1m/1m	1/1m	1m/1m
Libertia ixiodes	Libertia	20	PB1 (0.25m)	0.5/0.1m	0.5/0.1m	0.5/0.1m
Scleranthus Biflorus	NZ Cushion plant	15	2L (0.5m)			
Fuschia procumbens	creeping fuschia	10	PB1 (0.25m)	0.1m/1m	0.1/2m	0.1m/2m
Acaena anserinifolia	NZ bidibidi	10	2L (0.5m)	0.2/0.2m	0.2/0.2m	0.2/0.2m
Muehlenbeckia axillaris	Creeping muehlenbeckia	10	PB1 (0.25m)	0.2/0.2m	0.2/0.2m	0.2/0.2m
Anamanthele lessoniana	Gossamer Grass	6	RX90	2m/1m	2m/1m	2m/1m
Chionochloa rubra	Red Tussock	12	2L (0.5m)	1.5m/0.5m	1.5m/0.5m	1.5m/0.5m
Chionochloa flavicans	Miniature toitoi	5	2L (0.5m)	1.5m/0.5m	1.5m/0.5m	1.5m/0.5m
Carex testacea	Carex testacea	12	RX90	1m/0.5m	1m/0.5m	1m/0.5m
Carex Coman 'Bronze'	Carex Coman 'Bronze'	5	RX90	0.3m/0.3m	0.3m/0.3m	0.3m/0.3m
Carex Coman 'Frosted tips'	Carex Coman 'Frosted tips'	5	RX90	0.3m/0.3m	0.3m/0.3m	0.3m/0.3m
Brachyglottis monroi	Monro's daisy	2	PB3 (0.5m)	1m/1m	2/3m	2/3m
Pseudowintera colorata	Horipito	2	PB3 (0.5m)	1m/1m	2/1m	3/2m
<b>Total</b>		<b>179</b>				

### G7 - Southern Courtyard

Species	Common name	Quantity	Planted Pot size	3 year height/width	6 year height/width	Mature height/width
Cornus kousa	Korean dogwood	1	10L (1m)	2/1m	4/1.5m	9/4m
Ulmus procer 'Louis van Houtte'	Golden elm	1	25L (1.5m)	2/1m	4/1.5m	9/6m
<b>Total</b>		<b>2</b>				

### G8 - Inner Courtyard

Species	Common name	Quantity	Planted Pot size	3 year height/width	6 year height/width	Mature height/width
Olearia nummulariifolia	Hard-leaved tree daisy	10	PB3 (0.5m)	1m/1m	2/3m	2/3m
Teucrium parvifolium		25	PB3 (0.5m)	1m/1m	1/1m	1m/1m
Muehlenbeckia axillaris	Creeping muehlenbeckia	10	PB1 (0.25m)	0.2/0.2m	0.2/0.2m	0.2/0.2m
Brachyglottis monroi	Monro's daisy	2	PB3 (0.5m)	1m/1m	2/3m	2/3m
Pseudowintera colorata	Horipito	2	PB3 (0.5m)	1m/1m	2/1m	3/2m
Heliohebe hulkeana		15	PB3 (0.5m)	1m/1m	2/1m	3/2m
Olearia avicenniaefolia	Mountain ake-ake	5	PB3 (0.5m)	2m/1m	3/3m	4/3m
Leptinella diocha	creeping fuschia	30	PB1 (0.25m)	0.1m/1m	0.1/2m	0.1m/2m
Sophora microphylla	Kowhai	2	25L (2m)	2/1m	3/1.5m	7/4m
<b>Total</b>		<b>101</b>				

## Planting schedule - Page 2

### G9 - Terrace housing Courtyard

Species	Common name	Quantity	Planted Pot size	3 year height/width	6 year height/width	Mature height/width
Acca sellowiana	Fejoa	10	PB8 (1m)	1m/1m	3/3m	3/3m
Ugni molinae	NZ Cranberry	25	PB3 (0.5m)	1m/1m	1/1m	1m/1m
Fuscospora solandri	Black beech	1	25L (2m)	2/1m	4/2m	9/6m
Metrosideros umbellata	Southern rata	1	25L (2m)	1.5/1m	2/1m	15/6m
Blueberry		5	PB3 (0.5m)	1m/1m	1/1m	1m/1m
Brachyglottis monroi	Monro's daisy	10	PB3 (0.5m)	1m/1m	2/3m	2/3m
Pseudowintera colorata	Horipito	15	PB3 (0.5m)	1m/1m	2/1m	3/2m
Heliohebe hulkeana		10	PB3 (0.5m)	1m/1m	2/1m	3/2m
Apple 'belle de boskoop'	Apple belle de boskoop	1	PB8 (1m)	2m/1m	3/1.5m	5/4m
Olearia odorata	Scented daisy	5	PB8 (1m)	1m/1m	2/3m	2/3m
Pear 'Beurre Bosc'		1	PB8 (1m)	2m/1m	3/1.5m	6/3m
<b>84</b>						

### G10 - Northern Carpark

Species	Common name	Quantity	Planted Pot size	3 year height/width	6 year height/width	Mature height/width
Olearia avicenniaefolia	Mountain ake-ake	3	PB3 (0.5m)	2m/1m	3/3m	4/3m
Dedonia viscosa	Akeake	3	PB3 (0.5m)	2m/1m	3/3m	4/3m
Pseudopanax laetus	Five finger	5	PB3 (0.5m)	2m/1m	4/3m	5/3m
Lophomyrtus obcordata	Rohuhu (NZ Myrtle)	3	PB3 (0.5m)	1m/1m	2/1m	3/2m
Olearia odorata	Scented daisy	3	PB8 (1m)	1m/1m	2/3m	2/3m
Fuscospora solandri	Black beech	1	25L (2m)	2/1m	4/2m	9/6m
<b>18</b>						

