

10 April 1997

Kingston Morrison  
321 Manchester Street  
P O Box 8298  
**CHRISTCHURCH**

Att: Mrs Judy Williamson

Dear Mrs Williamson

**HELENE CURTIS - GROUND ASSESSMENT FOR POTENTIAL LAND  
CONTAMINATION**

In reply to your letter of 2 April 1997 regarding potential land contamination at Helene Curtis Ltd, 171 Main North Road.

A search of the Property File for 171 Main North Road revealed no records of any site contamination.

There were records of an underground fuel tank which can give rise to potential ground contamination. This tank was removed on 14 March 1997 and revealed no sign of ground contamination.

I have spoken to Don Cawthorn, Dangerous Goods Inspector, who has no records of any ground contamination on this site, as all chemicals etc were stored in a Dangerous Good storage shed.

Yours faithfully

Leo O'Loughlin  
**BUILDING INFORMATION OFFICER**

LOL:RMC



Resource Management Act 1991/Building Act 1991  
Hazards or Special Site Characteristics

Page 2

Street: Main North Road Number: 171  
Legal Description: Lot Rt 1 DP: 2/207 Ward: Papanui

Date Recorded 5-12-96 Severity 1 Accuracy A Recorded by L O Koughlin Sent to B Clarke 4-4-97  
DETAILS: Resource Application Notice for one x 15,000 litre underground tank of Methylated Spirits see location Plan A on back  
LOCATION OF INFORMATION: Service Centre/Section Fendalton Property File  
File No. or Source of Information Canterbury Regional Council S. Hunt 8-3-93

Date Recorded 4-4-97 Severity 1 Accuracy A Recorded by L O Koughlin Sent to B Clarke 4-4-97  
DETAILS: 30,000 litre underground tank class 3(A) removed and taken to Drinnan's Yard Blenheim Road. Tank assumedly in excellent condition, it has a secondary plastic sheath. Ground revealed no sign of contamination (see location Plan B on back.)  
LOCATION OF INFORMATION: Service Centre/Section Fendalton Property File  
File No. or Source of Information Environmental Services Files Civic Offices D. Cawthorne DGE 14397

Date Recorded ..... Severity ..... Accuracy ..... Recorded by ..... Sent to B Clarke .....  
DETAILS: .....  
LOCATION OF INFORMATION: Service Centre/Section .....  
File No. or Source of Information .....

Date Recorded ..... Severity ..... Accuracy ..... Recorded by ..... Sent to B Clarke .....  
DETAILS: .....  
LOCATION OF INFORMATION: Service Centre/Section .....  
File No. or Source of Information .....

- KEY Severity  1 Low  2 Moderate  3 Extreme  4 Unknown  
Accuracy  A Confirmed  B Unconfirmed  C Personal Observation

See also page: 1:



OK



Resource Management Act 1991/Building Act 1991

Hazards or Special Site Characteristics

Location: MAIN NORTH ROAD Number: 171

Legal Description: Lot 1 D.P. 21207 Ward: PAPANUI

Date Recorded 22/11/96 Severity 2 Accuracy A Recorded by B Mackay Computer Entry 4-4-97

map

DETAILS:

Soft ground; Peat.

LOCATION OF INFORMATION: Service Centre/Section Fendalton property file.

File No. or Source of Information CCC Foundation record quoting

Further Details: "Subsurface bores in Christchurch" P.J. Alley

See also hazard for 165 Main North Road.

The bore recorded shows silt and organic matter between 1.5 and 6 metres with organic clay and peat below that.

Date Recorded 5-12-96 Severity 1 Accuracy A Recorded by L.P. Koughlin Computer Entry 4-4-97

map

DETAILS:

Fuel oil tank for Boiler relocated.

LOCATION OF INFORMATION: Service Centre/Section Fendalton Property File

File No. or Source of Information Building Permit 89000636: Alterations.

Further Details: See location Plan A on back

- KEY Severity [1] Low [2] Moderate [3] Extreme [4] Unknown
Accuracy [A] Confirmed [B] Unconfirmed [C] Personal Observation

See also page: 2.

SITE PLAN

SCALE:

INVESTIGATION BY: For



Qualitative Works.

STREET : Main North Rd NO : 175

D.P. : LOT NO :

DATE :

NATURE OF FOUNDATION INVESTIGATION (✓)

POSTHOLE  EXCAVATION

BOREHOLE  SCALA PENETROMETER

OTHER (SPECIFY)

DEPTH OF INVESTIGATION 60' (M.)

CONDITIONS ENCOUNTERED (e.g. FILL, WATER TABLE)

0'-5' : clay silt.  
5'-20' : silt & organic matter.  
20'-24' : organic clay & peat.

COMMENTS :

See "Subsurface bores in CH-CH"  
by P.J. Alley for bore hole  
log refer to U.48

NEER (e.g. CONSULTING)

NAME: University of Canterbury.

INVOLVEMENT:

BORE LOG PROFILE, SCALA PENETROMETER, SOILS TEST RESULTS.

This site is now 171 Main North Road.



RESIDENTIAL/LIVING

PDM APPLICATION CHECK SHEET

Project Number: 98006501

Location: 171 MAIN NTH RD

Proposal: INSTALL 7 litre CARBON DIOXIDE TANK

| Checked                                      | Comment   | Officer            | Date    | Time    |
|--|---|--------------------|---------|---------|
| <input checked="" type="checkbox"/> Building | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | <i>[Signature]</i> | 18-8-98 |         |
| <input checked="" type="checkbox"/> Planning | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No |                    |         | 18/8/98 |
| <input type="checkbox"/> Traffic             | <input type="checkbox"/> Yes <input type="checkbox"/> No            |                    |         |         |
| <input type="checkbox"/> Envir. Health       | <input type="checkbox"/> Yes <input type="checkbox"/> No            |                    |         |         |

| Transitional District Plan          |       | Proposed City Plan           |                   |
|-------------------------------------|-------|------------------------------|-------------------|
| Zoning                              | I/2   | Zoning                       | B4                |
| Designations                        | tree? | Designations                 | none              |
| Road widening                       |       | Footprint/Sam                |                   |
| Protected Item                      | no    | Protected Item               | no                |
| Airport Noise                       |       | Airport Noise                |                   |
| Site area                           | N/A   | Site area                    |                   |
| Shape factor                        |       | Net site area                |                   |
| Res. Site Density/Plot Ratio        |       | Res. Site Density/Plot Ratio |                   |
| Site coverage                       |       | Site coverage                |                   |
| Height                              |       | Height                       |                   |
| Recession Planes                    |       | Recession Planes             |                   |
| Street scene                        |       | Street scene                 |                   |
| Garage setback                      |       | Garage setback               |                   |
| Internal boundary setback           |       | Internal boundary setback    |                   |
| Waterway setback                    |       | Waterway setback             |                   |
| Separation distance/windows/balcony |       | Window/balcony setback       |                   |
| Outdoor living/service area         |       | Outdoor living/service area  |                   |
| Landscaping                         |       | Landscaping                  |                   |
| Storage space                       |       | Storage space                |                   |
| Accessory building length           |       | Accessory building length    |                   |
| Accessory building area             | OK    | Cont. building length        |                   |
| Design and appearance               |       | External appearance          |                   |
| Other                               |       | Other                        | x 1,000 kg of CO2 |
|                                     |       |                              | x 100% BURDEN     |
|                                     |       |                              | x NOT COVERED.    |

| Traffic                       |  | Traffic                      |  |
|-------------------------------|--|------------------------------|--|
| Car parking/garageable spaces |  | Car parking/garageable space |  |
| Visitor Park                  |  | Visitor Park                 |  |
| Access/gradients              |  | Access/gradients             |  |
| Manoeuvring                   |  | Manoeuvring                  |  |
| Crossing separation           |  | Crossing separation          |  |
| Crossing distance             |  | Crossing distance            |  |
| Crossing width                |  | Crossing width               |  |
| Other                         |  | Other                        |  |

| Other                             |       | Activity                 |  |
|-----------------------------------|-------|--------------------------|--|
| Relocated buildings               |       | Permitted                |  |
| Family Flat                       |       | Controlled               |  |
| Reserve Contrib/Dev Levy(Central) |       | Discretionary            |  |
| (Suburbs)                         |       | Non-complying            |  |
| Subdivision/Title issued          |       |                          |  |
| Cross-lease Owners consent        |       | Peat                     |  |
| Resource Consents recorded        | 1 PTO | Soft Ground              |  |
| Other                             |       | Underground tank for LPG |  |

Resource consent 333/88/0 granted 7/12/88  
Dispensation is remove 3 notable trees  
(manna gum trees) protected as notable  
trees NZIA appendix K

Main Nth Rd (Cranford St - Styx Mill Rd) major arterial (SH74)

1(a) soft ground: Pent:

1(i) number + . etc.

2(a)(ii)

+ RESOURCE CONSENT IS REQUIRED FOR THE STORAGE  
OF LN EXCESS OF 1,000 KG OF CO<sub>2</sub>

+ THE STORAGE AND LOADING AREA MUST BE  
COVERED OR ROOFED AND 100% ~~BE~~ SEALED  
OR BUNDED.

2(q)

- the recession plane on the.....
- the maximum permitted height of.....m.
- the boundary setback distance of.....m on the.....boundary.

2(r)

- boundary setback distance of.....m on the.....boundary.
- maximum height of.....m.
- recession planes(s) on the .....boundary.





Resource Management Act 1991/Building Act 1991  
Hazards or Special Site Characteristics

Page 1

Location: MAIN NORTH ROAD Number: 171  
Legal Description: Lot pt 1 D.P. 21207 Ward: PAPANUI

Date Recorded 22/11/96 Severity 2 Accuracy A Recorded by B Mackay Computer Entry 4-4-97

DETAILS:

Soft ground; Peat.

LOCATION OF INFORMATION: Service Centre/Section Fendalton property file

File No. or Source of Information CCC Foundation record quoting

Further Details: "Subsurface bores in Christchurch" P.J. Alley

see also hazard for 165 Main North Road.

The bore recorded shows silt and organic matter between 1.5 and 6 metres with organic clay and peat below that.

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DETAILS:

Fuel Oil tank for Boiler relocated.

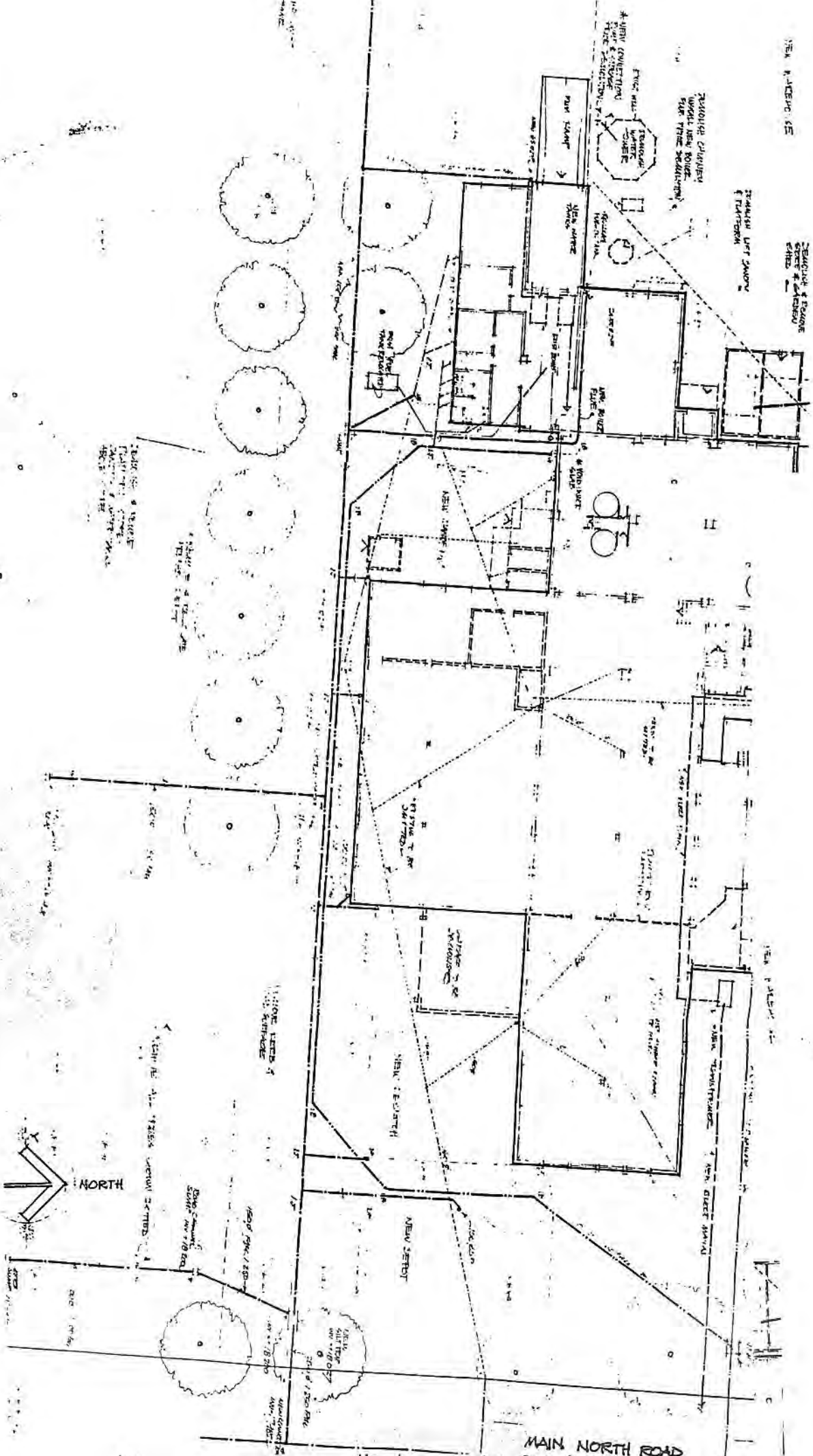
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Further Details: See location Plan A on back

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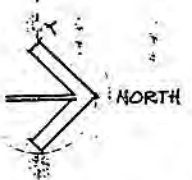
See also page: 2:3



NEW WALKWAY SE

NEW WALKWAY SW

MAIN NORTH ROAD



PLAN A





Resource Management Act 1991/Building Act 1991  
Hazards or Special Site Characteristics

Page 2

Street: Main North Road Number: 171  
Legal Description: Lot A 1 DP: 2/207 Ward: Papanui

map ✓  
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map ✓  
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DETAILS: 30,000 litre underground tank class 3(A) removed and taken to Drinnan's Yard Blenheim Road. Tank assumedly in excellent condition, it has a secondary plastic sheath. Ground revealed no sign of contamination (see location Plan B on back.)  
LOCATION OF INFORMATION: Service Centre/Section Fendalton Property File  
File No. or Source of Information Environmental Services Files Civic Offices D. Cawthorne RGT 14397

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File No. or Source of Information .....

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LOCATION OF INFORMATION: Service Centre/Section .....  
File No. or Source of Information .....

KEY Severity  1 Low  2 Moderate  3 Extreme  4 Unknown  
Accuracy  A Confirmed  B Unconfirmed  C Personal Observation

See also page: 1:3







**RESOURCE MANAGEMENT ACT 1991/BUILDING ACT 1991**  
**HAZARDS OR SPECIAL SITE CHARACTERISTICS**

**LOCATION:** Main North Road..... **NUMBER:** 171 .....

**LEGAL DESCRIPTION:** LOT: 1..... **D.P:** 21207 ..... **WARD:** Papanui.....

**ALTERNATIVE ADDRESS:** .....

**DATE RECORDED:** 18-8-98 ..... **SEVERITY:** 1 ..... **ACCURACY:** A .....

**RECORDED BY:** Leo O'Loughlin **COMPUTER ENTRY:** 18-8-98..... **MAP ENTRY:** 18-8-98..

**DETAILS:** Removal of 2 x 15,000 litre 3<sup>C</sup> underground tanks (see plan A on back for location) :  
 Ground strata : clay / shingle : water level at 2 meters : Spoil removed and replaced with pitrun : Soil  
 samples taken.....

Tank removed to Drinnans yard : Contractor – Fuelquip : Oil Company – Mobil Oil .....

**LOCATION OF INFORMATION:** Fendalton Service Centre Property File: .....

**SOURCE OF INFORMATION:** R A Milner Dangerous Goods Inspector **FILE NO:** ..... **DATE:** 23-2-98..

Environmental Services Dangerous Goods File Civic Offices..... **FILE NO:** ..... **DATE:** .....

**DATE RECORDED:** 18-8-98 ..... **SEVERITY:** 1 ..... **ACCURACY:** A .....

**RECORDED BY:** Leo O'Loughlin **COMPUTER ENTRY:** 18-8-98..... **MAP ENTRY:** 18-8-98..

**DETAILS:** Removal of 1 x 9,000 litre 3<sup>C</sup> underground tank (see plan B on back for location) : Tank  
 holed on lower side : Spoil removed and replaced with pitrun : Tank removed to Drinnans yard .....

Contractor – Fuelquip : Oil Company – Mobil Oil .....

**BUILDING PERMIT/CONSENT:** .....

**LOCATION OF INFORMATION:** Fendalton Service Centre Property File: .....

**SOURCE OF INFORMATION:** R A Milner Dangerous Goods Inspector **FILE NO:** ..... **DATE:** 23-2-98.

Environmental Services Dangerous Goods File Civic Offices..... **FILE NO:** ..... **DATE:** .....

**DATE RECORDED:** ..... **SEVERITY:** ..... **ACCURACY:** .....

**RECORDED BY:** Leo O'Loughlin **COMPUTER ENTRY:** ..... **MAP ENTRY:** .....

**DETAILS:** .....

.....

.....

**BUILDING PERMIT/CONSENT:** .....

**LOCATION OF INFORMATION:** Fendalton Service Centre Property File: .....

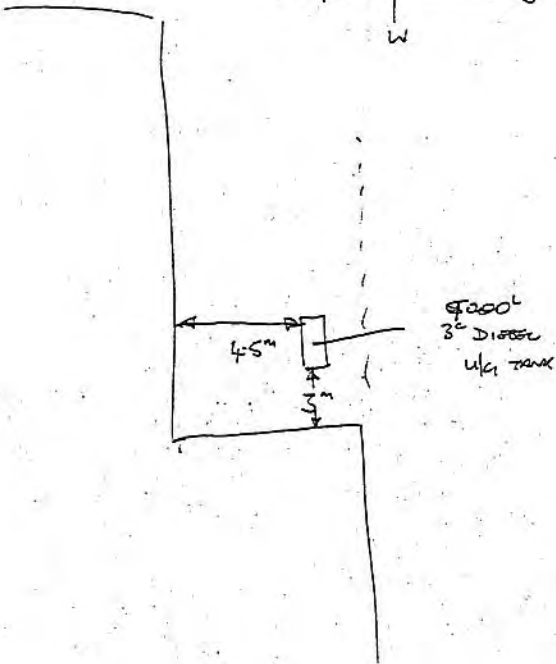
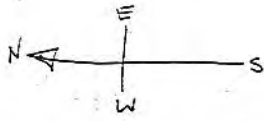
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..... **FILE NO:** ..... **DATE:** .....

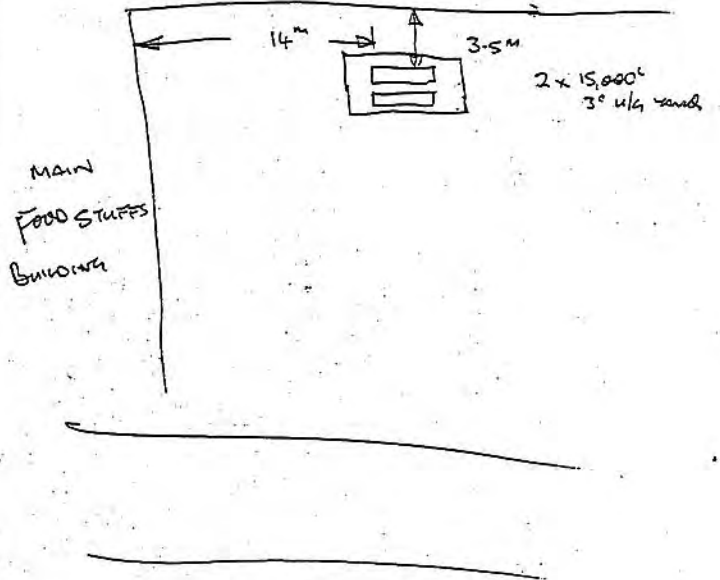
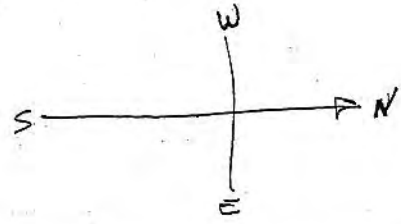
**KEY**      Severity       1 Low       2 Moderate       3 Extreme       4 Unknown

                 Accuracy       A Confirmed       B Unconfirmed       C Personal Observation

MAIN NTH ROAD

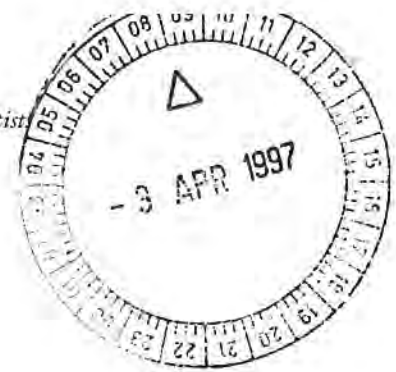


Plan B



Plan A





**Our Reference: 853800**

**2 April 1997**

**Christchurch City Council  
Fendalton Service Centre  
Cnr Jeffrey and Clyde Roads  
Fendalton  
CHRISTCHURCH**

**Attention Mr Tony Hellenes**

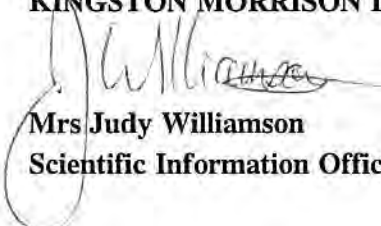
Dear Mr Hellenes

**Helene Curtis Ground Assessment for Potential Land Contamination**

I spoke with you last week regarding an assessment we are undertaking for Helene Curtis Ltd of potential land contamination before they vacate the site at 171 Main North Road.