### G11 - Terrace Housing gardens

Species	Common name	Quantity	Planted Pot size	3 year height/width	6 year height/width	Mature height/width
Sophora microphylla	Kowhai	5	25L (2m)	2/1m	3/1.5m	7/4m
Olearia paniculata	Akiraho - Golden Ake Ake	5	PB3 (0.5m)	2m/1m	4/3m	5/3m
Anemone sylvestris	Snowdrop anemone	30	PB1 (0.1m)	1/0.5m	1/0.5m	1/0.5m
Viburnum opulus	Snow ball bush	10	PB3 (0.5m)	1m/1m	2/2m	2/2m
Pittosporum 'Berger'	Pitto ball	50	PB3 (0.5m)	1m/1m	1m/1m	1m/1m
Nandina domestica	Heavenly bamboo	30	PB3 (0.5m)	1m/1m	1m/1m	1m/1m
Lavandula dentata	French Lavender	30	PB1 (0.1m)	1/0.5m	1/0.5m	1/0.5m
Heuchera	Coral Bells	20	PB1 (0.1m)	0.5/0.5m	0.5/0.5m	0.5/0.5m
Hebe 'Emerald Gem'	Hebe 'Emerald Gem'	30	PB1 (0.1m)	1m/1m	1m/1m	1m/1m
Olearia adenocarpa	-	15	PB1 (0.25m)	0.8m/1m	0.8m/1m	0.8m/1m
Heliohebe hulkeana	<b>NZ lilac</b>	50	PB3 (0.5m)	1m/1m	1m/2m	1m/2m
Euphorbia glauca	-	50	PB3 (0.5m)	1m/1m	1m/1m	1m/1m
Coprosma acerosa	Sand coprosma	40	PB1 (0.1m)	0.5/1m	0.5/1m	0.5/1m
Chionochloa rubra	Red tussock		PB3 (0.5m)	1m/1m	1m/1m	1m/1m
Olearia nummulariifolia	Hard-leaved tree daisy	10	PB3 (0.5m)	1m/1m	2/3m	2/3m
<b>375</b>						

### G12 - Northern boundary of main block

Species	Common name	Quantity	Planted Pot size	3 year height/width	6 year height/width	Mature height/width
Fuscospora solandri	Black beech	1	25L (2m)	2/1m	4/2m	9/6m
Carpodetus serratus	Putaputaweta (Marbleleaf)	2	25L (2m)	2/1m	6/3m	10/4m
Prumnopitys ferruginea	Miro	2	25L (2m)	2/1m	2/2m	18/7m
Elaeocarpus hookerianus	Pokaka	1	25L (2m)	2/1m	6/3m	12/8m
Olearia nummulariifolia	Hard-leaved tree daisy	10	PB3 (0.5m)	1m/1m	2/3m	2/3m
Teucrium parvifolium		10	PB3 (0.5m)	1m/1m	1/1m	1m/1m
<b>26</b>						

### T1 - Youth Hub terrace

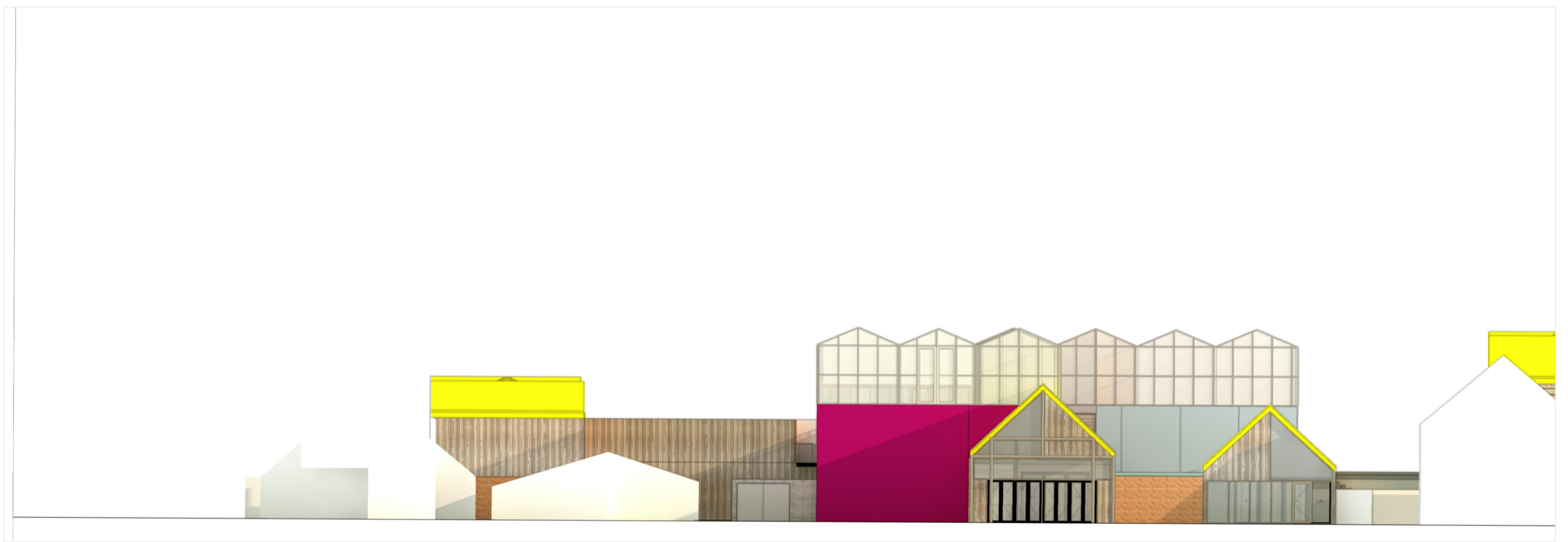
Species	Common name	Quantity	Planted Pot size	3 year height/width	6 year height/width	Mature height/width
Heliohebe hulkeana		10	PB3 (0.5m)	1m/1m	2/1m	3/2m
Pseudopanax laetus	Five finger	5	PB3 (0.5m)	2m/1m	4/3m	5/3m
Muehlenbeckia axillaris	Creeping muehlenbeckia	20	PB1 (0.25m)	0.2/0.2m	0.2/0.2m	0.2/0.2m
Teucrium parvifolium		10	PB3 (0.5m)	1m/1m	1/1m	1m/1m
<b>45</b>						

### T4, T5, T6 - Living roofs

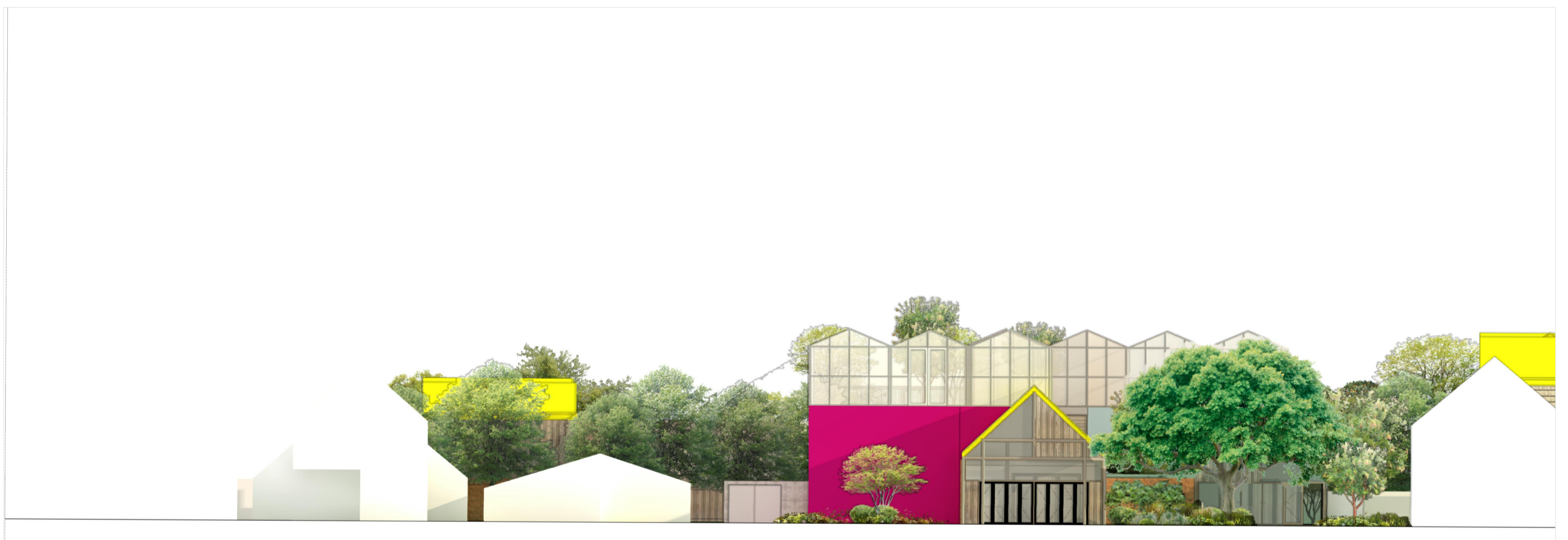
Species	Common name	Quantity	Planted Pot size	3 year height/width	6 year height/width	Mature height/width
Celmisia mackau	Banks Peninsula Daisy	30	PB1 (0.25m)	0.3/0.4m	0.3/0.4m	0.3/0.4m
Astelia fragrans	Kakaha	10	PB1 (0.25m)	1/1.5m	1/1.5m	1/1.5m
Libertia ixioides	NZ Iris	50	PB1 (0.25m)	0.4m/0.2m	0.4m/0.2m	0.4m/0.2m
Poa colensoi	Blue tussock	60	PB1 (0.25m)	0.3/0.3m	0.3/0.3m	0.3/0.3m
Carex comans	Maurea	20	PB1 (0.25m)	0.3/0.3m	0.3/0.3m	0.3/0.3m
Poa cita	Poa	80	PB1 (0.25m)	0.4m/1m	0.4m/1m	0.4m/1m
Anemanthele lessoniana	Gossamer Grass	80	PB1 (0.25m)	0.8m/1m	0.8m/1m	0.8m/1m
Meliclytus alpinus	Porcupine bush	40	PB1 (0.25m)	1m/0.5m	1m/0.5m	1m/0.5m
Olearia adenocarpa	-	15	PB1 (0.25m)	0.8m/1m	0.8m/1m	0.8m/1m
Helichrysum lanceolatum	Niniaio	10	PB1 (0.25m)	1.5/1m	1.5/1m	1.5/1m
Leptinella filiformis		20	PB1 (0.25m)	0.01/1m	0.01/1m	0.01/1m
Pimelea oreophila		15	PB1 (0.25m)	0.15/1m	0.15/1m	0.15/1m
Muehlenbeckia axillaris	Pohuehue	80	PB1 (0.25m)	0.15/1m	0.15/1m	0.15/1m
Parsonsia capsularis	Kaiwhiria	20	PB1 (0.25m)	0.2/2m	0.2/2m	0.2/2m
Clematis marata	-	10	PB1 (0.25m)	0.8/2m	0.8/2m	0.8/2m
Raoulia hookeri	Scabweed	30	PB1 (0.25m)	0.01/0.3m	0.01/0.3m	0.01/0.3m
Raoulia australis	Scabweed	40	PB1 (0.25m)	0.01/1m	0.01/1m	0.01/1m
Carmichaelia kirkii	climbing broom, Kirk's broom	10	PB1 (0.25m)	1.5/2m	1.5/2m	1.5/2m
Pittosporum anomalum		15	PB1 (0.25m)	1.2/1m	1.2/1m	1.2/1m
Acaena buchananii	Piripiri	20	PB1 (0.25m)	0.01/1m	0.01/1m	0.01/1m
Acaena anserinifolia	Hutiwai	20	PB1 (0.25m)	0.15/1m	0.15/1m	0.15/1m
Scandia geniculata		10	PB1 (0.25m)	2/1m	2/1m	2/1m
Heliohebe lavaudiana	Banks Peninsula sun hebe	50	PB1 (0.25m)	0.25/0.25m	0.25/0.25m	0.25/0.25m
<b>735</b>						