Could you please confirm in writing that there appear to be no indications of concern for the site with respect to potential contamination, both of recent times and when the Waimari District Council administered over the area.

**Yours faithfully  
KINGSTON MORRISON LTD**

  
**Mrs Judy Williamson  
Scientific Information Officer**

Kingston Morrison Limited  
321 Manchester Street  
Christchurch  
New Zealand  
PO Box 8298  
Telephone +64-3-379 0135  
Facsimile +64-3-377 2209

Auckland  
Wellington  
Christchurch  
Invercargill  
Manila  
Jakarta

COPY



RESOURCE MANAGEMENT ACT 1991  
BUILDING ACT 1991  
**CHRISTCHURCH CITY COUNCIL**

**HAZARD DATA INFORMATION**

WARD: PAPANUI STREET: MAIN NTH RD NUMBER: 171

LEGAL DESCRIPTION: \_\_\_\_\_ DATE RECORDED: 23/2/98

HAZARD INFORMATION: [GIVE DETAILS, EQUIPMENT HISTORY, GROUND CONDITIONS]

RANGEVA - 2 x 15,000 l 30 u/g TANK

CLAY / SHINGLE STRATA

WATER AT 2 m

SPILL REMOVED & REPLACED WITH PETROL

TANK TO DRINKING

SOIL SAMPLES TAKEN

CONTRACTOR - FUZEQUIP

OIL COMPANY - MOBIL OIL

INFORMATION SOURCE: H DATA RECORDED BY: R.A. MILNER

SEVERITY: LOW

MEDIUM

HIGH

ACCURACY: CONFIRMED

UNKNOWN:

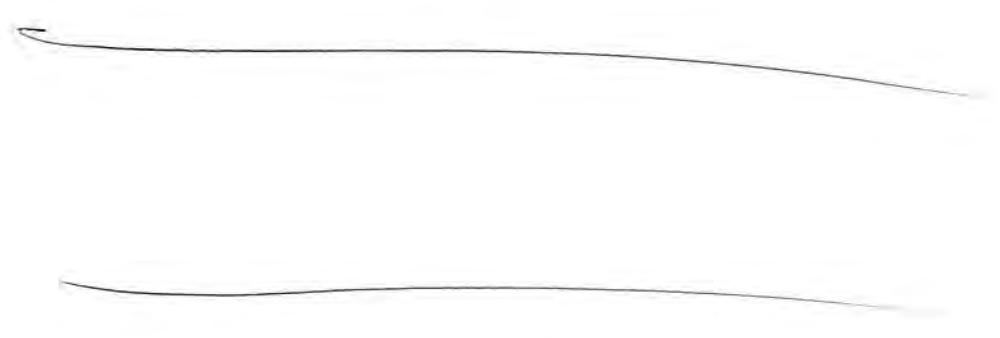
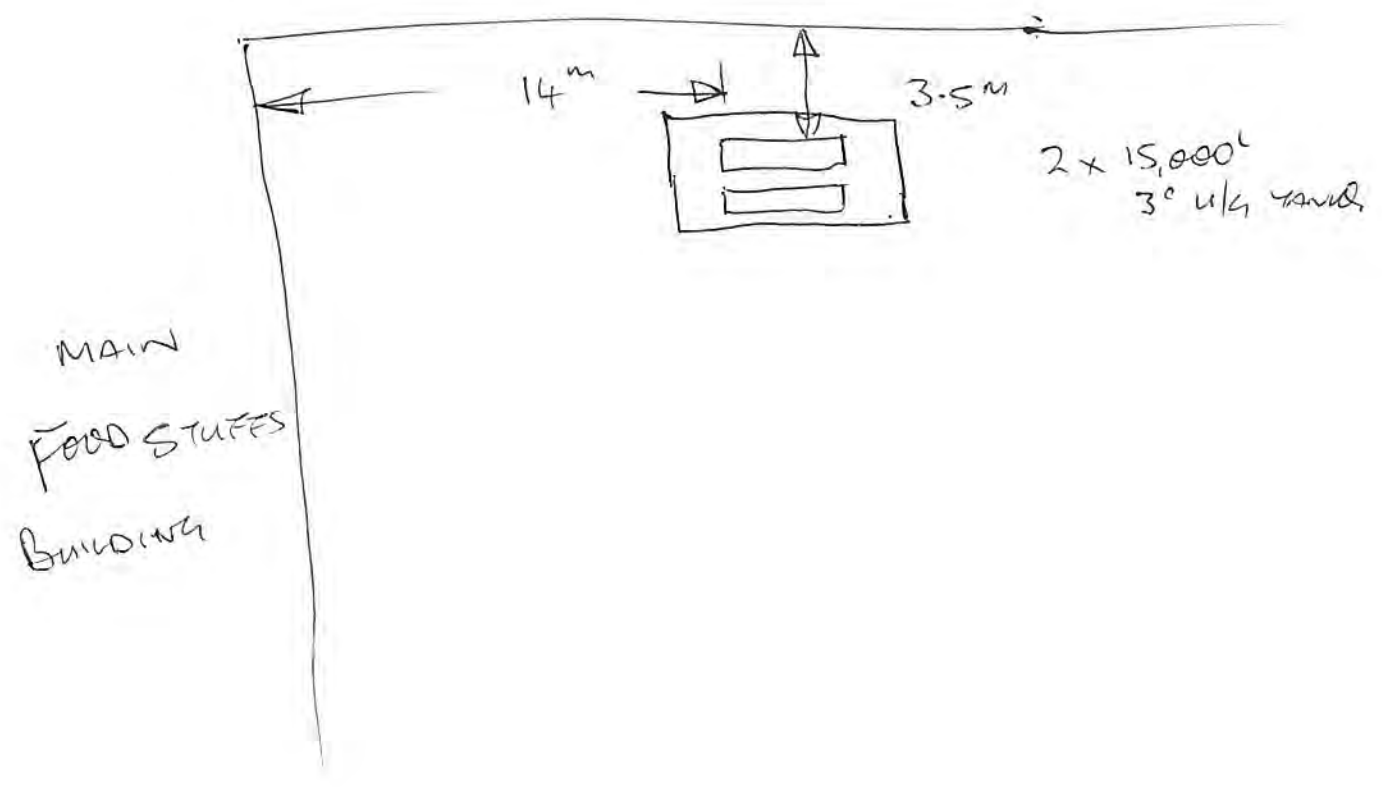
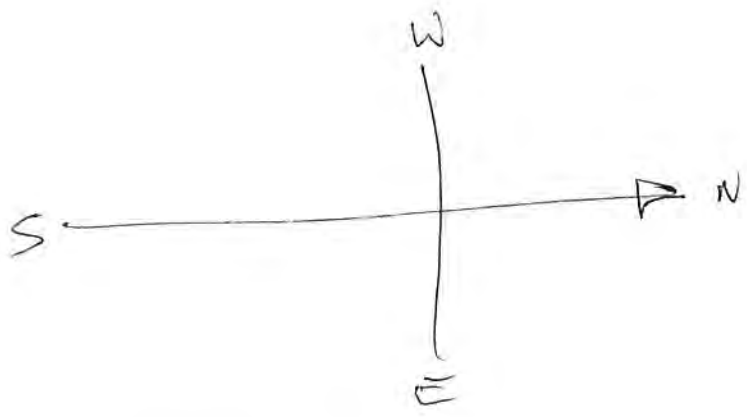
PERSONAL OBSERVATION

DATE ENTERED IN REGISTER: \_\_\_\_\_

RECORDED BY: \_\_\_\_\_

DATE FORWARDED TO CENTRAL DATA: \_\_\_\_\_

RECORDED IN CENTRAL DATA BY: \_\_\_\_\_





COPY



RESOURCE MANAGEMENT ACT 1991  
BUILDING ACT 1991  
CHRISTCHURCH CITY COUNCIL

**HAZARD DATA INFORMATION**

WARD: PAPANUI STREET: MAIN NTH RD NUMBER: 171

LEGAL DESCRIPTION: \_\_\_\_\_ DATE RECORDED: 23/2/98

HAZARD INFORMATION: [GIVE DETAILS, EQUIPMENT HISTORY, GROUND CONDITIONS]

Removal - 1 x 9,000L 3C W/G TANK

CLAY / SHINGLE STRATA

WATER AT 2m

TANK HOLED ON LOWER SIDE

TANK TO DRINKING

Spill Removal - Released with Pit Run.

Contractor - Trenchquip

Oil company - Mobil Oil

INFORMATION SOURCE: H DATA RECORDED BY: DCI R.A. MILNER

|               |                                     |                      |                                     |
|---------------|-------------------------------------|----------------------|-------------------------------------|
| SEVERITY: LOW | <input type="checkbox"/>            | ACCURACY: CONFIRMED  | <input checked="" type="checkbox"/> |
| MEDIUM        | <input checked="" type="checkbox"/> | UNKNOWN:             | <input type="checkbox"/>            |
| HIGH          | <input type="checkbox"/>            | PERSONAL OBSERVATION | <input checked="" type="checkbox"/> |

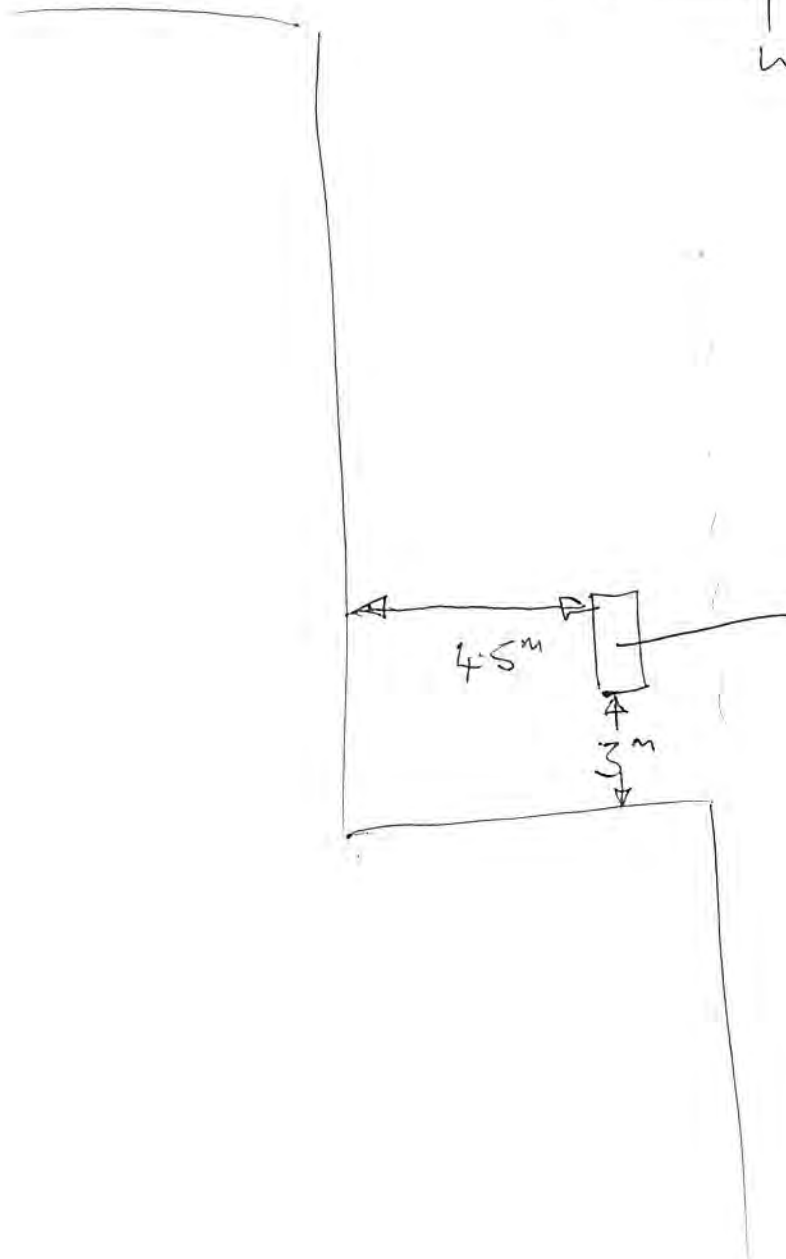
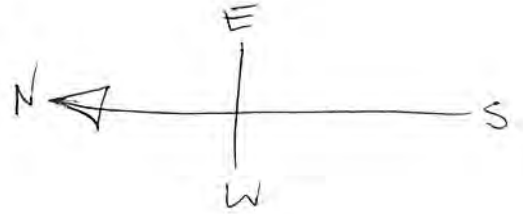
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RECORDED BY: \_\_\_\_\_

DATE FORWARDED TO CENTRAL DATA: \_\_\_\_\_

RECORDED IN CENTRAL DATA BY: \_\_\_\_\_

MAIN NTH ROAD



$\Phi 1000^L$   
3" DIESEL  
U/C TANK

COPY



RESOURCE MANAGEMENT ACT 1991  
BUILDING ACT 1991  
CHRISTCHURCH CITY COUNCIL

**HAZARD DATA INFORMATION**

WARD: PAPANUI STREET: MAIN NORTH ROAD NUMBER: 171

LEGAL DESCRIPTION: HELENE CURTIS LTD DATE RECORDED: 14-3-97

HAZARD INFORMATION: [GIVE DETAILS, EQUIPMENT HISTORY, GROUND CONDITIONS]

30000 litre u/g tank, Class 3(A), removed by Fuelquip Services Ltd, and transported to Drinnen's yard, Blenheim Road.  
Tank assumedly is in excellent condition - it has a secondary plastic sheath. Ground revealed no sign of contamination.

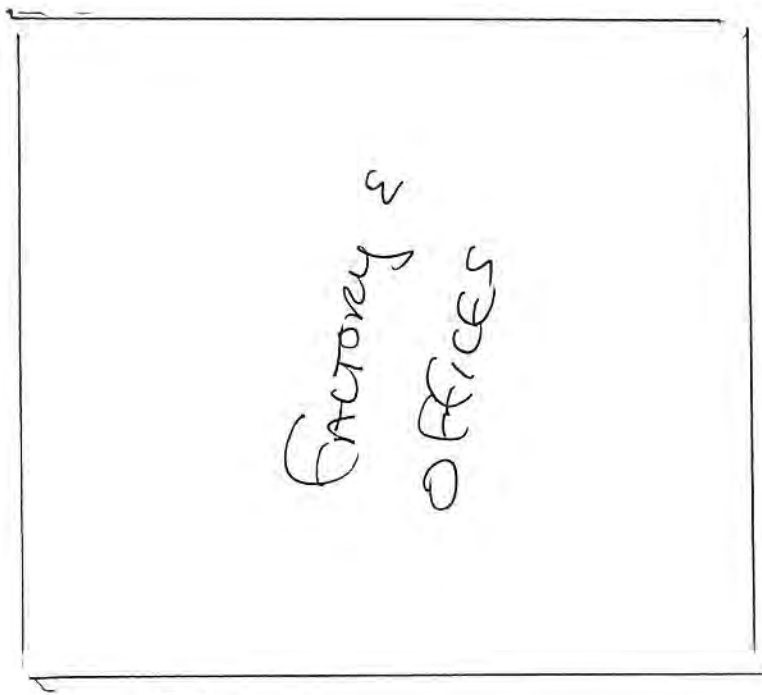
INFORMATION SOURCE: ENV. SERVICES FILES RECORDED BY: D CAWTHORN

SEVERITY: LOW  MEDIUM  HIGH   
ACCURACY: CONFIRMED  UNKNOWN:  PERSONAL OBSERVATION

DATE ENTERED IN REGISTER:   
RECORDED BY:   
DATE FORWARDED TO CENTRAL DATA:   
RECORDED IN CENTRAL DATA BY:



2017 11 18




TANK



171

MAIN NORTH ROAD



|   |  |  |
|---|--|--|
|  <p><b>CHRISTCHURCH</b><br/>CITY COUNCIL · YOUR PEOPLE · YOUR CITY</p> | <p align="center"><b>CHRISTCHURCH CITY COUNCIL</b><br/>BUILDING ACT 2004<br/><b>Project Information Memorandum<br/>(PIM)</b></p> | <p>FORM BA22<br/>PROJECT NO:<br/><b>10056754</b></p> |
|---|--|--|

*Issued Date: 11 August 2005*

**Site Address:** 171 Main North Road

**Legal Desc:** Lot No: Pt Lot 1 DP No: 21207

**Owner:** Foodstuffs (South Island) Limited

**Applicant:** Jim Nolan  
J Nolan Ent Ltd  
PO Box 31120  
**CHRISTCHURCH**

**Proposal:** Bund & associated systems for existing two 12000 litre liquid sugar tanks

FILE COPY

**The following matters have been identified in respect of the above Building Project.**

**PLANNING**

**Zoning:** Business 4

**HAZARDS/SPECIAL LAND CHARACTERISTICS**

*Contact – Fred Bustin*

- **Ground Conditions:** Council’s records indicate the site has **suspect bearing capacity** due to the presence of soft ground. It would be advisable that the ground conditions are investigated by a suitably qualified person (eg a geotechnic or structural engineer). A report, and if necessary a foundation and drainage support design may be required to support an application for building consent.
- **Numerous underground fuel tanks** are located on the site. Please contact on of the Council’s Hazardous Substances Enforcement Officers on telephone 941-8823 for more information.

**DRAINAGE/WATER**

- **Drainage Plan:** A drainage plan is provided.

**OTHER ISSUES**

*Contact – Fred Bustin*

- **Construction Nuisance:** The project must comply with the Health Act 1956, Section 29. The premises should be constructed or demolished so as not to cause a nuisance in terms of the Act (ie. dust).  
  
The Resource Management Act 1991 places a general obligation on persons, including builders and demolition contractors to adopt the best practicable option to ensure that the emission of noise does not exceed a reasonable level.
- **Damage to Council Assets:** At all times the roadway, footpath, berm and landscaped areas adjacent to the construction site are to be kept tidy and safe for all road users. The developer/owner is responsible to repair any damages to the roading assets that occurred as soon as is practicable. The Council reserves the rights to repair all damages. Any cost incurred by Council for this will be recovered from the developer/owner.