### T7 - TH Courtyard deck

Species	Common name	Quantity	Planted Pot size	3 year height/width	6 year height/width	Mature height/width
Sophora microphylla	Kowhai	2	25L (2m)	2/1m	3/1.5m	7/4m
Muehlenbeckia axillaris	Creeping muehlenbeckia	20	PB1 (0.25m)	0.2/0.2m	0.2/0.2m	0.2/0.2m
<b>22</b>						

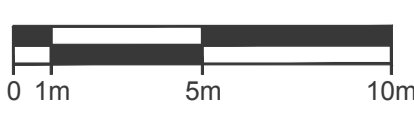

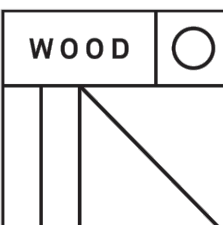


L201.1 South Elevation - Proposed Buildings



L201.2 South Elevation - Proposed Buildings & Landscape

Not for construction purposes - consent issue

<p><b>L201</b>   South Elevation Salisbury St</p>  	<p><b>Youth Hub</b> Landscape plans</p> <hr/> <p><b>The Youth Hub Trust</b> <b>Te Hurihanga ō Rangatahi</b></p>	<p>Stage/Job # <b>J0086.11 - YouthHub</b> Issue <b>Resource Consent</b> Revision No. <b>11</b></p> <hr/> <p>Drawing Date 11/5/2021 Scale 1 : 200 Page format A2 Drawn by Steffan Kraberger</p>	<p>Legend</p>  <p>WOOD ○</p>
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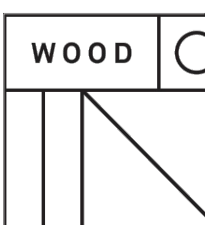


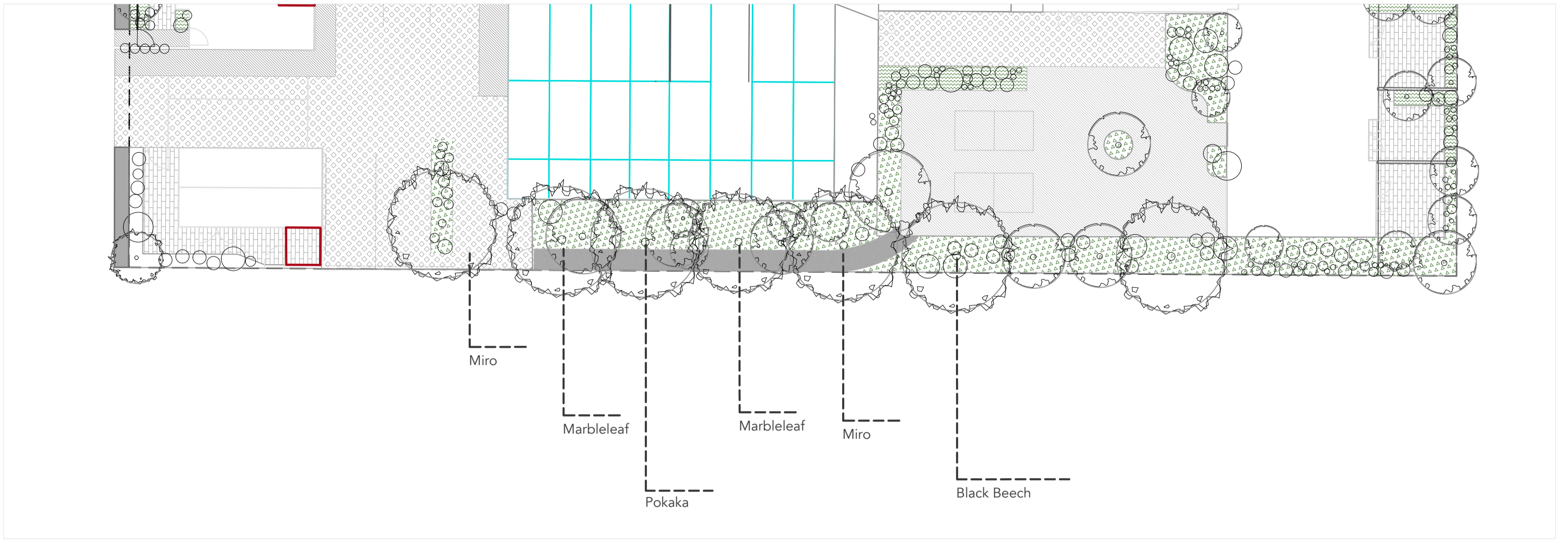
L202.1 East Elevation - Buildings only




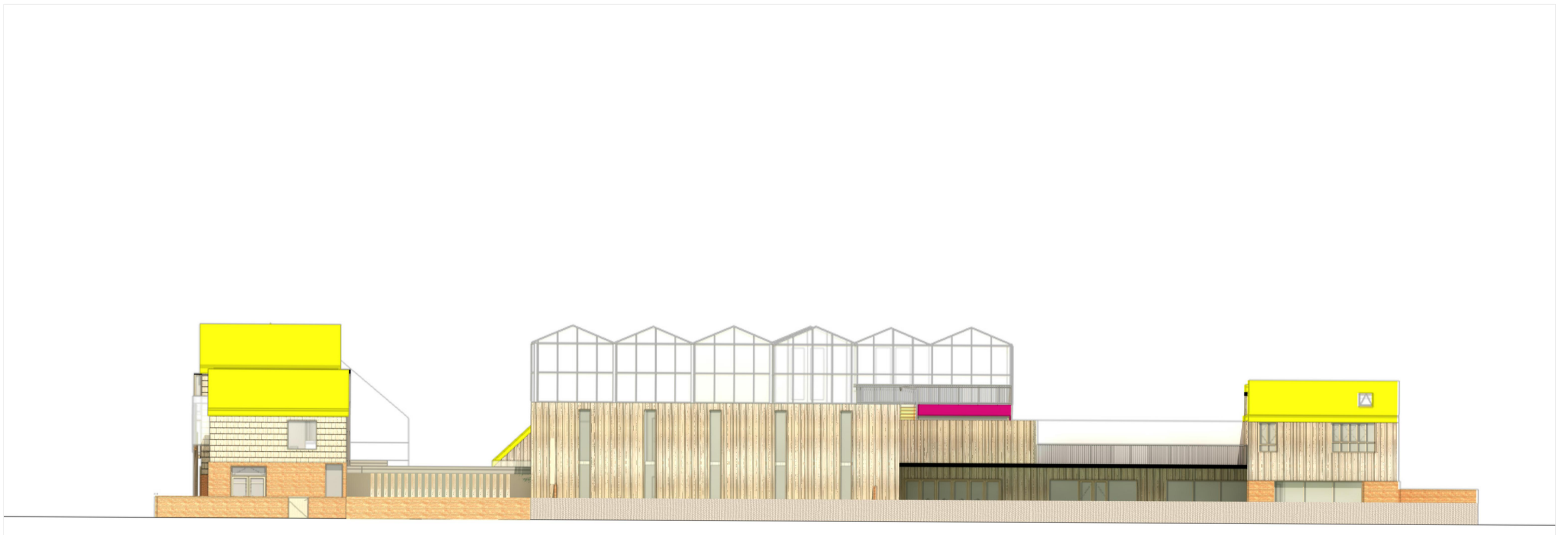
L202.2 East Elevation - Landscape and Buildings

Not for construction purposes - consent issue

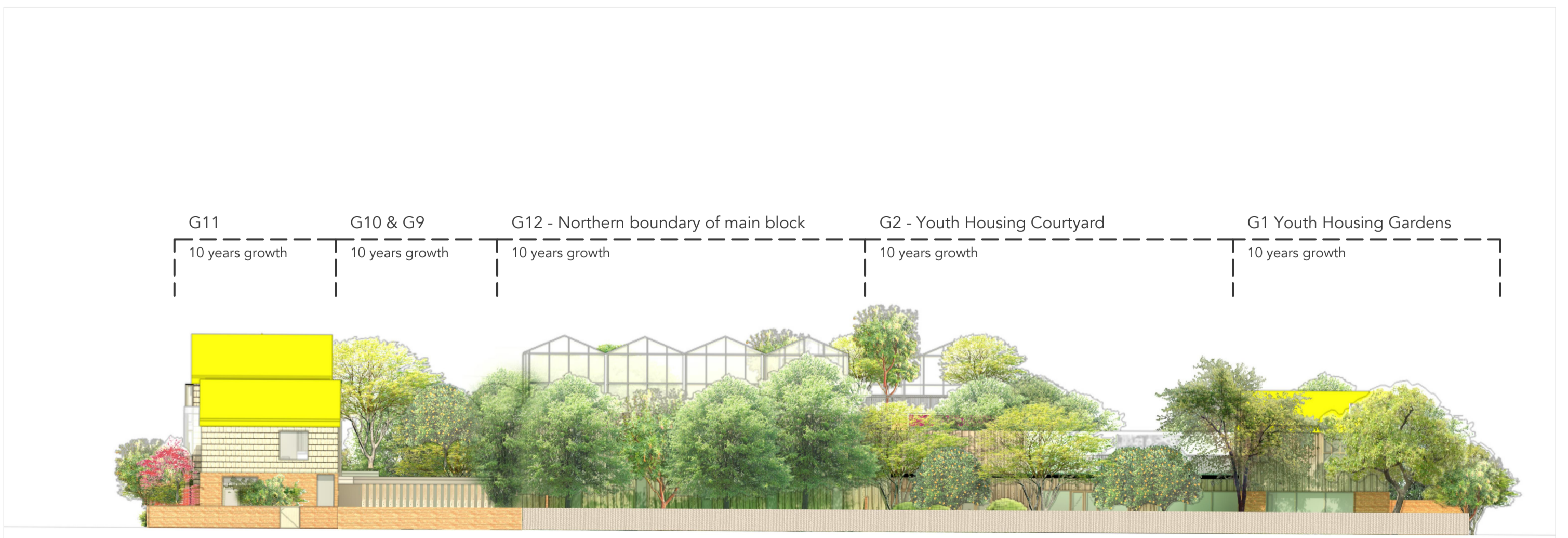
<p><b>L202</b>   East Elevation Gracefield Av</p>  	<p><b>Youth Hub</b> Landscape plans</p> <hr/> <p><b>The Youth Hub Trust</b> <b>Te Hurihanga ō Rangatahi</b></p>	<p>Stage/Job # <b>J0086.11 - YouthHub</b> Issue <b>Resource Consent</b> Revision No. <b>11</b></p> <hr/> <p>Drawing Date 11/5/2021 Scale 1 : 200 Page format A2 Drawn by Steffan Kraberger</p>	<p>Legend</p> 
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North Edge 1:200 Feature Tree Plan 