**Existing RMA, RES, ABA & CON Applications:**

- ABA10056754 Current (In Progress) Applied: 30/06/2005 BUND & ASSOCIATED SYSTEMS FOR EXISTING TWO 12000 LITRE LIQUID SUGAR TANKS
- CON94003644 Completed Applied: 2/05/1994 Conservatory warehouse - conservatory Issued Date: 23/05/1994 Code Compliance Certificate Issued Date: 15/07/1994
- CON95007142 Cancelled Applied: 16/08/1995 Closing in existing loading dock industrial/ closing in existing loading dock
- CON98000670 Completed Applied: 5/02/1998 Internal alterations.hot water system commercial/ internal alterations, hot water cylinder/ instantaneous water heaters Issued Date: 18/02/1998 Code Compliance Certificate Issued Date: 18/03/1998
- CON98006501 Completed Applied: 14/08/1998 Install 7 tonne carbon dioxide tank industrial/ install 7 tonne carbon dioxide tank Issued Date: 02/09/1998 Code Compliance Certificate Issued Date: 05/03/1999
- DGD 1740 Industrial Processes Expires: 31/03/2004 MURDOCH TRENT LTD

**Land Characteristics:**

- BWOFF Property MAY have Building Warrent Of Fitness issued There may be a building warrant of fitness for this property . Please check the building warrant of fitness register maintained by ESU. The confidence of the data matching which resulted in this this comment is: Good.
- LIMTMP Important LIM Information PEAT Apr 4 1997
- LIMTMP Important LIM Information UNDERGROUND TANK(S) HAVE BEEN REMOVED Aug 18 1998
- SGRND Softground 2694 Council records show that site contains Soft Ground. Predominant Ground Material: NA. Reason for Assessment: NA. Should further buildings be proposed on this site, specific foundation design may be required.
- TANK Contains or contained a Tank 215 Council Records indicate that this site contains or contained a Tank Details of Tank are as follows: Date Installed: NA Tank Function: Diesel Volume(l): 6750 Underground or Above Ground: Above Ground Tank Tank Status: Exists Date Removed: NA Condition when Removed: NA
- TANK Contains or contained a Tank 216 Council Records indicate that this site contains or contained a Tank Details of Tank are as follows: Date Installed: NA Tank Function: Methylated Spirits Volume(l): 15000 Underground or Above Ground: Underground Tank Tank Status: NA Date Removed: NA Condition when Removed: NA
- URBAN Property or part of property within urban area 10



# Christchurch Eq. RAPID Assessment Form - LEVEL 1

Inspector Initials  
Territorial Authority

HMC  
Christchurch City

Date of Inspection  
Time

26/4/11  
15-10pm

Exterior Only  
Exterior and Interior

Building Name (165 Foodsketch NZ Ltd)  
Short Name (171 includes Trents & Murdoch's Bldg)  
Address 171 @ 165 Main North Road

GPS Co-ordinates

S° E°

Contact Name

Contact Phone

Storeys at and above ground level

2

Below ground level

Total gross floor area (m<sup>2</sup>)

Year built

No of residential Units

Type of Construction

- Timber frame
- Steel frame
- Tilt-up concrete
- Concrete frame
- RC frame with masonry infill

- Concrete shear wall
- Unreinforced masonry
- Reinforced masonry
- Confined masonry
- Other:

Primary Occupancy

- Dwelling
- Other residential
- Public assembly
- School
- Religious

- Commercial/ Offices
- Industrial
- Government
- Heritage Listed
- Other

Photo Taken

Yes

No

Investigate the building for the conditions listed below:

Overall Hazards / Damage

Minor/None

Moderate

Severe

Comments

Collapse, partial collapse, off foundation

Building or storey leaning

Wall or other structural damage

Overhead falling hazard

Ground movement, settlement, slips

Neighbouring building hazard

Other

I have asked that an engineers assessment report be emailed to cdrescue@ccc.govt.nz

Choose a posting based on the evaluation and team judgement. Severe conditions affecting the whole building are grounds for an UNSAFE posting. Localised Severe and overall Moderate conditions may require a RESTRICTED USE. Place INSPECTED placard at main entrance. Post all other placards at every significant entrance.

INSPECTED

GREEN

RESTRICTED USE

YELLOW

UNSAFE

RED

Record any restriction on use or entry:

Further Action Recommended:

Tick the boxes below only if further actions are recommended

Barricades are needed (state location):

Level 2 or detailed engineering evaluation recommended

Structural

Geotechnical

Other:

Other recommendations:

Estimated Overall Building Damage (Exclude Contents)

None

0-1 %

31-60 %

2-10 %

61-99 %

11-30 %

100 %

Sign here on completion

*[Signature]*

Date & Time  
ID

26/4/11 15:10pm  
HMC

Inspection ID \_\_\_\_\_ (Office Use Only)

171-75085692  
165-75085697





20 DP 3753 LYDIA STREET DRAIN (OPEN)

PLAN 1591 R 47/980 MB 8/666,673,722,782

HELENE CURTIS

83353 FOODSTUFFS LTD

83353 FOODSTUFFS LTD

83353 FOODSTUFFS LTD

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83353 FOODSTUFFS LTD

83353 FOODSTUFFS LTD

MAIN NORTH ROAD

KERRIDGES DRAIN

KERRIDGES DRAIN

WINTERC







Property Address: 7 NORTHCOTE RD


- |  |   |
|--|---|
|  | Records Held                              |
| (iii) Compliance Schedule if applicable:                       | Yes / <input checked="" type="radio"/> No |
| (iv) Current Warrent of Fitness if applicable:                 | Yes / <input checked="" type="radio"/> No |
| (v) Notification received under Fencing of Swimming Pools Act: | Yes / <input checked="" type="radio"/> No |
| (vi) Others .....  | Yes / <input checked="" type="radio"/> No |
| .....  |   |
| .....  |   |

7. Planning Information:

- Zoning: R11 City Plan Section City Plan
- Land Use Resource Consents: As for No 5 Northcote Rd Yes /  No
- .....
- .....
- Designations on site: ..... Yes /  No
- Road Widening designations: .....  Yes / No
- Heritage Protection Items: ..... Yes /  No
- Trees Listed: ..... Yes /  No

8. Information notified to council by any statutory organisation having the power to classify land or buildings for any purpose: Yes /  No

9. Information notified to council by any network utility operator pursuant to the Building Act 1991: Yes /  No

|  |   |                |
|--|---|----------------|
|  <p>CHRISTCHURCH<br/>THE GARDEN CITY<br/><i>the city that chooses</i></p> | <p>CHRISTCHURCH CITY COUNCIL</p> <p>Supplementary Land Information Memorandum</p> <p>Details of Land Drainage and Sewerage System</p> | <p>Page 3</p>  |
|  |   | <p>9502449</p> |

- \* Attached is a copy of the Council's drainage plan records. If this plan is not sufficiently legible, a second copy may be obtained on request from the appropriate Service Centre. The dwelling is shown to be served by a sewer drain.
- \* The presence of any private stormwater drainage system within/from the property is unverified and not shown in the records.
- \* The presence of any other pipelines, drains or watercourses are not known.
- \* Any proposed building on the site will be required to meet a minimum floor level. This may require the land to be raised to a specific level to reduce the likelihood of inundation. (eg water, stormwater, sewage etc).
- \* The Council's records do not show any history of flooding or drainage problems on this property.

The drainage component of this LIM was researched by Lynda Kennington.



CHRISTCHURCH CITY COUNCIL  
 DRAINAGE & WASTE MANAGEMENT UNIT  
 PH. 379 0560  
 FAX. 379 0039

8 - MAR 1999

DRAINAGE PLANS

CAUTION  
 THE ACCURACY OF THIS PLAN & THE  
 MEASUREMENTS ARE NOT GUARANTEED  
 BUT SHOULD BE VERIFIED BY INSPECTION

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CHIT No. 116.62  
 ATT.  
 SCALE 1/500 4/500





COPY

Roger Vivian  
Geotechnical Investigation  
Corner of Main North Road and Northcote Road

## 1.0 Introduction

Soils and Foundations has carried out a site investigation at the corner of Main North Road and Northcote Road, Christchurch.

The site fronts onto Northcote Avenue to the north and Main North Road to the east and measures approximately 57m on the west boundary and 83m on the south boundary. We understand that a new Valentines restaurant building, covering a footprint plan area of 460m<sup>2</sup> will be constructed in the north east corner of the site.

At this stage the proposed building is single storey and is of light weight steel framed construction with a concrete slab on grade. The structural engineer, Mr Vivian has advised that preliminary column loads are in the order of 40 to 50 kN.

## 2.0 Sub-surface Investigation

Seven handauger boreholes, HA1- HA7 were carried out over the site. HA1 and HA5 were taken to 4.0m depth., HA2 and HA7 were taken to 3.0m depth and HA3, HA4 and HA6 were taken to 2.0m depth. A Scala penetrometer profile complements each borehole.

The location of all tests to date are shown on the site plan, 95164/01 which has been appended along with the borelog profiles and Scala test results.

## 3.0 Sub-surface Information

Generally, the boreholes indicate that the east side of the site adjacent to Main North Road is covered with fill which overlays natural silt and sandy silt. Elsewhere over the site the natural soils underlay a thin topsoil layer.

HA1 and HA2 indicates 0.4 to 0.6m of fill comprising asphalt, sand and sandy gravel overlaying interbedded silt, clayey silt and sandy silt. Scala testing indicates firm soils, exceeding 100kPa allowable bearing capacity to 1.8m depth. The clayey silt extends below 1.8m, beyond the range of the Scala equipment, but drilling and inspection of recovered sample indicated them to be soft and plastic.

The remaining boreholes indicate a similar interbedded soil profile underlaying approximately 0.15m of topsoil. Scala testing indicated a soft layer of silt an average depth of 0.3m extending to approximately 0.7m depth. As before, the clayey silts occur below the limits of the Scala test but drilling indicated it to be soft and plastic.

Due to the uneven topography it is difficult to infer the depth of the water table but it should occur at approximately 0.75m depth as measured at the time of investigation. This is high for this area and may indicate a perched water table on top of the clayey silt.

## 4.0 Recommendations

### 4.1 Foundations

Shallow pads and strip footings should be suitable under the structure subject to confirmation of the design loads at the columns and along the walls. Use an allowable bearing capacity of 100 kPa.



Roger Vivian  
 Geotechnical Investigation  
 Corner of Main North Road and Northcote Road

All footings must be located as high as possible and preferably at about 0.3m depth. This will require that the contractor overexcavates fill or soft soil at each footing location to approximately 0.7m depth. Levels should then be reinstated to the underside of the footings with compacted hardfill. All filling and compaction should be carried out in layer thicknesses not exceeding 0.15m.

The location of the water table should not unduly influence deeper excavations. However, if there are sustained periods of rain prior to the work being carried out excavations may have to be carried out in the wet.

4.2 Carpark area.

Mr Vivian has requested that we comment on design guidelines for the carparking area. However, this area was not investigated and soil conditions should be confirmed with at least one further investigation during construction phase. This is likely to involve a series of Scala tests to confirm design CBR values.

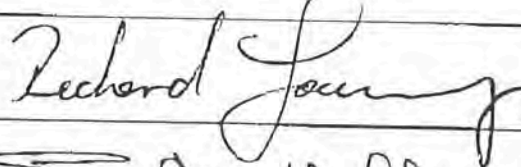
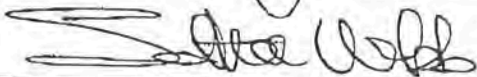
The testing carried out for the building itself indicates an average CBR in the order of 5% at approximately 0.7m depth. Above this depth the soils are too variable and soft to be relied upon to provide adequate resistance to wheel loads. Therefore, we recommend that the entire area of the carpark is stripped to 0.7m depth and this subbase be inspected by Soils and Foundations before the construction of the pavement begins. We anticipate that a flexible pavement solution is sought and refer the reader to the Transit NZ design standards and the Christchurch City Council guidelines for further design information. These documents include advice on required cross falls and drainage solutions. Please note that concentrated surface runoff must be directed to suitable disposal and you have to check with the City Council guidelines before any connections are made to existing pipes or drains.

6.0 Limitations

The subsurface soil profile at this site has been inferred from isolated boreholes. If, when construction begins the contractor finds that conditions differ significantly from those described in this report this office must be notified immediately.

This report has been prepared solely for the benefit Roger Vivian and the Christchurch City Council. No liability is accepted by this Company or any employee or sub-consultant of this company with respect to its use by any other person.

This disclaimer shall apply notwithstanding that the report may be made available to other persons for an application for permission or approval or to fulfil a legal requirement.

|             |  |                    |
|-------------|--|--------------------|
| Prepared by | <br>Richard Young | 23 May '97<br>Date |
| Reviewed by | <br>Samantha Web  | 23/5/97<br>Date    |

Main North Road.

Northgate Road.

Proposed Valentines Restraunt.

HA2.

HA1.

HA3.

HA4.

HA5.

HA6.

HA7.



Northgate / Main North Roads.

Drawn G.A.C

SOILS & FOUNDATIONS





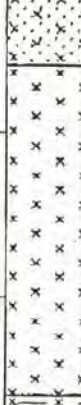
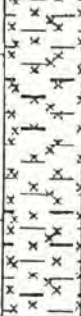

Date 17.5.97

Figure 95164/01.



# SOILS & FOUNDATIONS LTD.

|  |                              |                               |
|--|------------------------------|-------------------------------|
| Project: <b>NORTHCOTE/MAIN NORTH ROADS</b> | Project Number: <b>95164</b> | Boring ID. <b>HA7</b>         |
| Client: <b>Roger Vivian</b>                |                              | Sheet No.1 of 1               |
| Boring Depth (m.): <b>3.0</b>              | Elevation:                   | Engineer: <b>G.Clark</b>      |
| Datum/Notes/                               |                              | Starting Date: <b>16/5/97</b> |
|  |                              | Ending Date: <b>16/5/97</b>   |

| Elev. (m) | Depth (m) | Lithology   | Material Description                                     | Well Detail | Comments | Scala Penetration (mm/blow)  |
|-----------|-----------|---|--|-------------|----------|--|
|           |           |    | Brown TOPSOIL.<br>-dry                                   |             |          |  |
|           |           |    | Brown mottled orange SILT.<br>-firm                      |             |          |  |
|           |           |    | Grey and brown SANDY SILT.<br>-soft                      |             |          |  |
|           | 1         |   | Grey mottled orange SILT.<br>-firm<br>-softer with depth | ▽           |          |  |
|           | 2         |  | Blue grey CLAYEY SILT.<br>-soft<br>-plastic              |             |          |  |
|           | 3         |  | Grey SANDY SILT.<br>-soft<br>-saturated                  |             |          |  |
|           | 4         |   |  |             |          |  |



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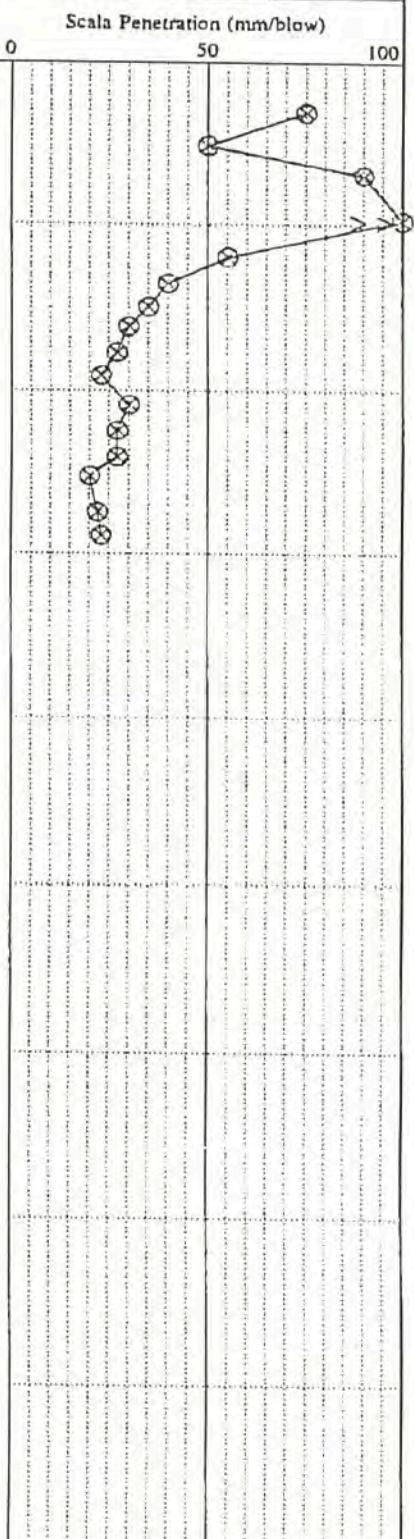
|  |                              |                               |
|--|------------------------------|-------------------------------|
| Project: <b>NORTHCOTE/MAIN NORTH ROADS</b> | Project Number: <b>95164</b> | Boring ID. <b>HA6</b>         |
| Client: <b>Roger Vivian</b>                |                              | Sheet No.1 of 1               |
| Boring Depth (m.): <b>2.0</b>              | Elevation:                   | Engineer: <b>G.Clark</b>      |
| Datum/Notes/                               |                              | Starting Date: <b>16/5/97</b> |
|  |                              | Ending Date: <b>16/5/97</b>   |

| Elev. (m) | Depth (m) | Lithology           | Material Description  | Well Detail | Comments | Sca Penetration (mm/blow)                          |
|-----------|-----------|---------------------|---|-------------|----------|--|
|           |           |                     |   |             |          | 0                      50                      100 |
|           |           | [Diagonal Hatching] | Brown TOPSOIL.<br>-dry  |             |          |  |
|           |           | [Diagonal Hatching] | Brown SANDY TOPSOIL with some gravel.<br>-medium rounded gravel |             |          |  |
|           |           | [Cross Hatching]    | Brown mottled orange SILT.<br>-firm                             | ▽           |          |  |
|           | 1         | [Cross Hatching]    | Grey mottled orange SILT.<br>-firm<br>-softer with depth        |             |          |  |
|           |           | [Cross Hatching]    | -trace of sand  |             |          |  |
|           | 2         | [Cross Hatching]    | Blue grey CLAYEY SILT.<br>-soft<br>-plastic                     |             |          |  |
|           | 3         |                     |   |             |          |  |
|           | 4         |                     |   |             |          |  |

# SOILS & FOUNDATIONS LTD.

|  |                              |                               |
|--|------------------------------|-------------------------------|
| Project: <b>NORTHCOTE/MAIN NORTH ROADS</b> | Project Number: <b>95164</b> | Boring ID. <b>HA4</b>         |
| Client: <b>Roger Vivian</b>                |                              | Sheet No.1 of 1               |
| Boring Depth (m.): <b>2.0</b>              | Elevation:                   | Engineer: <b>G.Clark</b>      |
| Datum/Notes/                               |                              | Starting Date: <b>16/5/97</b> |
|  |                              | Ending Date: <b>16/5/97</b>   |








| Elev. (m) | Depth (m) | Lithology           | Material Description   | Well Detail | Comments | Scaia Penetration (mm/blow) |    |     |
|-----------|-----------|---------------------|--|-------------|----------|-----------------------------|----|-----|
|           |           |                     |  |             |          | 0                           | 50 | 100 |
|           |           | [Diagonal Hatching] | Brown TOPSOIL.<br>-dry   |             |          |                             |    |     |
|           |           | [Cross Hatching]    | Brown mottled orange SILT.<br>-firm                                    |             |          |                             |    |     |
|           |           | [Dotted]            | Brown and grey SANDY SILT.<br>-soft                                    | ▽           |          |                             |    |     |
|           | 1         | [Cross Hatching]    | Grey mottled orange SILT.<br>-firm                                     |             |          |                             |    |     |
|           |           | [Cross Hatching]    | -strong mottled orange colouring                                       |             |          |                             |    |     |
|           |           | [Dotted]            | Red orange brown SANDY SILT<br>with a trace of gravel.<br>-fine gravel |             |          |                             |    |     |
|           | 2         | [Cross Hatching]    | Blue grey CLAYEY SILT.<br>-soft  |             |          |                             |    |     |
|           | 3         |                     |  |             |          |                             |    |     |
|           | 4         |                     |  |             |          |                             |    |     |

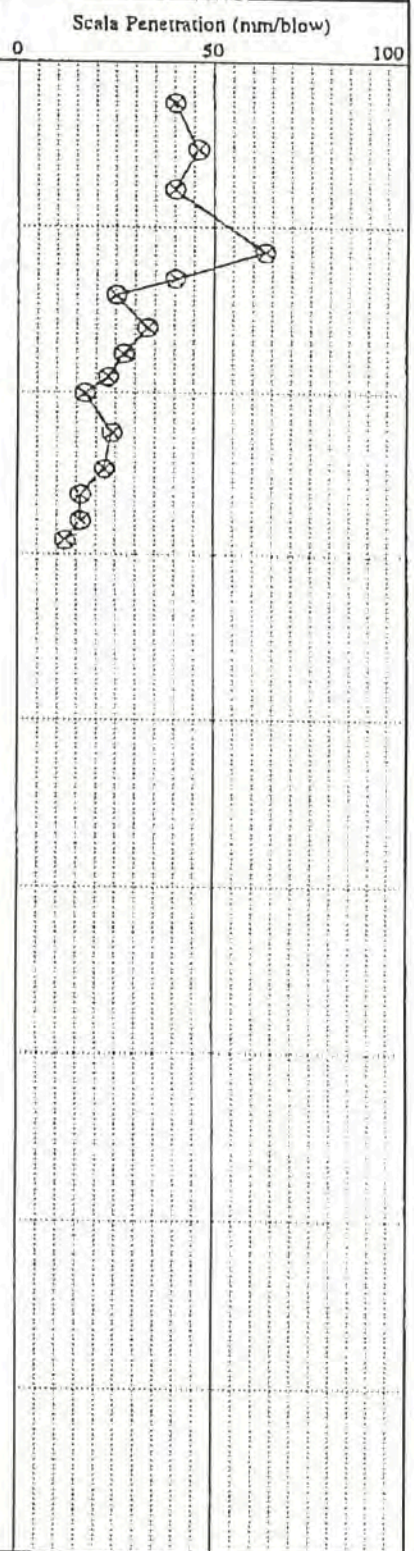




# SOILS & FOUNDATIONS LTD.

|  |                              |                               |
|--|------------------------------|-------------------------------|
| Project: <b>NORTHCOTE/MAIN NORTH ROADS</b> | Project Number: <b>95164</b> | Boring ID. <b>HA3</b>         |
| Client: <b>Roger Vivian</b>                |                              | Sheet No.1 of 1               |
| Boring Depth (m.): <b>2.0</b>              | Elevation:                   | Engineer: <b>G.Clark</b>      |
| Datum/Notes/                               |                              | Starting Date: <b>16/5/97</b> |
|  |                              | Ending Date: <b>16/5/97</b>   |