L203.1 North Elevation - Buildings only



L203.2 North Elevation - Landscape and Buildings

Not for construction purposes - consent issue

**L203** | North Elevation  
Gracefield Av Nrth

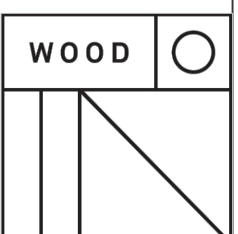
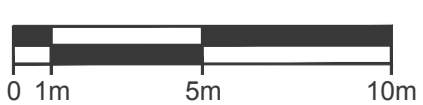
**Youth Hub**  
Landscape plans

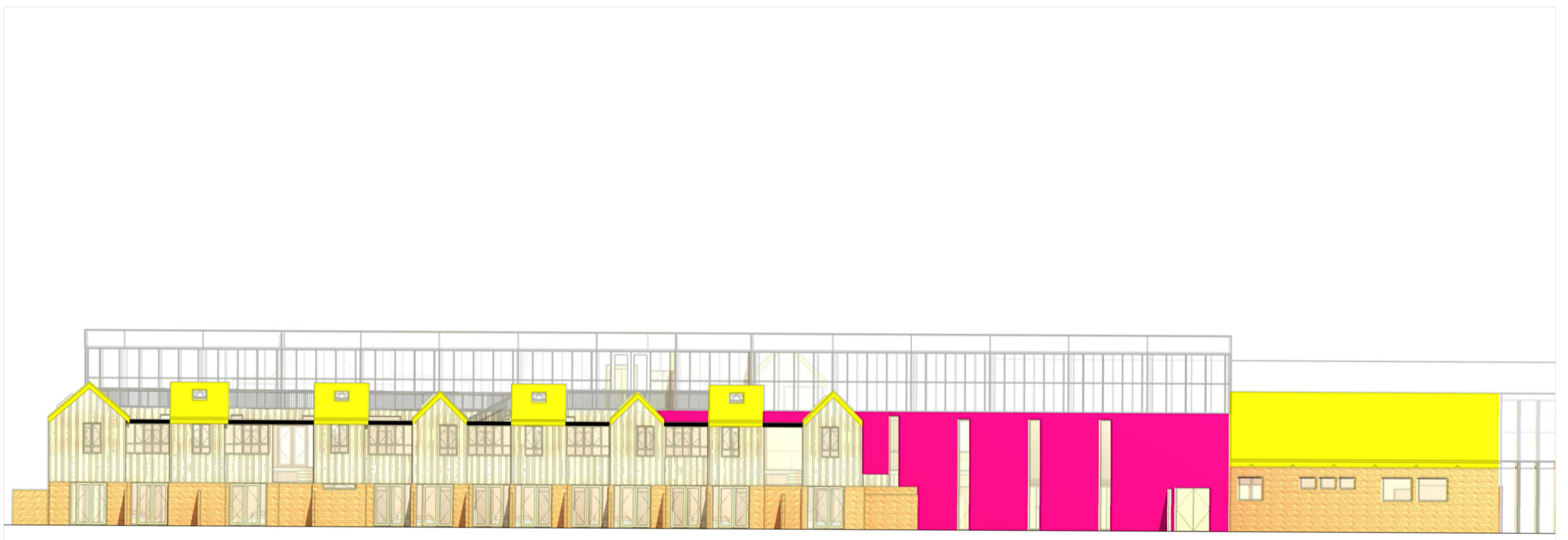
**The Youth Hub Trust**  
**Te Hurihanga ō Rangatahi**

Stage/Job # **J0086.11 - YouthHub**  
Issue **Resource Consent**  
Revision No. **11**

Drawing Date 11/5/2021  
Scale 1 : 200  
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Legend





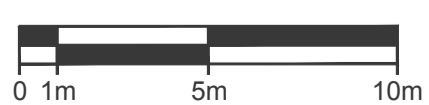
L204.1 West Elevation - Buildings only



L204.2 West Elevation - Landscape and Buildings

Not for construction purposes - consent issue

**L204** | West Elevation  
Internal



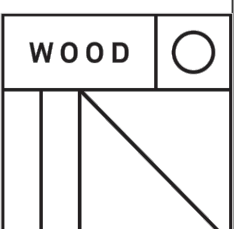
**Youth Hub**  
Landscape plans

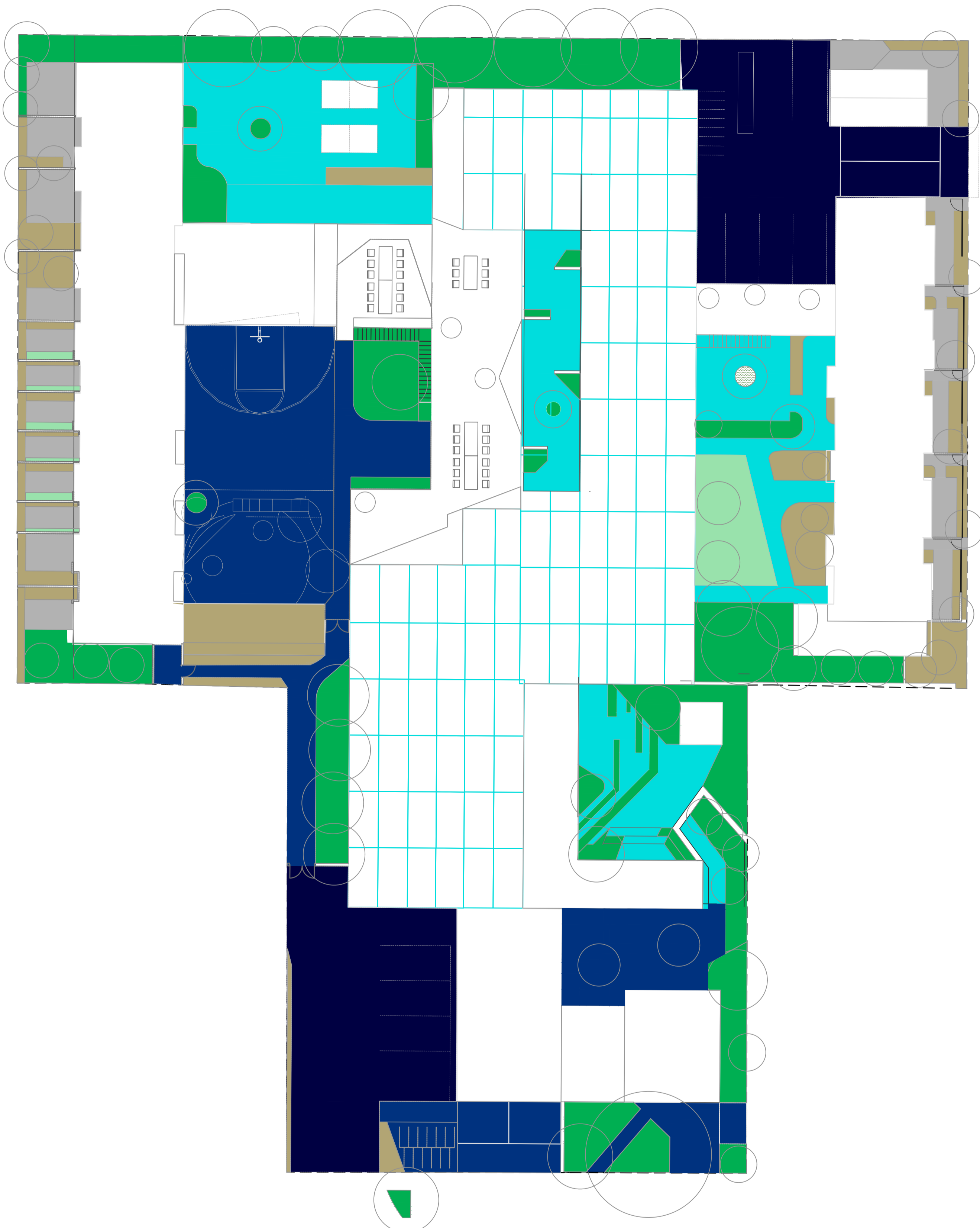
**The Youth Hub Trust**  
**Te Hurihanga ō Rangatahi**

Stage/Job # **J0086.11 - YouthHub**  
Issue **Resource Consent**  
Revision No. **11**

Drawing Date 11/5/2021  
Scale 1 : 200  
Page format A2  
Drawn by Steffan Kraberger

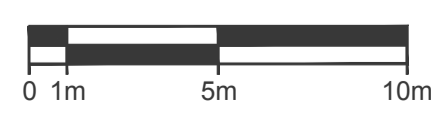
Legend





Not for construction purposes - consent issue

**L104** | Landscape Uses Plan  
Ground level



**Youth Hub**  
Landscape plans

**The Youth Hub Trust**  
**Te Hurihanga o Rangatahi**

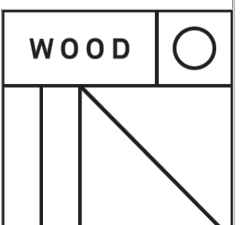
Stage/Job # **J0086.11 - YouthHub**  
 Issue **Resource Consent**  
 Revision No. **11**

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Drawing Date 11/5/2021  
 Scale 1 : 200  
 Page format A2  
 Drawn by Steffan Kraberger

Legend

Private Courtyard (Hardscape) - 160m <sup>2</sup>	Native garden, trees & habitats - 480m <sup>2</sup>
Communal spaces (Hardscape) - 414m <sup>2</sup>	Mixed exotic/native gardens - 182m <sup>2</sup>
Public Spaces (Hardscape) - 410m <sup>2</sup>	Orchard/Garden - 43m <sup>2</sup>
Permeable paver carpark - 438m <sup>2</sup>	