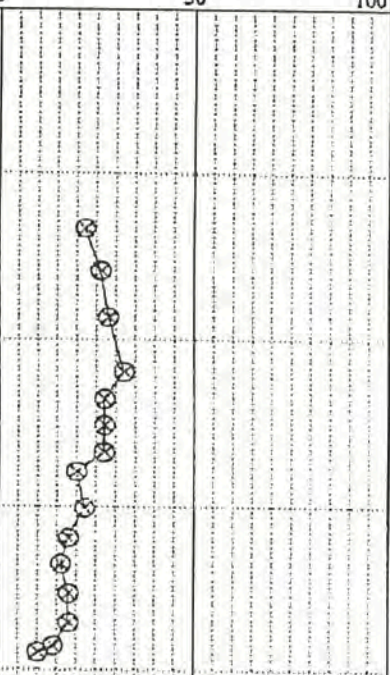
| Elev. (m) | Depth (m) | Lithology   | Material Description   | Well Detail | Comments | Scala Penetration (num/blow) |    |     |
|-----------|-----------|---|--|-------------|----------|------------------------------|----|-----|
|           |           |   |  |             |          | 0                            | 50 | 100 |
|           |           |    | Brown TOPSOIL.<br>-dry   |             |          |                              |    |     |
|           |           |    | Brown mottled orange SILT.<br>-firm  |             |          |                              |    |     |
|           |           |    | Brown and grey mottled orange SANDY SILT.<br>-soft                           |             |          |                              |    |     |
|           | 1         |   | Brown mottled orange SILT.<br>-firm<br>-strong mottled orange colouring      | ▽           |          |                              |    |     |
|           |           |  | Grey mottled orange SILT.<br>-firm   |             |          |                              |    |     |
|           |           |  | Red orange brown SANDY SILT with a trace of gravel.<br>-fine gravel<br>-soft |             |          |                              |    |     |
|           | 2         |  | Blue grey CLAYEY SILT.<br>-soft<br>-plastic                                  |             |          |                              |    |     |
|           | 3         |   |  |             |          |                              |    |     |
|           | 4         |   |  |             |          |                              |    |     |



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|  |                              |                               |
|--|------------------------------|-------------------------------|
| Project: <b>NORTHCOTE/MAIN NORTH ROADS</b> | Project Number: <b>95164</b> | Boring ID. <b>HA2</b>         |
| Client: <b>Roger Vivian</b>                |                              | Sheet No.1 of 1               |
| Boring Depth (m.): <b>3.0</b>              | Elevation:                   | Engineer: <b>G.Clark</b>      |
| Datum/Notes/                               |                              | Starting Date: <b>16/5/97</b> |
|  |                              | Ending Date: <b>16/5/97</b>   |

| Elev. (m) | Depth (m) | Lithology | Material Description  | Well Detail | Comments | Scala Penetration (mm/blow) |    |     |
|-----------|-----------|-----------|---|-------------|----------|-----------------------------|----|-----|
|           |           |           |   |             |          | 0                           | 50 | 100 |
|           |           | //        | <b>SANDY GRAVELLY FILL.</b><br>-fine to coarse gravel<br>-brown sand          |             |          |                             |    |     |
|           | 1         | x x x x   | <b>Grey mottled orange SILT.</b><br>-firm                                     | ▽           |          |                             |    |     |
|           | 2         | x x x x   | <b>Blue grey CLAYEY SILT.</b><br>-firm  |             |          |                             |    |     |
|           | 2         | x x x x   | <b>Red orange brown SANDY SILT</b><br>with a trace of gravel.<br>-fine gravel |             |          |                             |    |     |
|           | 3         | x x x x   | <b>Blue grey CLAYEY SILT.</b><br>-soft<br>-plastic                            |             |          |                             |    |     |
|           | 4         |           |   |             |          |                             |    |     |





# SOILS & FOUNDATIONS LTD.

|  |  |                              |                          |                             |                               |
|--|--|------------------------------|--------------------------|-----------------------------|-------------------------------|
| Project: <b>NORTHCOTE/MAIN NORTH ROADS</b> |  | Project Number: <b>95164</b> |                          | Boring ID. <b>HA1</b>       |                               |
| Client: <b>Roger Vivian</b>                |  |                              |                          | Sheet No.1 of 1             |                               |
| Boring Depth (m.): <b>4.0</b>              |  | Elevation:                   | Engineer: <b>G.Clark</b> |                             | Starting Date: <b>16/5/97</b> |
| Datum/Notes/                               |  |                              |                          | Ending Date: <b>16/5/97</b> |                               |

| Elev. (m) | Depth (m) | Lithology | Material Description  | Well Detail | Comments | Scale Penetration (mm/blow) |
|-----------|-----------|-----------|---|-------------|----------|-----------------------------|
|           |           | / / / / / | Brown SAND.<br>-fill  |             |          | 0                           |
|           |           | x x x x x | ASPHALT.  |             |          | 50                          |
|           |           | / / / / / | Brown SAND.<br>-fill  |             |          | 100                         |
|           |           | x x x x x | Grey SILT.  |             |          |                             |
|           | 1         | x x x x x | Brown mottled orange and grey SILT.<br>-firm<br>-softer with depth<br>-less mottled grey with depth | ▽           |          |                             |
|           |           | x x x x x | -strong mottled reddish orange colouring  |             |          |                             |
|           | 2         | x x x x x | Blue grey CLAYEY SILT.<br>-firm to soft<br>-plastic<br>-softer with depth                           |             |          |                             |
|           |           | x x x x x | Grey SILT with minor sand.<br>-soft   |             |          |                             |
|           | 3         | x x x x x |   |             |          |                             |
|           |           | x x x x x | Grey CLAYEY SILT.<br>-soft  |             |          |                             |
|           | 4         | x x x x x |   |             |          |                             |

# SOILS & FOUNDATIONS

Geotechnical Consulting Engineers

Soils & Foundations (1973) Ltd  
Tower 2, Deans Park, 7 Deans Avenue,  
PO Box 13-052, Christchurch, New Zealand  
Facsimile 64-3-366 7780  
Telephone 64-3-379 8432

Roger Vivian  
P O Box 29-172  
**CHRISTCHURCH**

95164/00  
23 May 1997



Dear Roger

## Geotechnical Report for proposed New Valentines Restaurant

Please find enclosed the geotechnical report the proposed new restaurant on the corner of Main North Road and Northcote Road, Christchurch.

Please contact this office if you have any further questions.

Yours faithfully

**SOILS & FOUNDATIONS**

Per: Richard Young  
Geotechnical Engineer

coverlet.doc


- Geotechnical Engineering • Geological Reporting • Permit & Planning Applications
- Foundation Analysis, Design & Certification • Site Investigation • Earthworks Supervision
- Roading & Paving • Soil Stabilisation • Slope Stability • Groundwater & Dewatering
- Retaining Structures • Harbour & Coastal Works • Geomechanics Laboratory



# SOILS & FOUNDATIONS LTD.

|  |                              |                                |
|--|------------------------------|--------------------------------|
| Project: <b>NORTHCOTE/MAIN NORTH ROADS</b> | Project Number: <b>95164</b> | Boring ID. <b>HAS</b>          |
| Client: <b>Roger Vivian</b>                |                              | Sheet No. <b>1</b> of <b>1</b> |
| Boring Depth (m.): <b>4.0</b>              | Elevation:                   | Engineer: <b>G.Clark</b>       |
| Datum/Notes/                               |                              | Starting Date: <b>16/5/97</b>  |
|  |                              | Ending Date: <b>16/5/97</b>    |

| Elev. (m) | Depth (m) | Lithology           | Material Description   | Well Detail | Comments | Scale Penetration (mm/blow)                        |
|-----------|-----------|---------------------|--|-------------|----------|--|
|           |           |                     |  |             |          | 0                      50                      100 |
|           |           | [Diagonal Hatching] | Brown TOPSOIL.<br>-dry   |             |          |  |
|           |           | [Cross-hatching]    | Brown mottled orange SILT.<br>-firm                                    |             |          |  |
|           |           | [Cross-hatching]    | Brown and grey mottled orange SANDY SILT.<br>-soft                     |             |          |  |
|           | 1         | [Cross-hatching]    | Grey mottled orange SILT.<br>-firm<br>-softer with depth               | ▽           |          |  |
|           |           | [Cross-hatching]    | Grey mottled orange SANDY SILT.<br>-soft                               |             |          |  |
|           |           | [Cross-hatching]    | Red orange brown SANDY SILT<br>with a trace of gravel.<br>-fine gravel |             |          |  |
|           | 2         | [Cross-hatching]    | Blue grey CLAYEY SILT.<br>-soft<br>-plastic                            |             |          |  |
|           |           | [Cross-hatching]    | Grey CLAYEY SILT.<br>-soft   |             |          |  |
|           | 3         | [Cross-hatching]    |  |             |          |  |
|           | 4         | [Cross-hatching]    |  |             |          |  |

|  |   |                   |
|--|---|-------------------|
|  <p><b>CHRISTCHURCH</b><br/>THE GARDEN CITY<br/><i>The city that shines</i></p> | <p><b>CHRISTCHURCH CITY COUNCIL</b><br/>TELEPHONE - 3711 825      FAX - 3711 792<br/>P.O. BOX 237</p> | <p>Page 1</p>     |
|  | <p>LAND INFORMATION MEMORANDUM</p>  | <p>0009807354</p> |

|   |   |
|---|---|
| <p>Please Supply To : SHARMAN &amp; CO<br/>P.O. BOX 13 151<br/>CHRISTCHURCH</p> <p>Charge Code : 000010388<br/>Client Ref: VAL 26946.011; LJS<br/>Phone No: 379-7835<br/>Fax No: 366-3775</p> | <p>Property Address:<br/>3 NORTHCOTE ROAD</p> <p>Legal Description:<br/>LOT 1 DP 76152</p> <p>Existing Owner: VALENTINES PROPERTIES LTD<br/>Existing Use: RESIDENTIAL</p> |
|---|---|

For official Use:  
Pages Sent: 20      Date Received: 17-Sep-98

**This Information was Processed at: FENDALTON SERVICE CENTRE      Telephone: (03) 351-7109**

Note:  
The information provided on this form is based on existing Christchurch City Council records which may not be complete. No inspections of the property have been undertaken. Every care has been taken to ensure that the information is correct at the time of issue.

A search of records held by the council has revealed the following information:

- |   |  |
|---|--|
| 1. Characteristic details of the land or building | Records Held<br><input checked="" type="radio"/> Yes <input checked="" type="radio"/> No |
| 2. Details of Land Drainage and Sewerage Systems  | <input checked="" type="radio"/> Yes <input checked="" type="radio"/> No                 |
| 3. Annual rates: 19 <u>97</u> 19 <u>98</u> .      | \$ <u>14,870-65</u>  |
| Rates owing: As At <u>7/9/98</u> .                | \$ <u>—</u>  |
| 4. Excess water charges:                          | \$ <u>—</u>  |
| 5. Final water meter reading may be required      | Yes <input checked="" type="checkbox"/> No   |

This Information was Processed at: FENDALTON SERVICE CENTRE      Telephone: (03) 351-7109

*Hazard Report taken for LIM 19/1/99.*





**CHRISTCHURCH CITY COUNCIL**

TELEPHONE - 3711 825

FAX - 3711 792

P.O. BOX 237

Page 2

**LAND INFORMATION MEMORANDUM**

0009807354

Property Address: 3 NORTHCOTE ROAD

Records Held

6. Consents certificate, notices, orders, or requisitions affecting the land or any building on the land

(i) Building Permits

Yes

Previous to the current status of this parcel of land

29-MAY-86 FIREPLACE

29-SEP-93 SHOP STORAGE EXTENSION

25-NOV-92 PLUMBING ALTERATIONS

8-DEC-71 DWELLING

9-SEP-66 SHOP FRONT

19-APR-66 ADDITION SHOP

18-AUG-58 SHOPS

18-OCT-66 SHOP

26-NOV-56 ALTERATIONS

24-JUL-56 ADDITIONS TO SHOP

21-FEB-55 SKY SIGN

28-AUG-80 SIGN

3-JUN-80 STORE

16-MAR-78 ADDITIONS

8-JUN-76 LUNCH ROOM & TOILETS

(ii) Pims without any Consents applied for yet

No

(iii) Building Consents

Yes

Previous to the current status of this parcel of land

6-MAR-97 DEMOLITION OF SITE

Code Comp. Cert. Issued - 27-Aug-97

5-MAR-97 DEMOLITION OF SITE

Code Comp. Cert. Issued - 26-Aug-97

8-OCT-97 SIGN - Valentines

Code Comp. Cert. not issued

4-JUL-97 NEW RESTAURANT/DEMOLISH EXISTING

Code Comp. Cert. Issued - 5-Dec-97

*to S. Northcote  
in Northcote  
& main north.*

This Information was Processed at: FENDALTON SERVICE CENTRE

Telephone: (03) 351-7109



# CHRISTCHURCH CITY COUNCIL

TELEPHONE - 3711 825

FAX - 3711 792

P.O. BOX 237

Page 3

## LAND INFORMATION MEMORANDUM

0009807354

Property Address: 3 NORTHCOTE ROAD

Records Held

4-JUN-96 DEMOLISH SHOPS

Code Comp. Cert. not issued

(iv) Compliance Schedule : ..... *Not required.* ..... Yes / ~~No~~

(v) Current Warrant of Fitness : Expiry Date : ..... *Not required.* ..... Yes / ~~No~~

(vi) Registered Premises : ..... Yes / ~~No~~

(vii) Outstanding requirements: ..... ~~Yes~~ / No

(viii) Current Certificate of Registration/Licence: ..... Yes / ~~No~~

Type : Food ..... Yes / ~~No~~ Hairdressers ..... ~~Yes~~ / No

Funeral Director ..... ~~Yes~~ / No Dangerous Goods... ~~Yes~~ / No

Camping Grounds... ~~Yes~~ / No Liquor ..... Yes / ~~No~~

Other ..... *Valentines Rest. & Bar.* .....

(iv) Notification received of a Swimming Pool ..... No

(x) Complying fence for a Swimming Pool ..... No

(xi) Others ..... ~~Yes~~ / No

This Information was Processed at: FENDALTON SERVICE CENTRE

Telephone: (03) 351-7109

Property Address: 3 NORTHCOTE ROAD

Records Held

7. Planning Information:

(A) Operative Plan

(Prior to 24th June 1995)

Zoning: C/1  
Plan Section City

Designations on Site ..... ~~Yes~~ / No

Road Widening Designations ..... ~~Yes~~ / No

(C) Historic or Protected Bldg ..... ~~Yes~~ / No

Heritage/Notable Trees ..... ~~Yes~~ / No

Other Heritage Protection Items ..... ~~Yes~~ / No

(B) Proposed Plan

(Notified on 24th June 1995)

Zoning: B/1  
Special Amenity Area ..... ~~Yes~~ / No  
(SAM   /   )

Special Character Site ..... ~~Yes~~ / No

Community Footprint ..... ~~Yes~~ / No

Designations on Site ..... ~~Yes~~ / No

Road Widening Designations ..... Yes / ~~No~~

Historic or Protected Bldg ..... ~~Yes~~ / No

Heritage/Notable Trees ..... ~~Yes~~ / No

Other Heritage Protection Items ..... ~~Yes~~ / No

(D) Land Use Resource Consents


Yes

Previous to the current status of this parcel of land

This Information was Processed at: FENDALTON SERVICE CENTRE

Telephone: (03) 351-7109



|  |   |                   |
|--|---|-------------------|
|  <p><b>CHRISTCHURCH</b><br/>THE GARDEN CITY<br/><i>The city that shines</i></p> | <p><b>CHRISTCHURCH CITY COUNCIL</b><br/>TELEPHONE - 3711 825      FAX - 3711 792<br/>P.O. BOX 237</p> | <p>Page 5</p>     |
|  | <p>LAND INFORMATION MEMORANDUM</p>  | <p>0009807354</p> |

Property Address: 3 NORTHCOTE ROAD

Records Held

(GRANTED : 30-SEP-97) TO ERECT APPROXIMATELY 40M2 OF OUTDOOR ADVERTISING ON A SITE PERMITTED 31M2 IN AREA; TO ERECT OUTDOOR ADVERTISING CONTAINING LETTERS EXCEEDING 1 METRE IN HEIGHT; TO ERECT OUTDOOR ADVERTISING EXCEEDING 4 METRES IN HEIGHT; AND TO ERECT OUTDOOR ADVERTISING WITHIN 50 METRES OF AN INTERSECTION CONTROLLED BY TRAFFIC LIGHTS.


**Consent Conditions**

1. The development is to proceed in accordance with the plans submitted with the application and held on the Council's records as RC972613.

(GRANTED : 11-APR-97) TO ERECT OF A SINGLE STOREY RESTAURANT WITH A LIQUOR LICENCE AND ASSOCIATED CARPARKING.

**Consent Conditions**

1. The development is to proceed in accordance with the plans and details submitted with the application and held on the Council's records as RC970583.
2. That the proposed planting indicated on the landscaping plan attached in Appendix G of the application be implemented within 6 months of the uplift of a building consent for the proposed restaurant. All planting to be retained and maintained.
3. All specimen trees to be planted along the road boundaries and within the car park to be a minimum height of 1.5 metres at time of planting.
4. In addition to the fees payable for the processing of this application the applicant shall pay to the Council a monitoring fee of \$75.00. This monitoring fee covers the cost of setting up a monitoring programme and carrying out a site inspection to ensure compliance with the conditions imposed. Where further site inspections are required

|  |   |                   |
|--|---|-------------------|
|  <p><b>CHRISTCHURCH</b><br/>THE GARDEN CITY<br/><i>The city that shines</i></p> | <p><b>CHRISTCHURCH CITY COUNCIL</b><br/>TELEPHONE - 3711 825      FAX - 3711 792<br/>P.O. BOX 237</p> | <p>Page 6</p>     |
|  | <p>LAND INFORMATION MEMORANDUM</p>  | <p>0009807354</p> |

Property Address: 3 NORTHCOTE ROAD

Records Held


because of non-compliance with any of the conditions the Council may render and account to the consent holder for additional monitoring fees at the rate of \$60.00 per hour of the time involved.

(GRANTED : 23-SEP-93) CONSENT TO REDEVELOP SITE IN RESIDENTIAL 1 ZONE FOR COMMERCIAL PURPOSES

**Consent Conditions**

- 1 COMMERCIAL ACTIVITIES ON THE SITE BE LIMITED TO RETAIL SHOPS(EXCLUDING RESTAURANTS) ADMINISTRATIVE,COMMERCIAL & PROFESSIONAL OFFICES,MEDICAL & COMMUNITY FACILITIES,RESIDENTIAL ACCOMODATION & SERVICE INDUSTRIES & WAREHOUSES INCLUDED IN APPENDIX B, AS PERMITTED IN THE COMM 1 ZONE
- 2 THE TOTAL FLOOR AREA ON THOSE PARTS OF THE SITE SITUATED AT 177 MAIN NORTH ROAD & 5 NORTHCOTE RD - BE LIMITED TO 450M2 WITH A MINIMUM NUMBER OF FOUR SHOPS
- 3 COMMERCIAL ACTIVITIES ON THE SITE TO COMPLY WITH THE RELEVANT PERFORMANCE ELEMENTS & STANDARDS FOR EACH ACTIVITY IN THE COMM 1 ZONE,PROVIDED THAT THE MINIMUM BUILDING SETBACK & RECESSION PLANE IN RELATION TO THE ADJOINING RES ZONE PROPERTY AT 7 NORTHCOTE RD SHALL NOT APPLY
- 4 A TOTAL OF 40 CARPARKS TO BE PROVIDED ON SITE TO THE SATISFACTION OF THE AREA TRAFFIC ENGINEER. A CARPARKING PLAN, SHOWING VEHICLE CROSSINGS,LAYOUT & LANDCAPING IS TO BE SUBMITTED TO THE AREA TRAFFIC ENGINEER FOR APPROVAL PRIOR TO COMMERCIAL REDEVELOPMENT COMMENCING
- 5 THAT THE APPLICANT GIVE UP THE TWO EXISTING VEHICLE ACCESS POINTS TO HIS CORNER TITLES
- 6 THAT THE CARPARK BE DESIGNED TO ENSURE THAT IT WILL NOT BE USED AS A



|  |   |                   |
|--|---|-------------------|
|  <p><b>CHRISTCHURCH</b><br/>THE GARDEN CITY<br/><i>The city that shines</i></p> | <p><b>CHRISTCHURCH CITY COUNCIL</b><br/>TELEPHONE - 3711 825      FAX - 3711 792<br/>P.O. BOX 237</p> | <p>Page 7</p>     |
|  | <p>LAND INFORMATION MEMORANDUM</p>  | <p>0009807354</p> |

Property Address: 3 NORTHCOTE ROAD

Records Held

- VEHICULAR SHORT CUT FROM MAIN NORTH TO NORTHCOTE RD
- 7 ACCESS POINTS FROM THE CARPARK TO MAIN NORTH & NORTHCOTE RD TO BE AS FAR AS PRACTICABLE FROM THE INTERSECTION OF THOSE ROADS
- 8 THAT THE PROPOSAL OTHERWISE PROCEED GENERALLY IN ACCORDANCE WITH FIG 3 OF THE DONNITHORNE APPLICATION, PREPARED BY GABITES PORTER CONSULTANTS & PRODUCED AT THE HEARING

HELD : 23-DEC-97) VARIATION OF ORIGINAL RESOURCE CONSENT

**No Consent Conditions Exist**

(WITHDRAWN) SINGLE STOREY RESTAURANT WITH LIQUOR LICENCE AND ASSOCIATED CARPARKING.


**No Consent Conditions Exist**

(GRANTED : 9-MAR-79) CONSENT TO USE A CONCRETE BLOCK BUILDING FOR THE STORAGE AND PACKING OF DRY OPOSSUM SKINS. 7 OBJECTIONS

**Consent Conditions**

- 1 The use of the building the subject of the application shall be limited to the storage and packing of dry opossum skins only. No treatment or processing of skins is to be carried out on the site, and the use must be confined to those buildings for which consent is given.
- 2 The storage and packing of opossum skins shall only be permitted on the site where that storage and packing is in connection with the business of a person residing permanently on the site.
- 3 The site shall not be used for the storage and packing of opossum skins unless and until the use of the site or any part of it as a motor repair garage has completely ceased. At no time shall the site be used contemporaneously for the use to which this consent relates and for a motor repair garage.



|  |   |                   |
|--|---|-------------------|
|  <p><b>CHRISTCHURCH</b><br/>THE GARDEN CITY<br/><i>The city that shines</i></p> | <p><b>CHRISTCHURCH CITY COUNCIL</b><br/>TELEPHONE - 3711 825      FAX - 3711 792<br/>P.O. BOX 237</p> | <p>Page 8</p>     |
|  | <p>LAND INFORMATION MEMORANDUM</p>  | <p>0009807354</p> |

Property Address: 3 NORTHCOTE ROAD

Records Held

- 4 A 1.1m planting strip shall be constructed along the southern boundary of the site, and planted with such species of trees, shrubs and ground cover as may be approved by the Council's Director of Parks & Recreation. Such a landscaped strip shall be maintained to the satisfaction of the Director of Parks & Recreation.
- 5 All areas of the site used by motor vehicles, and in particular the driveway, shall be formed, sealed and drained to the satisfaction of the City Engineer


(DECLINED) SPECIFIED DEPARTURE TO USE A CONCRETE BLOCK BUILDING FOR THE STORAGE AND PACKING OF DRY OPPOSUM SKINS. 7 OBJECTIONS.

**No Consent Conditions Exist**

(GRANTED : 23-JUN-77) SPECIFIED DEPARTURE TO ALLOW A WORKSHOP TO BE USED IN THE REPAIR OF MOTOR VEHICLES TO BE EXTENDED. 2 OBJECTIONS.

**Consent Conditions**

- 1 COMPLIANCE WITH THE GENERAL DESIGN AND CONSTRUCTIONAL DETAILS ORDINANCE V CLAUSE 2(4)(d)(i) TO (vii) INCLUSIVE.
- 2 ANY AREAS USED BY VEHICLES TO BE FORMED, SEALED AND DRAINED TO THE SATISFACTION OF THE CITY ENGINEER.
- 3 THE COVERED BAY TO BE USED FOR CAR PARKING AND STORAGE ONLY, AND NO WORK TO BE UNDERTAKEN ON ANY VEHICLE WHILE PARKED IN THIS BAY.
- 4 ANY STORAGE OF MATERIALS WITHIN THE COVERED BAY TO COMPLY WITH ALL PROVISIONS OF THE DANGEROUS GOODS ACT.
- 5 COMPLIANCE WITH ALL BUILDING BYLAWS AND THE ISSUE OF A BUILDING PERMIT. COMPLIANCE WOULD INCLUDE THE FOLLOWING : SETBACK OF COVERED BAY TO A MINIMUM OF 1.5M FROM THE REAR BOUNDARY: THE CREATION OF A TWO HOUR FIRE RATING ALONG THE REAR WALL OF THE EXISTING WORKSHOP; A

|  |   |                   |
|--|---|-------------------|
|  <p><b>CHRISTCHURCH</b><br/>THE GARDEN CITY<br/><i>The city that shines</i></p> | <p><b>CHRISTCHURCH CITY COUNCIL</b><br/>TELEPHONE - 3711 825      FAX - 3711 792<br/>P.O. BOX 237</p> | <p>Page 9</p>     |
|  | <p>LAND INFORMATION MEMORANDUM</p>  | <p>0009807354</p> |

Property Address: 3 NORTHCOTE ROAD


Records Held

- MAXIMUM HEIGHT OF 2.7 METRES AT THE REAR OF THE EXISTING WORKSHOP.
- 6 IN RESPECT OF CONDITION 5, THE APPLICANT HAS THE RIGHT TO APPLY FOR A DISPENSATION SHOULD ANY VARIATION FROM THE CONDITION BE NECESSARY, SUCH AN APPLICATION TO BE ACCOMPANIED BY MORE DETAILED WORKING DRAWINGS
- 7 THE AREA OF LAND BETWEEN THE COVERED BAY AND NUMBER 5 NORTHCOTE ROAD TO BE KEPT CLEAR OF RUBBISH AND WEEDS AND NOT TO BE USED FOR ANY STORAGE.
- 8 A 1.1 METRE LANDSCAPING STRIP TO BE PROVIDED WHERE VEHICLE ACCESS AND PARKING AREAS ADJOIN RESIDENTIAL SITES, TO INCLUDE A NUMBER OF TREE SPECIMENS TO HELP SCREEN THE PROPERTY. A LANDSCAPING PLAN TO BE SUBMITTED AND APPROVED PRIOR TO THE ISSUE OF A BUILDING PERMIT AND THE AREA TO BE MAINTAINED TO THE SATISFACTION OF THE DIRECTOR OF PARKS AND RECREATION.
- 9 NO VEHICLES, EITHER AWAITING SERVICING OR ON COMPLETION OF SERVICING, TO BE PARKED ON THE ROAD.

8. Information notified to council by any statutory organisation having the power to classify land or buildings for any purpose: ..... ~~Yes~~ / No

This Information was Processed at: FENDALTON SERVICE CENTRE

Telephone: (03) 351-7109

|   |  |            |
|---|--|------------|
|  | <b>CHRISTCHURCH CITY COUNCIL</b><br>TELEPHONE - 3711 825      FAX - 3711 792<br>P.O. BOX 237 | Page 10    |
|   | LAND INFORMATION MEMORANDUM  | 0009807354 |

Property Address: 3 NORTHCOTE ROAD

Records Held

9. Information notified to council by any network utility operator pursuant to the Building Act 1991: ... ~~Yes~~ No

10. Refuse Collection Day

The 52 bags which the Council delivers each year are for the refuse generated on that property during the year. When moving house (or flat) all refuse bags should be left behind for the new owners. There should be enough to last until next May.

Note : This site is (or has been) also known by the following alternate addresses :

- (Obsolete Usage) 7 NORTHCOTE ROAD
- (Obsolete Usage) 5 NORTHCOTE ROAD
- (Obsolete Usage) 3 NORTHCOTE ROAD
- (Obsolete Usage) 185 MAIN NORTH ROAD
- (Obsolete Usage) 183 MAIN NORTH ROAD
- (Obsolete Usage) 181 MAIN NORTH ROAD
- (Obsolete Usage) 179 MAIN NORTH ROAD
- (Obsolete Usage) 187 MAIN NORTH ROAD
- (Obsolete Usage) 177 MAIN NORTH ROAD


**To enable Council to measure the accuracy of this LIM document based on our current records, we would appreciate your response should you find any information contained therein which may be considered to be incorrect.**

**Please telephone the appropriate Service Centre as shown on the front page of this LIM.**

This Information was Processed at: FENDALTON SERVICE CENTRE

Telephone: (03) 351-7109



|   |   |                |
|---|---|----------------|
|  <p>CHRISTCHURCH<br/>THE GARDEN CITY<br/><i>The city that shines</i></p> | <p>CHRISTCHURCH CITY COUNCIL</p> <p>Supplementary Land Information Memorandum</p> <p>Details of Land Drainage and Sewerage System</p> | <p>11</p>      |
|   |   | <p>9807354</p> |

- \* A drainage plan is attached. Should this plan not be sufficiently clear, another copy may be obtained by phoning 3711-300.
- \* The dwelling/building is shown to be served by a sewer drain and a stormwater drain.
- \* The Council's drainage plan records do not show any other pipelines, drains or watercourses.
- \* This property is situated adjacent to Lydia St drain which is classified as an Utility waterway in the Christchurch City Plan. Any development, filling or excavation within 5 metres of the bank will require a Resource Consent.
- \* Any proposed building on the site will be required to meet a minimum floor level. This may require the land to be raised to a specific level.
- \* This area is currently being checked for downpipes/gully traps which allow stormwater to enter the sewer system. Owners are required to correct any faults found. An inspection to check the current status can be obtained free of charge from Associated Environmental Services Ltd ph: 0800 166 225. Please allow two working days for an inspection.
- \* The records held by this Unit do not show any history of flooding or drainage problems on this property.
- \* The drainage component of this LIM has been compiled from records held by the Water Services and Waste Management Units of the Christchurch City Council and was researched by Nina Nikora, ph 3711-309.






*LIM 9807354 - Resource Consents within 100m of 3 Northcote Road*

*Scale 1:1000*



|  |   |                   |
|--|---|-------------------|
|  <p><b>CHRISTCHURCH</b><br/>THE GARDEN CITY<br/><i>The city that shines</i></p> | <p><b>CHRISTCHURCH CITY COUNCIL</b><br/>TELEPHONE - 3711 825      FAX - 3711 792<br/>P.O. BOX 237</p> | <p>Page 1</p>     |
|  | <p>LAND INFORMATION MEMORANDUM</p>  | <p>0009900442</p> |

|   |  |
|---|--|
| <p>Please Supply To : RAYMOND SULLIVAN MCGLASHAN<br/>P O BOX 557<br/>TIMARU</p> | <p>Property Address:<br/>3 NORTHCOTE ROAD</p>    |
| <p>Charge Code : 000000025</p>  | <p>Legal Description:<br/>LOT 1 DP 76152</p>     |
| <p>Client Ref: 25249</p>  | <p>Existing Owner: VALENTINES PROPERTIES LTD</p> |
| <p>Phone No: 684-5179</p>   | <p>Existing Use:</p>                             |
| <p>Fax No: 688-0145</p>   |  |
| <p>For official Use:<br/>Pages Sent: 20      Date Received: 19-Jan-99</p>       |  |

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Note:  
The information provided on this form is based on existing Christchurch City Council records which may not be complete. No inspections of the property have been undertaken. Every care has been taken to ensure that the information is correct at the time of issue.

A search of records held by the council has revealed the following information:

- |   |  |   |
|---|--|---|
| 1 | Characteristic details of the land or building               | Records Held  |
|   |  | <input checked="" type="radio"/> Yes / <input type="radio"/> No |
| 2 | Details of Land Drainage and Sewerage Systems                | <input type="radio"/> Yes / <input checked="" type="radio"/> No |
| 3 | Annual rates: 19 <del>98</del> 19 <sup>99</sup> \$ 15,282-85 |   |
|   | Rates owing: As At 19/1 99 .      \$ 3,855-05                |   |
| 4 | Excess water charges:      \$ _____                          |   |
| 5 | Final water meter reading may be required                    | <input checked="" type="radio"/> Yes / <input type="radio"/> No |


This Information was Processed at: FENDALTON SERVICE CENTRE      Telephone: (03) 351-7109

Property Address: 3 NORTHCOTE ROAD

|  | Records Held                        |
|--|-------------------------------------|
| 6. Consents certificate, notices, orders, or requisitions affecting the land or any building on the land |                                     |
| (i) Building Permits   | Yes                                 |
| Previous to the current status of this parcel of land  |                                     |
| 29-MAY-86 FIREPLACE  |                                     |
| 29-SEP-93 SHOP STORAGE EXTENSION   |                                     |
| 25-NOV-92 PLUMBING ALTERATIONS   |                                     |
| 8-DEC-71 DWELLING  |                                     |
| 9-SEP-66 SHOP FRONT  |                                     |
| 19-APR-66 ADDITION SHOP  |                                     |
| 18-AUG-58 SHOPS  |                                     |
| 18-OCT-66 SHOP   |                                     |
| 26-NOV-56 ALTERATIONS  |                                     |
| 24-JUL-56 ADDITIONS TO SHOP  |                                     |
| 21-FEB-55 SKY SIGN   |                                     |
| 28-AUG-80 SIGN   |                                     |
| 3-JUN-80 STORE   |                                     |
| 16-MAR-78 ADDITIONS  |                                     |
| 8-JUN-76 LUNCH ROOM & TOILETS  |                                     |
| .....  |                                     |
| (ii) Pims without any Consents applied for yet   | No                                  |
| .....  |                                     |
| (iii) Building Consents  | Yes                                 |
| Previous to the current status of this parcel of land  |                                     |
| 6-MAR-97 DEMOLITION OF SITE - 5 Northcote  | Code Comp. Cert. Issued - 27-Aug-97 |
| 5-MAR-97 DEMOLITION OF SITE - <i>chr main nth &amp; Northcote</i>  | Code Comp. Cert. Issued - 26-Aug-97 |
| 8-OCT-97 SIGN 'VALENTINES'   | Code Comp. Cert. not issued         |
| 4-JUL-97 NEW RESTAURANT/DEMOLISH EXISTING  | Code Comp. Cert. Issued - 5-Dec-97  |

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|   |  |            |
|---|--|------------|
|  | <b>CHRISTCHURCH CITY COUNCIL</b><br>TELEPHONE - 3711 825      FAX - 3711 792<br>P.O. BOX 237 | Page 3     |
|   | LAND INFORMATION MEMORANDUM  | 0009900442 |

Property Address: 3 NORTHCOTE ROAD

Records Held

4-JUN-96 DEMOLISH SHOPS

Code Comp. Cert. Issued - 9-Dec-98

- .....
- (iv) Compliance Schedule : ..... *not required.* ..... Yes / ~~No~~
- (v) Current Warrant of Fitness : Expiry Date : ..... *not required.* ..... Yes / ~~No~~
- (vi) Registered Premises : ..... Yes / ~~No~~
- (vii) Outstanding requirements: ..... ~~Yes~~ / No
- (viii) Current Certificate of Registration/Licence: ..... Yes / ~~No~~
- Type :    Food..... Yes / No    Hairdressers..... ~~Yes~~ / No  
           Funeral Director ..... ~~Yes~~ / No    Dangerous Goods... ~~Yes~~ / No  
           Camping Grounds..... ~~Yes~~ / No    Liquor ..... Yes / No  
           Other ... *Valentines Restaurant & Bar.* .....
- (iv) Notification received of a Swimming Pool ..... No
- (x) Complying fence for a Swimming Pool ..... No
- (xi) Others ..... ~~Yes~~ / No
- .....

This Information was Processed at: FENDALTON SERVICE CENTRE

Telephone: (03) 351-7109



Property Address: 3 NORTHCOTE ROAD

Records Held

7. Planning Information:

(A) Operative Plan

(Prior to 24th June 1995)

Zoning: C/1  
Plan Section City

Designations on Site ..... ~~Yes~~ / No

Road Widening Designations ..... Yes / ~~No~~

(C) Historic or Protected Bldg ..... ~~Yes~~ / No

Heritage/Notable Trees ..... ~~Yes~~ / No

Other Heritage Protection Items ..... ~~Yes~~ / No

(B) Proposed Plan

(Notified on 24th June 1995)

Zoning: B/1  
Special Amenity Area ..... ~~Yes~~ / No

(SAM   /   )

Special Character Site ..... ~~Yes~~ / No

Community Footprint ..... ~~Yes~~ / No

Designations on Site ..... ~~Yes~~ / No

Road Widening Designations ..... Yes / ~~No~~

Historic or Protected Bldg ..... ~~Yes~~ / No

Heritage/Notable Trees ..... ~~Yes~~ / No

Other Heritage Protection Items ..... ~~Yes~~ / No


(D) Land Use Resource Consents

Yes

Previous to the current status of this parcel of land

This Information was Processed at: FENDALTON SERVICE CENTRE

Telephone: (03) 351-7109

|  |   |                   |
|--|---|-------------------|
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|  | <p>LAND INFORMATION MEMORANDUM</p>  | <p>0009900442</p> |

Property Address: 3 NORTHCOTE ROAD

Records Held

(GRANTED : 30-SEP-97) TO ERECT APPROXIMATELY 40M<sup>2</sup> OF OUTDOOR ADVERTISING ON A SITE PERMITTED 31M<sup>2</sup> IN AREA; TO ERECT OUTDOOR ADVERTISING CONTAINING LETTERS EXCEEDING 1 METRE IN HEIGHT; TO ERECT OUTDOOR ADVERTISING EXCEEDING 4 METRES IN HEIGHT; AND TO ERECT OUTDOOR ADVERTISING WITHIN 50 METRES OF AN INTERSECTION CONTROLLED BY TRAFFIC LIGHTS.


**Consent Conditions**

- 1 The development is to proceed in accordance with the plans submitted with the application and held on the Council's records as RC972613.

(GRANTED : 11-APR-97) TO ERECT OF A SINGLE STOREY RESTAURANT WITH A LIQUOR LICENCE AND ASSOCIATED CARPARKING.

**Consent Conditions**

- 1 The development is to proceed in accordance with the plans and details submitted with the application and held on the Council's records as RC970583.
- 2 That the proposed planting indicated on the landscaping plan attached in Appendix G of the application be implemented within 6 months of the uplift of a building consent for the proposed restaurant. All planting to be retained and maintained.
- 3 All specimen trees to be planted along the road boundaries and within the car park to be a minimum height of 1.5 metres at time of planting.
- 4 In addition to the fees payable for the processing of this application the applicant shall pay to the Council a monitoring fee of \$75.00. This monitoring fee covers the cost of setting up a monitoring programme and carrying out a site inspection to ensure compliance with the conditions imposed. Where further site inspections are required

|  |   |                   |
|--|---|-------------------|
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|  | <p>LAND INFORMATION MEMORANDUM</p>  | <p>0009900442</p> |

Property Address: 3 NORTHCOTE ROAD

Records Held


because of non-compliance with any of the conditons the Council may render and account to the consent holder for additional monitoring fees at the rate of \$60.00 per hour of the time involved.

(GRANTED : 23-SEP-93) CONSENT TO REDEVELOP SITE IN RESIDENTIAL 1 ZONE FOR COMMERCIAL PURPOSES

**Consent Conditions**

- 1 COMMERCIAL ACTIVITIES ON THE SITE BE LIMITED TO RETAIL SHOPS(EXCLUDING RESTAURANTS) ADMINISTRATIVE,COMMERCIAL & PROFESSIONAL OFFICES,MEDICAL & COMMUNITY FACILITIES,RESIDENTIAL ACCOMODATION & SERVICE INDUSTRIES & WAREHOUSES INCLUDED IN APPENDIX B, AS PERMITTED IN THE COMM 1 ZONE
- 2 THE TOTAL FLOOR AREA ON THOSE PARTS OF THE SITE SITUATED AT 177 MAIN NORTH ROAD & 5 NORTHCOTE RD - BE LIMITED TO 450M2 WITH A MINIMUM NUMBER OF FOUR SHOPS
- 3 COMMERCIAL ACTIVITIES ON THE SITE TO COMPLY WITH THE RELEVANT PERFORMANCE ELEMENTS & STANDARDS FOR EACH ACTIVITY IN THE COMM 1 ZONE.PROVIDED THAT THE MINIMUM BUILDING SETBACK & RECESSION PLANE IN RELATION TO THE ADJOINING RES ZONE PROPERTY AT 7 NORTHCOTE RD SHALL NOT APPLY
- 4 A TOTAL OF 40 CARPARKS TO BE PROVIDED ON SITE TO THE SATISFACTION OF THE AREA TRAFFIC ENGINEER. A CARPARKING PLAN, SHOWING VEHICLE CROSSINGS,LAYOUT & LANDCAPING IS TO BE SUBMITTED TO THE AREA TRAFFIC ENGINEER FOR APPROVAL PRIOR TO COMMERCIAL REDEVELOPMENT COMMENCING
- 5 THAT THE APPLICANT GIVE UP THE TWO EXISTING VEHICLE ACCESS POINTS TO HIS CORNER TITLES
- 6 THAT THE CARPARK BE DESIGNED TO ENSURE THAT IT WILL NOT BE USED AS A



|  |   |                   |
|--|---|-------------------|
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|  | <p>LAND INFORMATION MEMORANDUM</p>  | <p>0009900442</p> |

Property Address: 3 NORTHCOTE ROAD

Records Held

VEHICULAR SHORT CUT FROM MAIN NORTH TO NORTHCOTE RD

- 7 ACCESS POINTS FROM THE CARPARK TO MAIN NORTH & NORTHCOTE RD TO BE AS FAR AS PRACTICABLE FROM THE INTERSECTION OF THOSE ROADS
- 8 THAT THE PROPOSAL OTHERWISE PROCEED GENERALLY IN ACCORDANCE WITH FIG 3 OF THE DONNITHORNE APPLICATION, PREPARED BY GABITES PORTER CONSULTANTS & PRODUCED AT THE HEARING

HELD : 23-DEC-97) VARIATION OF ORIGINAL RESOURCE CONSENT

**No Consent Conditions Exist**


(WITHDRAWN) SINGLE STOREY RESTAURANT WITH LIQUOR LICENCE AND ASSOCIATED CARPARKING.