Not for construction purposes - consent issue

**L105** | Landscape uses plan  
Upper levels

**Youth Hub**  
Landscape plans

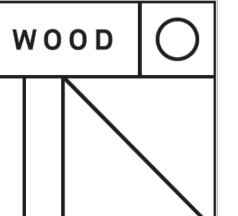
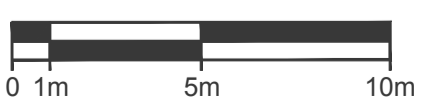
**The Youth Hub Trust**  
**Te Hurihanga ō Rangatahi**

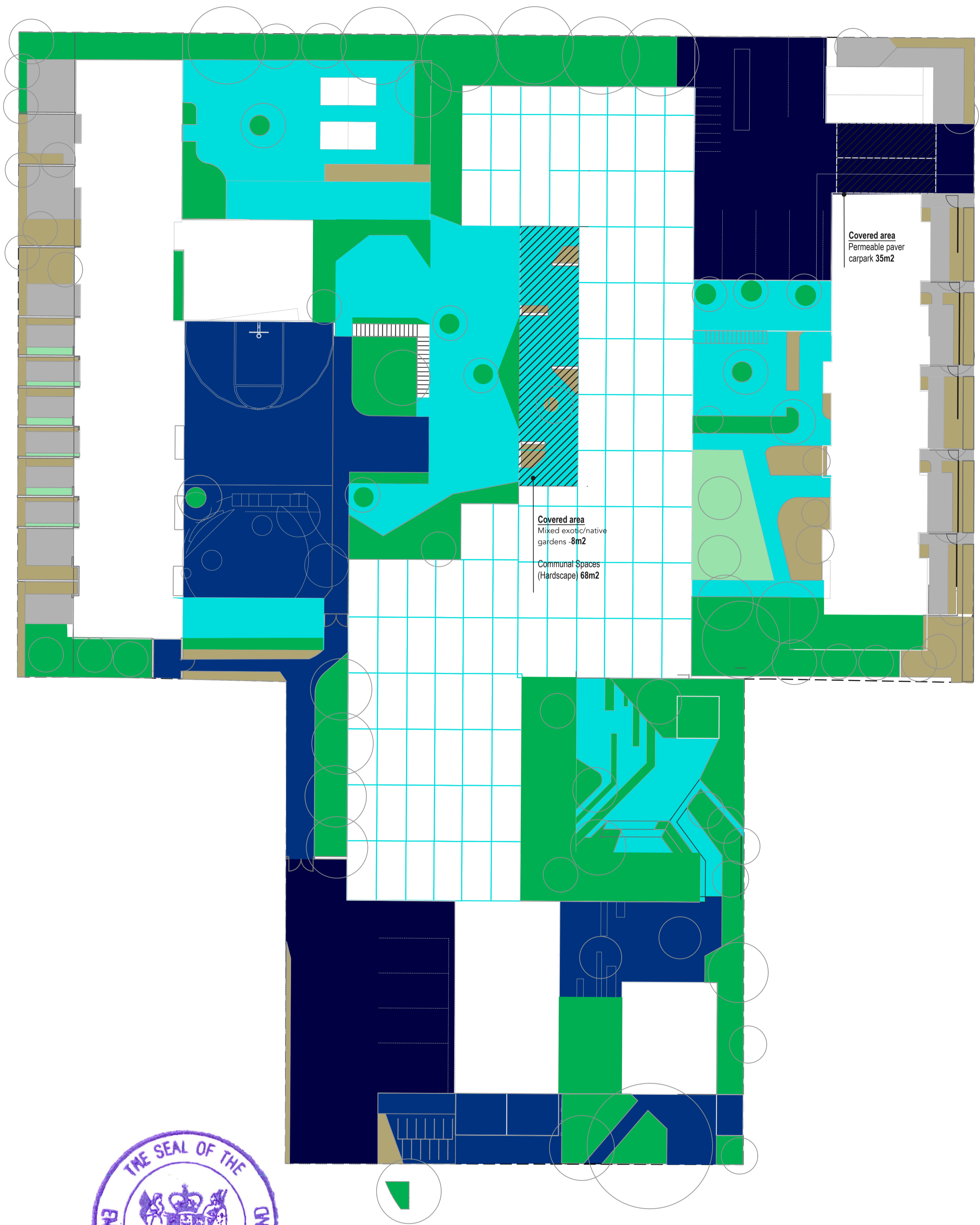
Stage/Job # **J0086.11 - YouthHub**  
Issue **Resource Consent**  
Revision No. **11**

Drawing Date 11/5/2021  
Scale 1 : 200  
Page format A2  
Drawn by Steffan Kraberger

Legend

■ Communal spaces (Hardscape) - 301m<sup>2</sup> ■ Native garden, trees & habitats - 231m<sup>2</sup>





Not for construction purposes - consent issue

**L106** | Landscape Uses Plan  
Combined

**Youth Hub**  
Landscape plans

**The Youth Hub Trust**  
**Te Hurihanga ō Rangatahi**

Stage/Job # **J0086.11 - YouthHub**  
Issue **Resource Consent**  
Revision No. **11**  
Drawing Date **11/5/2021**  
Scale **1 : 200**  
Page format **A2**  
Drawn by **Steffan Kraberger**

Legend	
Private Courtyard (Hardscape) - 160m2	Native garden, trees & habitats - 706m2
Communal spaces (Hardscape) - 715m2	Mixed exotic/native gardens - 187m2
Public Spaces (Hardscape) - 415m2	Orchard/Garden - 43m2
Permeable paver carpark - 438m2	