**No Consent Conditions Exist**

(GRANTED : 9-MAR-79) CONSENT TO USE A CONCRETE BLOCK BUILDING FOR THE STORAGE AND PACKING OF DRY OPOSSUM SKINS. 7 OBJECTIONS

**Consent Conditions**

- 1 The use of the building the subject of the application shall be limited to the storage and packing of dry opossum skins only. No treatment or processing of skins is to be carried out on the site, and the use must be confined to those buildings for which consent is given.
- 2 The storage and packing of opossum skins shall only be permitted on the site where that storage and packing is in connection with the business of a person residing permanently on the site.
- 3 The site shall not be used for the storage and packing of opossum skins unless and until the use of the site or any part of it as a motor repair garage has completely ceased. At no time shall the site be used contemporaneously for the use to which this consent relates and for a motor repair garage.

|  |   |                   |
|--|---|-------------------|
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|  | <p>LAND INFORMATION MEMORANDUM</p>  | <p>0009900442</p> |

Property Address: 3 NORTHCOTE ROAD

Records Held

- 4 A 1.1m planting strip shall be constructed along the southern boundary of the site, and planted with such species of trees, shrubs and ground cover as may be approved by the Council's Director of Parks & Recreation. Such a landscaped strip shall be maintained to the satisfaction of the Director of Parks & Recreation.
- 5 All areas of the site used by motor vehicles, and in particular the driveway, shall be formed, sealed and drained to the satisfaction of the City Engineer


(DECLINED) SPECIFIED DEPARTURE TO USE A CONCRETE BLOCK BUILDING FOR THE STORAGE AND PACKING OF DRY OPPOSUM SKINS. 7 OBJECTIONS.

**No Consent Conditions Exist**

(GRANTED : 23-JUN-77) SPECIFIED DEPARTURE TO ALLOW A WORKSHOP TO BE USED IN THE REPAIR OF MOTOR VEHICLES TO BE EXTENDED. 2 OBJECTIONS.

**Consent Conditions**

- 1 COMPLIANCE WITH THE GENERAL DESIGN AND CONSTRUCTIONAL DETAILS ORDINANCE V CLAUSE 2(4)(d)(i) TO (vii) INCLUSIVE.
- 2 ANY AREAS USED BY VEHICLES TO BE FORMED, SEALED AND DRAINED TO THE SATISFACTION OF THE CITY ENGINEER.
- 3 THE COVERED BAY TO BE USED FOR CAR PARKING AND STORAGE ONLY, AND NO WORK TO BE UNDERTAKEN ON ANY VEHICLE WHILE PARKED IN THIS BAY.
- 4 ANY STORAGE OF MATERIALS WITHIN THE COVERED BAY TO COMPLY WITH ALL PROVISIONS OF THE DANGEROUS GOODS ACT.
- 5 COMPLIANCE WITH ALL BUILDING BYLAWS AND THE ISSUE OF A BUILDING PERMIT. COMPLIANCE WOULD INCLUDE THE FOLLOWING : SETBACK OF COVERED BAY TO A MINIMUM OF 1.5M FROM THE REAR BOUNDARY: THE CREATION OF A TWO HOUR FIRE RATING ALONG THE REAR WALL OF THE EXISTING WORKSHOP; A

|  |   |                   |
|--|---|-------------------|
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|  | <p>LAND INFORMATION MEMORANDUM</p>  | <p>0009900442</p> |

Property Address: 3 NORTHCOTE ROAD

Records Held


- MAXIMUM HEIGHT OF 2.7 METRES AT THE REAR OF THE EXISTING WORKSHOP.
- 6 IN RESPECT OF CONDITION 5, THE APPLICANT HAS THE RIGHT TO APPLY FOR A DISPENSATION SHOULD ANY VARIATION FROM THE CONDITION BE NECESSARY, SUCH AN APPLICATION TO BE ACCOMPANIED BY MORE DETAILED WORKING DRAWINGS.
- 7 THE AREA OF LAND BETWEEN THE COVERED BAY AND NUMBER 5 NORTHCOTE ROAD TO BE KEPT CLEAR OF RUBBISH AND WEEDS AND NOT TO BE USED FOR ANY STORAGE.
- 8 A 1.1 METRE LANDSCAPING STRIP TO BE PROVIDED WHERE VEHICLE ACCESS AND PARKING AREAS ADJOIN RESIDENTIAL SITES, TO INCLUDE A NUMBER OF TREE SPECIMENS TO HELP SCREEN THE PROPERTY. A LANDSCAPING PLAN TO BE SUBMITTED AND APPROVED PRIOR TO THE ISSUE OF A BUILDING PERMIT AND THE AREA TO BE MAINTAINED TO THE SATISFACTION OF THE DIRECTOR OF PARKS AND RECREATION.
- 9 NO VEHICLES, EITHER AWAITING SERVICING OR ON COMPLETION OF SERVICING, TO BE PARKED ON THE ROAD.

8. Information notified to council by any statutory organisation having the power to classify land or buildings for any purpose: .....  / No

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|  |   |                   |
|--|---|-------------------|
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|  | <p>LAND INFORMATION MEMORANDUM</p>  | <p>0009900442</p> |

Property Address: 3 NORTHCOTE ROAD

Records Held

9. Information notified to council by any network utility operator pursuant to the Building Act 1991: ... ~~Yes~~ / No

10. Refuse Collection

The 52 bags which the Council delivers each year are for the refuse generated on that property during the year. When moving house (or flat) all refuse bags should be left behind for the new owners. There should be enough to last until next May.

Note : This site is (or has been) also known by the following alternate addresses :


- (Obsolete Usage) 7 NORTHCOTE ROAD
- (Obsolete Usage) 5 NORTHCOTE ROAD
- (Obsolete Usage) 3 NORTHCOTE ROAD
- (Obsolete Usage) 185 MAIN NORTH ROAD
- (Obsolete Usage) 183 MAIN NORTH ROAD
- (Obsolete Usage) 181 MAIN NORTH ROAD
- (Obsolete Usage) 179 MAIN NORTH ROAD
- (Obsolete Usage) 187 MAIN NORTH ROAD
- (Obsolete Usage) 177 MAIN NORTH ROAD

**To enable Council to measure the accuracy of this LIM document based on our current records, we would appreciate your response should you find any information contained therein which may be considered to be incorrect.**

**Please telephone the appropriate Service Centre as shown on the front page of this LIM.**

This Information was Processed at: FENDALTON SERVICE CENTRE

Telephone: (03) 351-7109

|   |   |                |
|---|---|----------------|
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|   |   | <p>9900442</p> |

- \* A drainage plan is attached. Should this plan not be sufficiently clear, another copy may be obtained by phoning 3711-300.
- \* The dwelling/building is shown to be served by a sewer drain and a stormwater drain.
- \* This property is situated adjacent to the Lydia Street Drain which is classified as an utility waterway in the Christchurch City Plan. Any development, filling or excavation within 5 metres of the bank will require a Resource Consent.
- \* The Council's drainage plan records do not show any other pipelines, drains or watercourses.
- \* Any proposed building on the site will be required to meet a minimum floor level. This may require the land to be raised to a specific level.
- \* The records held by this Unit do not show any history of flooding or drainage problems on this property.
- \* The drainage component of this LIM has been compiled from records held by the Water Services and Waste Management Units of the Christchurch City Council and was researched by Nina Nikora, ph 3711-309.







*LIM 9900442 - Resource Consents within 100m of 3 Northcote Road*

*Scale 1:1000*

**171 Main North Road**

333/88/D Consent Type: Dispensation  
Date of Decision: 7 December 1988  
Applicant:

Non-Notified  
**Granted**

Description:

Dispensation To Remove Three Notable Trees (manna Gum Trees) Protected As Notable Trees. No. 114, Appendix K.

**171 Main North Road**

RC982248 Consent Type: Discretionary Activity  
Date of Decision: 1 September 1998  
Applicant: Mark Treadgold

Non-Notified  
**Granted**

Description:

Installation Of One 7 Ton Carbon Dioxide Tank Which Exceeds The Quantity Of Hazardous Substance Permitted To Be Sotred And Will Not Be 100% Bunded In Terms Of The Rules Of The Proposed City Plan.

**177 Main North Road**

421/78/SD Consent Type: Specified Departure S74  
Date of Decision: 21 June 1978  
Applicant:

Non-Notified  
**Declined**

Description:

Specified Departure To Use A Concrete Block Building For The Storage And Packing Of Dry Opposum Skins. 7 Objections.

**177 Main North Road**

391/77/SD Consent Type: Specified Departure S74  
Date of Decision: 23 June 1977  
Applicant:

Non-Notified  
**Granted**

Description:

Specified Departure To Allow A Workshop To Be Used In The Repair Of Motor Vehicles To Be Extended. 2 Objections.

**5 Northcote Road**

181/93/NCA Consent Type: Non Complying Activity  
Date of Decision: 23 September 1993  
Applicant: A.r. Donnithorne

Notified  
**Granted**

Description:

Consent To Redevelop Site In Residential 1 Zone For Commercial Purposes

**5 Northcote Road**

RC972613 Consent Type: Discretionary Activity  
Date of Decision: 30 September 1997  
Applicant: Netheravon Holdings Ltd

Non-Notified  
**Granted**

Description:

To Erect Approximaely 40m2 Of Outdoor Advertising On A Site Permitted 31m2 In Area; To Erect Outdoor Advertising Containing Letters Exceeding 1 Metre In Height; To Erect Outdoor Advertising Exceeding 4 Metres In Height; And To Erect Outdoor Advertising Within 50 Metres Of An Intersection Controlled By Traffic Lights.

**5 Northcote Road**

RC973704                      Consent Type: Discretionary Activity  
Date of Application: 23 December 1997  
Applicant: John Keen Claude Neon Advertising Ltd

Non-Notified  
**Held**

Description:  
Variation Of Original Resource Consent

**5 Northcote Road**

RC963031                      Consent Type: Non Complying Activity  
Date of Application: 26 November 1996  
Applicant: Netheravon Holdings Ltd

Non-Notified  
**Withdrawn**

Description:  
Single Storey Restaurant With Liquor Licence And Associated Carparking.

**5 Northcote Road**

RC970583                      Consent Type: Non Complying Activity  
Date of Decision: 11 April 1997  
Applicant: Andrew Donnithorne

Non-Notified  
**Granted**

Description:  
To Erect Of A Single Storey Restaurant With A Liquor Licence And Associated Carparking.

**8 Northcote Road**

RC955393                      Consent Type: Discretionary Activity  
Date of Decision: 6 November 1995  
Applicant: Ray Hawthorne

Non-Notified  
**Granted**

Description:  
2nd Dwelling Unit With Garage.

**8 Northcote Road**

RC951462                      Consent Type: Certificate Of Compliance  
Date of Application: 5 June 1995  
Applicant: Ray Hawthorne & Associates

Non-Notified  
**Declined**

Description:  
2nd Unit Attached Garage

End of Data

---

**Data Quality Statement**

All resource consents are shown for sites that have been labelled with an address.

For sites that have been labelled with a cross (+) no resource consents have been found.

Sites that have no label have not been checked for resource consents. This will be particularly noticeable on the margins of the search area radius. If there are such sites and you would like them to be included in the check, please ask for the LIM spatial query to be rerun accordingly. This will be done free of charge although there may be a short delay.



Sheet 4 - LIM 9900442

Resource consents which are on land occupied by roads, railways or rivers are not, and currently cannot be, displayed, either on the map or in the list.

Resource consents that relate to land that has since been subdivided, will be shown in the list, but not on the map. They will be under the address of the land as it was at the time the resource consent was applied for.

Resource consents that are listed as Non-notified and have a status of applied, may in fact be notified resource consents that have not yet been through the notification process. If in doubt, please contact your nearest Service Centre for clarification.

End of Report

# SOILS & FOUNDATIONS

Geotechnical Consulting Engineers

Soils & Foundations (1973) Ltd  
Tower 2, Deans Park, 7 Deans Avenue,  
PO Box 13-052, Christchurch, New Zealand  
Facsimile 64-3-366 7780  
Telephone 64-3-379 8432

Roger Vivian  
P O Box 29-172  
**CHRISTCHURCH**

95164/00  
23 May 1997



Dear Roger

## Geotechnical Report for proposed New Valentines Restaurant

Please find enclosed the geotechnical report the proposed new restaurant on the corner of Main North Road and Northcote Road, Christchurch.

Please contact this office if you have any further questions.

Yours faithfully

**SOILS & FOUNDATIONS**

Per: Richard Young  
Geotechnical Engineer

coverlet.doc

- Geotechnical Engineering • Geological Reporting • Permit & Planning Applications
- Foundation Analysis, Design & Certification • Site Investigation • Earthworks Supervision
- Roading & Paving • Soil Stabilisation • Slope Stability • Groundwater & Dewatering
- Retaining Structures • Harbour & Coastal Works • Geomechanics Laboratory

**Roger Vivian**  
**Geotechnical Investigation**  
**Corner of Main North Road and Northcote Road**

---

## 1.0 Introduction

Soils and Foundations has carried out a site investigation at the corner of Main North Road and Northcote Road, Christchurch.

The site fronts onto Northcote Avenue to the north and Main North Road to the east and measures approximately 57m on the west boundary and 83m on the south boundary. We understand that a new Valentines restaurant building, covering a footprint plan area of 460m<sup>2</sup> will be constructed in the north east corner of the site.

At this stage the proposed building is single storey and is of light weight steel framed construction with a concrete slab on grade. The structural engineer, Mr Vivian has advised that preliminary column loads are in the order of 40 to 50 kN.

## 2.0 Sub-surface Investigation

Seven handauger boreholes, HA1- HA7 were carried out over the site. HA1 and HA5 were taken to 4.0m depth., HA2 and HA7 were taken to 3.0m depth and HA3, HA4 and HA6 were taken to 2.0m depth. A Scala penetrometer profile complements each borehole.

The location of all tests to date are shown on the site plan, 95164/01 which has been appended along with the borelog profiles and Scala test results.

## 3.0 Sub-surface Information

Generally, the boreholes indicate that the east side of the site adjacent to Main North Road is covered with fill which overlays natural silt and sandy silt. Elsewhere over the site the natural soils underlay a thin topsoil layer.

HA1 and HA2 indicates 0.4 to 0.6m of fill comprising asphalt, sand and sandy gravel overlaying interbedded silt, clayey silt and sandy silt. Scala testing indicates firm soils, exceeding 100kPa allowable bearing capacity to 1.8m depth. The clayey silt extends below 1.8m, beyond the range of the Scala equipment, but drilling and inspection of recovered sample indicated them to be soft and plastic.

The remaining boreholes indicate a similar interbedded soil profile underlaying approximately 0.15m of topsoil. Scala testing indicated a soft layer of silt an average depth of 0.3m extending to approximately 0.7m depth. As before, the clayey silts occur below the limits of the Scala test but drilling indicated it to be soft and plastic.

Due to the uneven topography it is difficult to infer the depth of the water table but it should occur at approximately 0.75m depth as measured at the time of investigation. This is high for this area and may indicate a perched water table on top of the clayey silt.

## 4.0 Recommendations

### 4.1 Foundations

Shallow pads and strip footings should be suitable under the structure subject to confirmation of the design loads at the columns and along the walls. Use an allowable bearing capacity of 100 kPa.



Roger Vivian  
 Geotechnical Investigation  
 Corner of Main North Road and Northcote Road

All footings must be located as high as possible and preferably at about 0.3m depth. This will require that the contractor overexcavates fill or soft soil at each footing location to approximately 0.7m depth. Levels should then be reinstated to the underside of the footings with compacted hardfill. All filling and compaction should be carried out in layer thicknesses not exceeding 0.15m.

The location of the water table should not unduly influence deeper excavations. However, if there are sustained periods of rain prior to the work being carried out excavations may have to be carried out in the wet.

4.2 *Carpark area.*

Mr Vivian has requested that we comment on design guidelines for the carparking area. However, this area was not investigated and soil conditions should be confirmed with at least one further investigation during construction phase. This is likely to involve a series of Scala tests to confirm design CBR values.

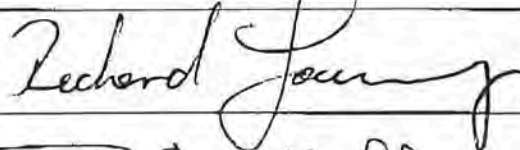
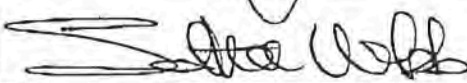
The testing carried out for the building itself indicates an average CBR in the order of 5% at approximately 0.7m depth. Above this depth the soils are too variable and soft to be relied upon to provide adequate resistance to wheel loads. Therefore, we recommend that the entire area of the carpark is stripped to 0.7m depth and this subbase be inspected by Soils and Foundations before the construction of the pavement begins. We anticipate that a flexible pavement solution is sought and refer the reader to the Transit NZ design standards and the Christchurch City Council guidelines for further design information. These documents include advice on required cross falls and drainage solutions. Please note that concentrated surface runoff must be directed to suitable disposal and you have to check with the City Council guidelines before any connections are made to existing pipes or drains.

6.0 **Limitations**

The subsurface soil profile at this site has been inferred from isolated boreholes. If, when construction begins the contractor finds that conditions differ significantly from those described in this report this office must be notified immediately.

This report has been prepared solely for the benefit Roger Vivian and the Christchurch City Council. No liability is accepted by this Company or any employee or sub-consultant of this company with respect to its use by any other person.

This disclaimer shall apply notwithstanding that the report may be made available to other persons for an application for permission or approval or to fulfil a legal requirement.

|             |  |                    |
|-------------|--|--------------------|
| Prepared by | <br>Richard Young | 23 MAY '97<br>Date |
| Reviewed by | <br>Samantha Web  | 23/5/97<br>Date    |

Main North Road.

Northcote Road.

Proposed  
Valentines Restraunt.

HA2.

HA1.

HA3.

HA4.

HA5.

HA6.

HA7.



Northcote / Main North Roads.

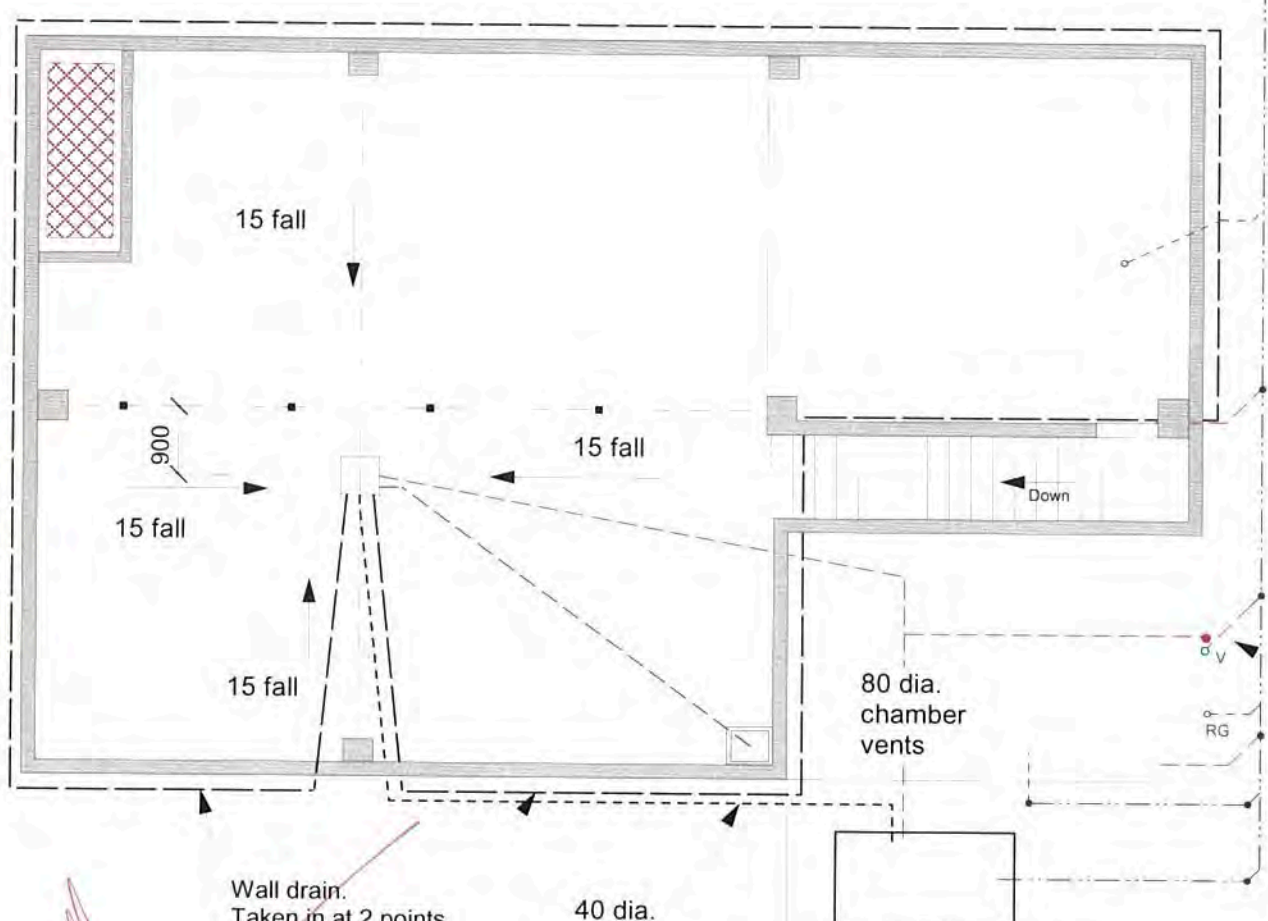
Drawn G.A.C

SOILS & FOUNDATIONS

Date 14.5.97

Figure 95164/01.





*Water and drainage*

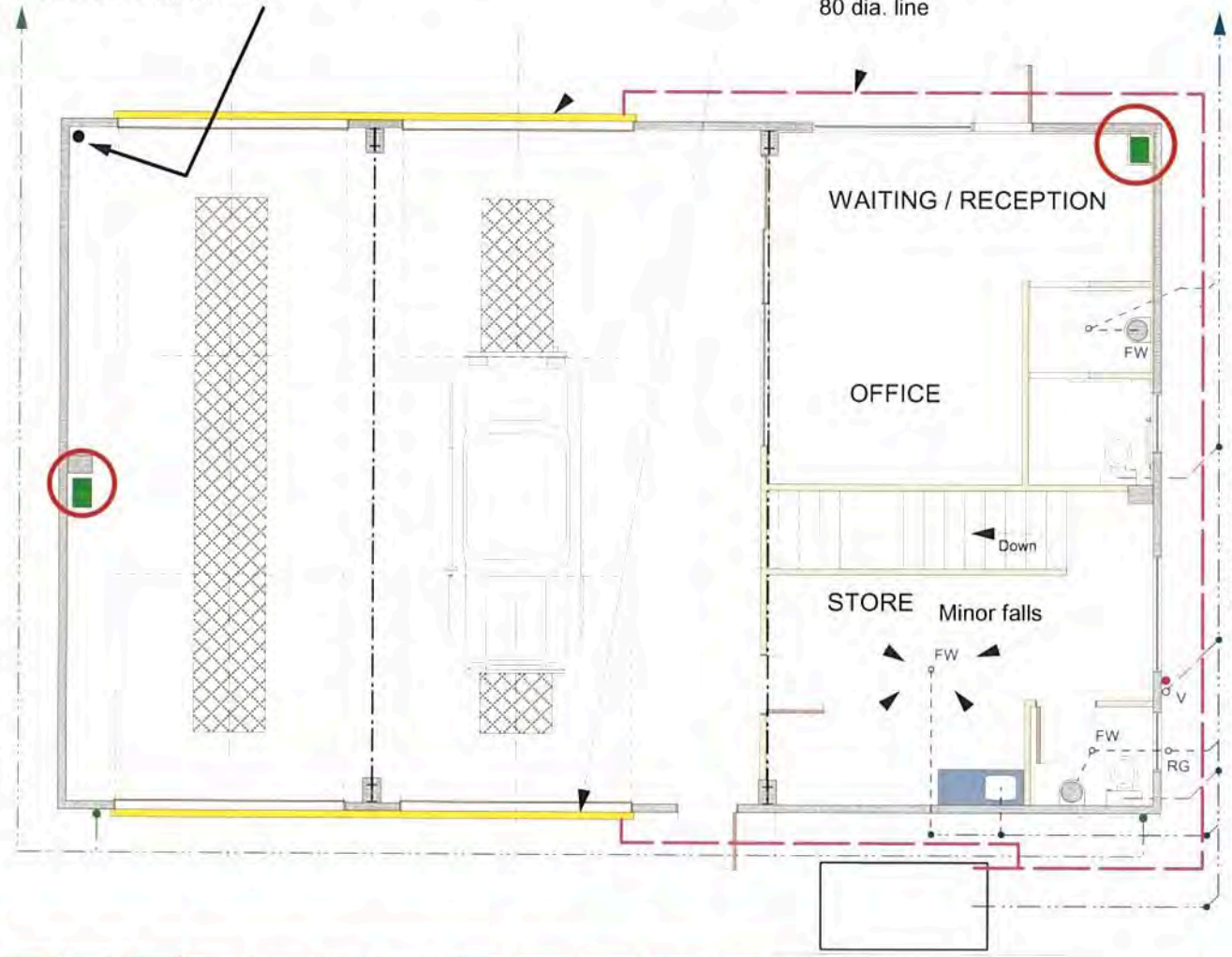
Wall drain.  
 Taken in at 2 points  
 into floor waste.  
 110 dia. uPVC pipe  
 perforated with 10 dia.  
 holes

40 dia.  
 Alkathene  
 waste line  
 from the  
 pump

80 dia. Vent  
 taken 900 higher  
 than roof

110 dia. uPVC pipe cast in thru floor -  
 As close as practical to corner.  
 Leave sticking above floor 150mm  
 Allows waste oil line

Door drains - prevents oil spill egressing building  
 ad will pass through Oil Interceptor



Indicates 2 possible locations for the subfloor ventilation ducts.  
 Ventilation company to advise a hole sizes and confirm locations.  
 Main contractor to allow for minor framing in roof space for the  
 ventilation equipment.  
 For further details of requirement, visit the Hornby Branch of  
 Oil Changers to see these works

- Inspection Point
- Waste Line - 65dia.
- Waste Line - 40 dia.
- FW ○ Floor Waste Gully
- Sewer Line - 110dia. uPVC laid min. 1:120
- Sewer Line - 80dia. uPVC
- Gully Trap
- V ○ MainVent - 50 dia. - 65 dia. in ground.
- + Garden Tap
- Stormwater Line - 110dia. uPVC laid min. 1:120
- Downpipe min. 80dia.
- Power / Phone Supply
- Water Supply
- BIG ○ Back inlet gully
- RG ○ Overflow Relief gully
- Overflow relief pipe
- Type 1 Drive sump

CHRISTCHURCH CITY COUNCIL  
 FILE COPY *[Signature]*  
 CONSENT DOCUMENT  
 23 JUN 2003  
 All building work shall comply with the  
 New Zealand Building Code notwith-  
 standing any inconsistencies which may  
 occur in the drawings and specifications.

| ISSUE     | AMENDMENT            | DATE           |
|-----------|----------------------|----------------|
| CAD ref : | OC's Northcote A.mcd | © R. Abernethy |
| DESIGN    | Ross Abernethy       | Sept. 2000     |
| DRAWN     | Ross Abernethy       | Mar. 2003      |

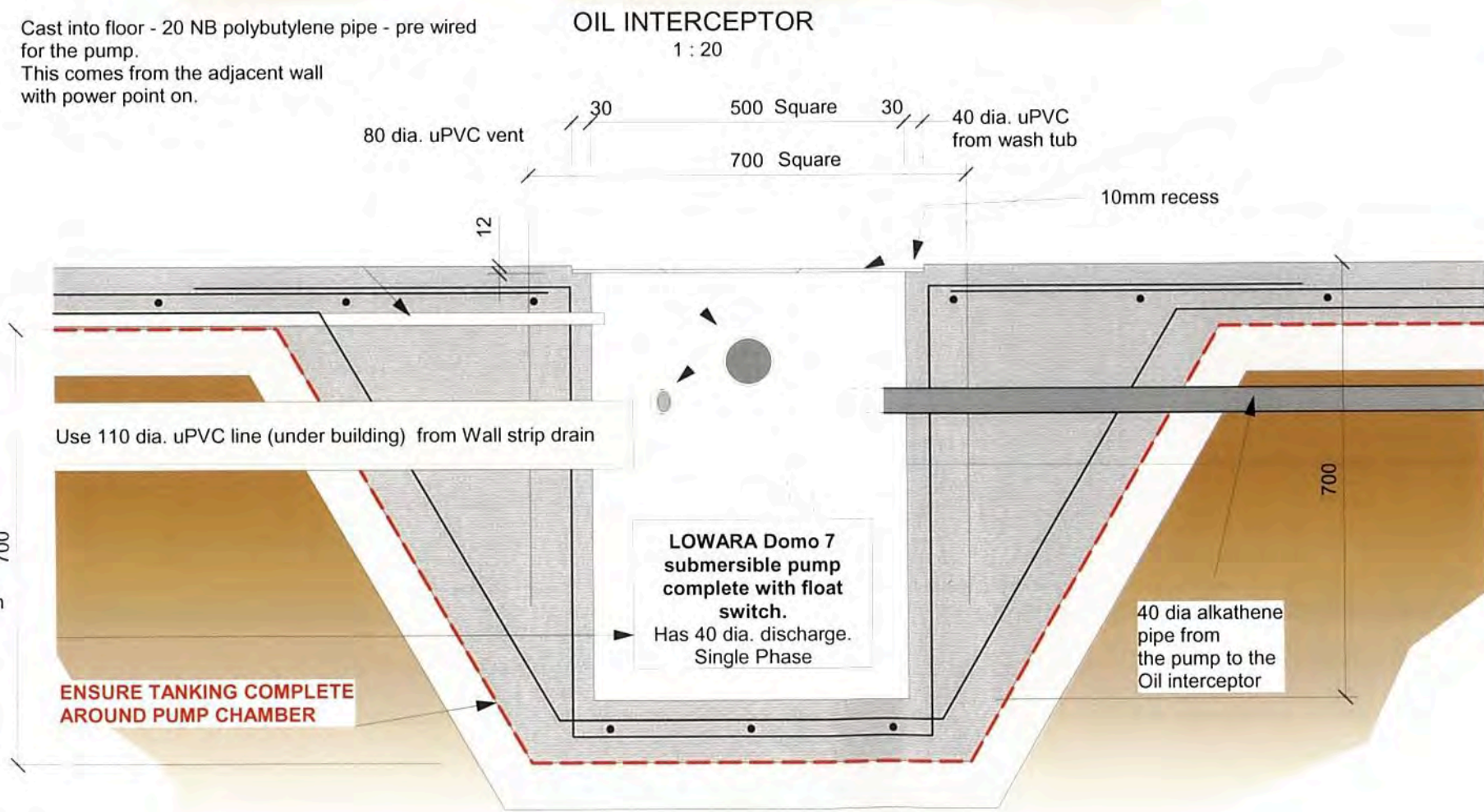
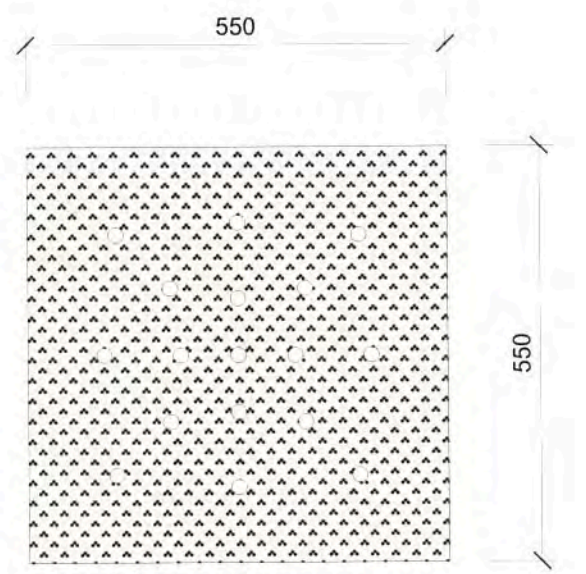
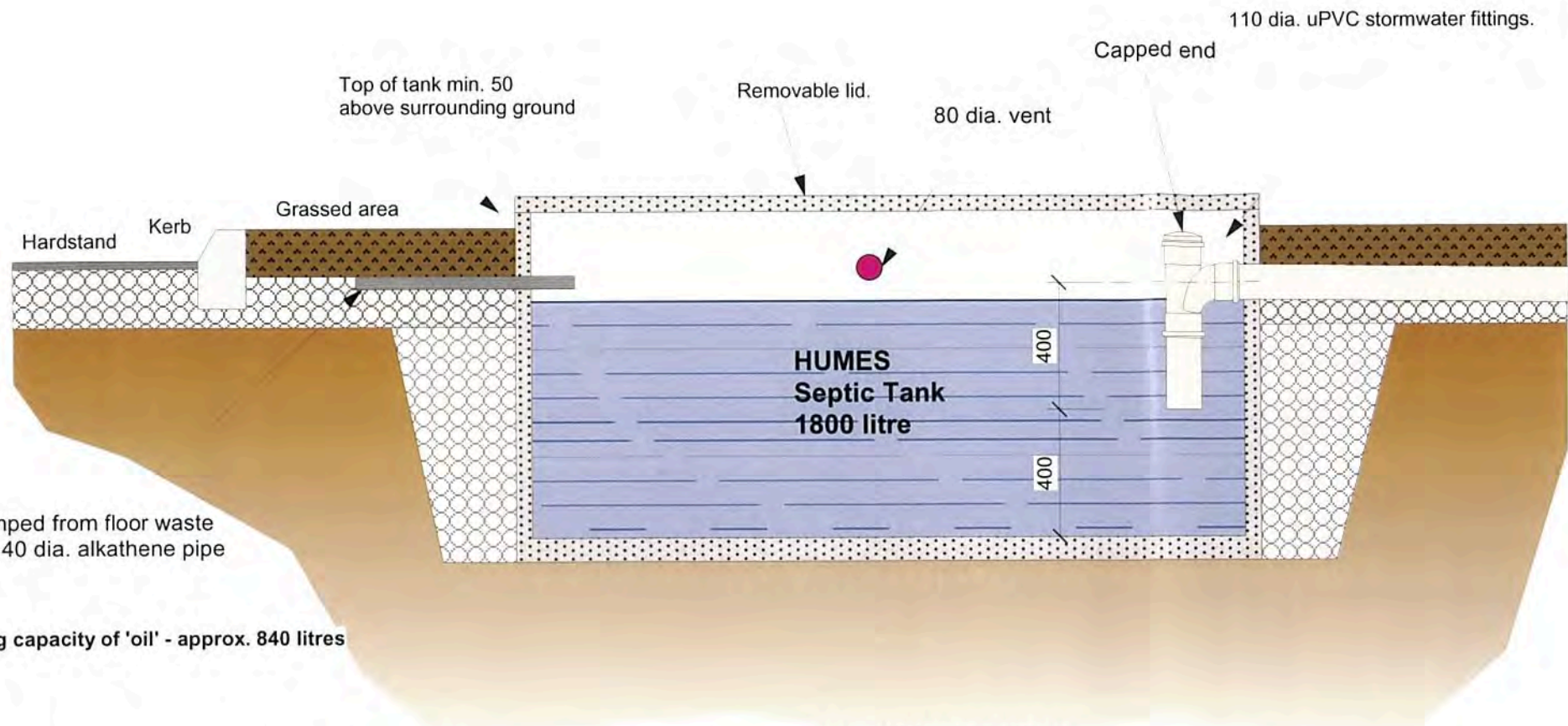
Drainage as per AS/NZS 3500.2.2

Proposed Oil Changers - Main North / Northcote Roads

SERVICES

| STATUS | Construction | TOTAL SHEETS | SHEET | ISSUE |
|--------|--------------|--------------|-------|-------|
| SCALE  | 1 : 100      | 14           | 8     | A     |





CHRISTCHURCH CITY COUNCIL  
 FILE COPY...  
 CONSENT DOCUMENT  
 23 JUN 2003  
 All building work shall comply with the  
 New Zealand Building Code notwith-  
 standing any inconsistencies which may  
 occur in the drawings and specifications.

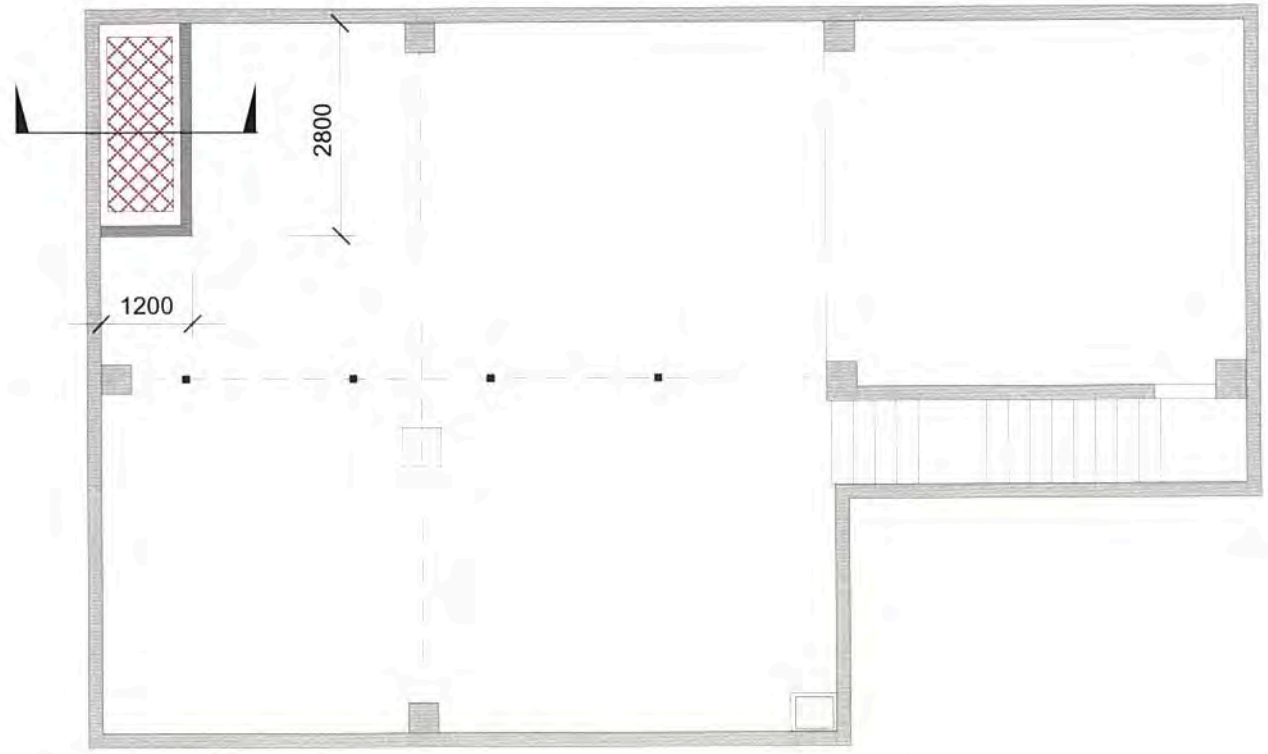
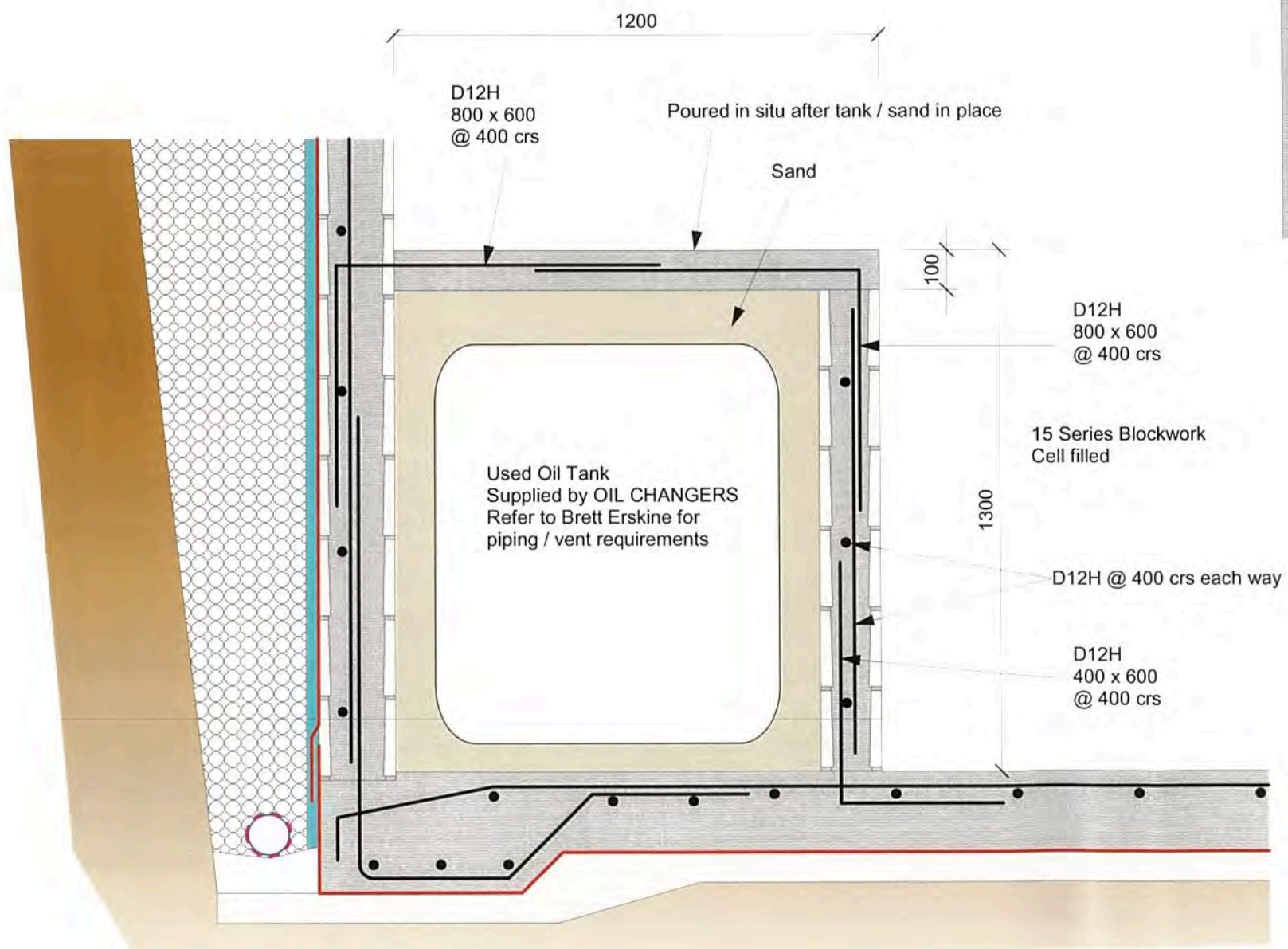
| ISSUE     | AMENDMENT            | DATE           |
|-----------|----------------------|----------------|
| CAD ref : | OC's Northcote A.mcd | © R. Abernethy |
| DESIGN    | Ross Abernethy       | Sept. 2000     |
| DRAWN     | Ross Abernethy       | Mar. 2003      |

Proposed Oil Changers - Main North / Northcote Roads

| STATUS | Construction     | TOTAL SHEETS | SHEET | ISSUE |
|--------|------------------|--------------|-------|-------|
| SCALE  | 1 : 20<br>1 : 10 | 14           | 10    | A     |

DRAINAGE DETAILS





CHRISTCHURCH CITY COUNCIL  
 FILE COPY *Manna*  
 CONSENT DOCUMENT  
 23 JUN 2003  
 All building work shall comply with the New Zealand Building Code notwithstanding any inconsistencies which may occur in the drawings and specifications.

| ISSUE     | AMENDMENT                 | DATE                           |
|-----------|---------------------------|--------------------------------|
| CAD ref : | OC's Northcote A.mcd      | © R. Abernethy                 |
| DESIGN    | Ross Abernethy Sept. 2000 | DRAWN Ross Abernethy Mar. 2003 |

Proposed Oil Changers - Main North / Northcote Roads

USED OIL TANK DETAILS

| STATUS | Construction | TOTAL SHEETS | SHEET | ISSUE |
|--------|--------------|--------------|-------|-------|
| SCALE  | 1:15         | 14           | 14    | A     |

# LAND INFORMATION MEMORANDUM

Page 1

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LIM No:  
LIM70096856

"This Land Information Memorandum has been prepared for the purpose of s.44A of the Local Government Official Information and Meetings Act 1987, and contains all the information known to the Christchurch City Council to be relevant to the land as detailed in subsection (2). It is based on a search of Council records only and there may be other information relating to the land which is unknown to the council. Council records may not show illegal or unauthorised building or works on the property. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose."

**Please Supply to:**

MITCHELL &amp; MACKERSY

PO BOX 29301

CHRISTCHURCH 8030

Client Reference: ARM JANTY 8

Phone No: 3514140

Fax No: 351-4144

Date Received: 28/04/2008

Date Issued : 1/05/2008

**Property Address:**

7 NORTHCOTE ROAD PAPANUI

**Legal Description:**

LOT 1 DEPOSITED PLAN 76152 (DP 76152)

**Valuation Roll Number:** 22170 36800**Valuation Information:** Rating Valuation as at 01 Aug 2007Capital Value:\$4460000 Land Value: \$999000 Improvements Value:  
\$3461000*Please Note: These Values are intended for Rating purposes only***Existing Owner:****A search of records held by the council has revealed the following information:****1. Annual rates to : 30/06/ 2008** \$20595.27 For Rates Enquiries Please Phone: 941 8999

|                | <u>Instalment Amount</u> | <u>Date Due</u> |
|----------------|--------------------------|-----------------|
| Instalment 1 : | \$5148.82                | 15/08/2007      |
| Instalment 2 : | \$5148.82                | 15/11/2007      |
| Instalment 3 : | \$5148.82                | 15/02/2008      |
| Instalment 4 : | \$5148.81                | 15/05/2008      |

Rates Owing as at : 1/05/2008 \$5148.81

- 2. Excess Water Charges** \$0.00  
**3. Final water meter reading may be required** YES

**For Office Use:**Debtor Number: 3167658  
LIM Number: LIM, 70096856  
Property ID: 815586  
Rate Account ID: 1381053**This Information was Processed at: Civic Offices**

Telephone : (03) 941 8825



# LAND INFORMATION MEMORANDUM



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LIM No:  
LIM70096856

## 4. Consents Certificate, notices, orders, or requisitions affecting the land and buildings

For Building Enquiries Please Phone: 941 8995

### i. Building Permits:

PER55111737 Completed

Applied: 8/12/1955 Issued Date: 21/02/1955

SKY SIGN

PER56110328 Completed

Applied: 11/07/1956 Issued Date: 24/07/1956

ADDITIONS TO SHOP

PER56110718 Completed

Applied: 19/11/1956 Issued Date: 26/11/1956

ALTERATIONS

PER58111502 Completed

Applied: 1/08/1958 Issued Date: 18/08/1958

SHOPS

PER66111566 Completed

Applied: 15/03/1966 Issued Date: 19/04/1966

ADDITION SHOP

PER66111115 Completed

Applied: 12/07/1966 Issued Date: 18/10/1966

SHOP

This Information was Processed at: Civic Offices

CHRISTCHURCH CITY COUNCIL  
P.O. BOX 237, CHRISTCHURCH

# LAND INFORMATION MEMORANDUM



CHRISTCHURCH  
CITY COUNCIL ENVIRONMENT

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LIM No:  
LIM70096856

PER66110791 Completed

Applied: 5/09/1966 Issued Date: 09/09/1966

## SHOP FRONT

PER71111188 Completed

Applied: 28/10/1971 Issued Date: 08/12/1971

## DWELLING

PER76110932 Completed

Applied: 27/05/1976 Issued Date: 08/06/1976

## LUNCH ROOM & TOILETS

PER78110410 Completed

Applied: 27/02/1978 Issued Date: 16/03/1978

## ADDITIONS

PER80111483 Completed

Applied: 5/05/1980 Issued Date: 03/06/1980

## STORE

PER80111073 Completed

Applied: 23/06/1980 Issued Date: 28/08/1980

## SIGN

PER86000842 Completed

Applied: 29/05/1986 Issued Date: 29/05/1986

## FIREPLACE

This Information was Processed at: **Civic Offices**

CHRISTCHURCH CITY COUNCIL  
P.O. BOX 237, CHRISTCHURCH

# LAND INFORMATION MEMORANDUM



CHRISTCHURCH  
CITY COUNCIL ENVIRONMENT

4

LIM No:  
LIM70096856

PER92008274 Completed

Applied: 16/11/1992 Issued Date: 29/09/1993

SHOP STORAGE EXTENSION

PER92008855 Completed

Applied: 25/11/1992 Issued Date: 25/11/1992

PLUMBING ALTERATIONS

## ii. Project Information Memoranda:

ABA10032220 Completed

Applied: 14/02/2003

PIM Issued Date: 06/03/2003

INTERNAL ALTERATIONS TO CREATE TWO TENANCIES  
MOTOR SERVICE BUILDING

## iii. Building Consents:

ABA10035109 Completed

Applied: 22/05/2003 Issued Date: 01/08/2003

Code Compliance Certificate Issued Date: 07/04/2006

NEW BUILDING / MOTOR SERVICING

ABA10039030 Current (In Progress)

Applied: 25/09/2003 Issued Date: 18/11/2003

PIM Issued Date: 06/10/2003

CHANGE OF USE & ALTERATIONS: RESTAURANT CONVERTED INTO  
THREE SHOPS (EXCL. SIGNS)  
file stored at Beckenham

This Information was Processed at: Civic Offices

CHRISTCHURCH CITY COUNCIL  
P.O. BOX 237, CHRISTCHURCH



# LAND INFORMATION MEMORANDUM



CHRISTCHURCH  
CITY COUNCIL ENVIRONMENT

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LIM No:  
LIM70096856

CON96004272 Completed Applied: 16/05/1996 Issued Date: 04/06/1996  
Code Compliance Certificate Issued Date: 09/12/1998

Demolish shops commercial/ demolition of shops

CON97001180 Completed Applied: 21/02/1997 Issued Date: 06/03/1997  
Code Compliance Certificate Issued Date: 27/08/1997

Demolition of site housing/ demolition of site

CON97001181 Completed Applied: 21/02/1997 Issued Date: 05/03/1997  
Code Compliance Certificate Issued Date: 26/08/1997

Demolition of site housing/ demolition of site

CON97004566 Completed Applied: 27/05/1997 Issued Date: 04/07/1997  
Code Compliance Certificate Issued Date: 05/12/1997

NEW RESTAURANT-DEMOLISH EXISTING  
COMMERCIAL-NEW RESTAURANT-DEMOLISH EXISTING

CON97008219 Lapsed Applied: 1/10/1997 Issued Date: 08/10/1997

Sign - Valentines miscellaneous/ sign

iv. Building Act Certificates of Acceptance: ...None recorded for this Property

v. Building Act Exemptions: ...None recorded for this Property

This Information was Processed at: **Civic Offices**

CHRISTCHURCH CITY COUNCIL  
P.O. BOX 237, CHRISTCHURCH

# LAND INFORMATION MEMORANDUM



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LIM No:  
LIM70096856

vi. Registered Premises: \_\_\_\_\_

...None recorded for this Property \_\_\_\_\_

vii. Hazardous Substance Test Certificate: \_\_\_\_\_

...None recorded for this Property \_\_\_\_\_

viii. Building Warrant Of Fitness: \_\_\_\_\_

...None recorded for this Property \_\_\_\_\_

This Information was Processed at: **Civic Offices**

CHRISTCHURCH CITY COUNCIL  
P.O. BOX 237, CHRISTCHURCH

# LAND INFORMATION MEMORANDUM



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LIM No:  
LIM70096856

## 5. Planning Information:

For Planning Enquiries Please Phone: 941 8999

### (A) Transitional Plan

Zoning

Res G  
Waimairi

Designations on Site Yes / No

Road Widening Designations Yes / No

### (B) Proposed Plan

Zoning

Business 1 (Local Centre)

- |                                    |    |
|------------------------------------|----|
| 1. Special Amenity Area            | No |
| 2. Community Footprint             | No |
| 3. Opposite Important Open Space   | No |
| 4. Designations on Site            | No |
| 5. Road Widening Designations      | No |
| 6. Historic or Protected Bldg      | No |
| 7. Other Heritage Protection Items | No |
| 8. Protected Trees                 |    |
| - Heritage/Notable Tree            | No |
| - Other eg. Category A,B,C         | No |
| Street Plantings; Subdivision      |    |
| Trees                              |    |
| 9. Noise Control                   | No |
| 10. Coastal Protection             | No |
| 11. Landscape Protection           | No |

Note - The Council is not required to include all information in a LIM that is apparent from the Transitional District Plan or the Proposed City Plan. However it is this Council's current practice to include planning information that it considers will be helpful to the LIM applicant. Please note that the planning information provided is not exhaustive, and reference to the Transitional District Plan and the Proposed City Plan is recommended.

### (C) Land Use Resource Consents

RES 9210599 Completed Applied: 14/02/1977  
Application Granted, Consent Issued : 23/06/1977

Specified departure to allow a workshop to be used in the repair of motor vehicles to be extended. 2 objections.

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CHRISTCHURCH CITY COUNCIL  
P.O. BOX 237, CHRISTCHURCH



# LAND INFORMATION MEMORANDUM



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LIM No:  
LIM70096856

**RES 9210595** Completed Applied: 2/02/1978  
Application Declined 21/06/1978

Specified departure to use a concrete block building for the storage and packing of dry opossum skins. 7 objections.

**RES 9218002** Completed Applied: 2/02/1978  
Application Granted, Consent Issued : 09/03/1979

Consent to use a concrete block building for the storage and packing of dry opossum skins. 7 objections

**RES 9217109** Completed Applied: 9/06/1993  
Application Granted, Consent Issued : 23/09/1993

Consent to redevelop site in residential 1 zone for commercial purposes

**RES 963031** Completed Applied: 26/11/1996  
Application Declined

Single storey restaurant with liquor licence and associated carparking.

**RES 970583** Completed Applied: 13/03/1997  
Application Granted, Consent Issued : 11/04/1997

To erect of a single storey restaurant with a liquor licence and associated carparking.

**RES 972613** Completed Applied: 19/09/1997  
Application Granted, Consent Issued : 30/09/1997

To erect approximately 40m<sup>2</sup> of outdoor advertising on a site permitted 31m<sup>2</sup> in area; to erect outdoor advertising containing letters exceeding 1 metre in height; to erect outdoor advertising exceeding 4 metres in height; and to erect outdoor a

**RES 973704** Completed Applied: 23/12/1997  
Application Declined

To erect a 10 metre high freestanding illuminated sign on the Northcote Road frontage of the Valentines site.

This Information was Processed at: **Civic Offices**

CHRISTCHURCH CITY COUNCIL  
P.O. BOX 237, CHRISTCHURCH

# LAND INFORMATION MEMORANDUM



CHRISTCHURCH  
CITY COUNCIL ENVIRONMENT

9

LIM No:  
LIM70096856

RMA 2863 Completed

Applied: 12/01/1998

Fee Simple SUBDIVISION

RMA20013089 Completed

Applied: 26/03/2003

Application Granted, Consent Issued : 28/04/2003

New motor vehicle servicing building and alterations to existing building that has various non-compliances.

RMA20014122 Completed

Applied: 15/07/2003

Application Granted, Consent Issued : 23/07/2003

Amendments to original consent granted rma20013089

RMA20015205 Withdrawn

Applied: 30/10/2003

To erect two free standing signs and signage on the building that does not comply with area permitted

RMA20015206 Completed

Applied: 30/10/2003

Application Granted, Consent Issued : 20/11/2003

To alter the existing commercial building into 3 retail units. Vehicle generation & access distance from intersection rules are not met.

RMA20015513 Completed

Applied: 3/12/2003

Application Granted, Consent Issued : 20/01/2004

Works to Main North Road between Farquhars and Englefield Roads, including the widening of the road to four lanes.

This Information was Processed at: Civic Offices

CHRISTCHURCH CITY COUNCIL  
P.O. BOX 237, CHRISTCHURCH

# LAND INFORMATION MEMORANDUM



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LIM No:  
LIM70096856

## Resource Consent Conditions Relating to the above Resource Consents

### **RES 970583**

The development is to proceed in accordance with the plans and details submitted with the application and held on the Council's records as RC970583.

That the proposed planting indicated on the landscaping plan attached in Appendix G of the application be implemented within 6 months of the uplift of a building consent for the proposed restaurant. All planting to be retained and maintained.

All specimen trees to be planted along the road boundaries and within the car park to be a minimum height of 1.5 metres at time of planting.

In addition to the fees payable for the processing of this application the applicant shall pay to the Council a monitoring fee of \$75.00. This monitoring fee covers the cost of setting up a monitoring programme and carrying out a site inspection to ensure compliance with the conditions imposed. Where further site inspections are required because of non-compliance with any of the conditions the Council may render and account to the consent holder for additional monitoring fees at the rate of \$60.00 per hour of the time involved.

## Resource Consent Conditions Relating to the above Resource Consents

### **RES 972613**

The development is to proceed in accordance with the plans submitted with the application and held on the Council's records as RC972613.

## Resource Consent Conditions Relating to the above Resource Consents

### **RES 9210599**

COMPLIANCE WITH THE GENERAL DESIGN AND CONSTRUCTIONAL DETAILS ORDINANCE V CLAUSE 2(4)(d)(i) TO (vii) INCLUSIVE.

ANY AREAS USED BY VEHICLES TO BE FORMED, SEALED AND DRAINED TO THE SATISFACTION OF THE CITY ENGINEER.

THE COVERED BAY TO BE USED FOR CAR PARKING AND STORAGE ONLY, AND NO WORK TO BE UNDERTAKEN ON ANY VEHICLE WHILE PARKED IN THIS BAY.

ANY STORAGE OF MATERIALS WITHIN THE COVERED BAY TO COMPLY WITH ALL PROVISIONS OF THE DANGEROUS GOODS ACT.

COMPLIANCE WITH ALL BUILDING BYLAWS AND THE ISSUE OF A BUILDING PERMIT.

COMPLIANCE WOULD INCLUDE THE FOLLOWING : SETBACK OF COVERED BAY TO A MINIMUM OF 1.5M FROM THE REAR BOUNDARY; THE CREATION OF A TWO HOUR FIRE RATING ALONG THE REAR WALL OF THE EXISTING WORKSHOP; A MAXIMUM HEIGHT OF 2.7 METRES AT THE REAR OF THE EXISTING WORKSHOP.

IN RESPECT OF CONDITION 5, THE APPLICANT HAS THE RIGHT TO APPLY FOR A DISPENSATION SHOULD ANY VARIATION FROM THE CONDITION BE NECESSARY, SUCH AN APPLICATION TO BE ACCOMPANIED BY MORE DETAILED WORKING DRAWINGS.

THE AREA OF LAND BETWEEN THE COVERED BAY AND NUMBER 5 NORTHCOTE ROAD TO BE KEPT CLEAR OF RUBBISH AND WEEDS AND NOT TO BE USED FOR ANY STORAGE.

A 1.1 METRE LANDSCAPING STRIP TO BE PROVIDED WHERE VEHICLE ACCESS AND PARKING AREAS ADJOIN RESIDENTIAL SITES, TO INCLUDE A NUMBER OF TREE SPECIMENS TO HELP SCREEN THE PROPERTY. A LANDSCAPING PLAN TO BE SUBMITTED AND APPROVED PRIOR TO THE ISSUE OF A BUILDING PERMIT AND THE AREA TO BE MAINTAINED TO THE SATISFACTION OF THE DIRECTOR OF PARKS AND RECREATION.

NO VEHICLES, EITHER AWAITING SERVICING OR ON COMPLETION OF SERVICING, TO BE PARKED ON THE ROAD.

## Resource Consent Conditions Relating to the above Resource Consents

### **RES 9217109**

COMMERCIAL ACTIVITIES ON THE SITE BE LIMITED TO RETAIL SHOPS(EXCLUDING RESTAURANTS) ADMINISTRATIVE,COMMERCIAL & PROFESSIONAL OFFICES,MEDICAL & COMMUNITY FACILITIES,RESIDENTIAL ACCOMODATION & SERVICE INDUSTRIES & WAREHOUSES INCLUDED IN APPENDIX B, AS PERMITTED IN THE COMM 1 ZONE

THE TOTAL FLOOR AREA ON THOSE PARTS OF THE SITE SITUATED AT 177 MAIN NORTH ROAD & 5 NORTHCOTE RD - BE LIMITED TO 450M2 WITH A MINIMUM NUMBER OF FOUR SHOPS  
COMMERCIAL ACTIVITIES ON THE SITE TO COMPLY WITH THE RELEVANT PERFORMANCE ELEMENTS & STANDARDS FOR EACH ACTIVITY IN THE COMM 1 ZONE,PROVIDED THAT THE MINIMUM BUILDING SETBACK & RECESSION PLANE IN RELATION TO THE ADJOINING RES ZONE PROPERTY AT 7 NORTHCOTE RD SHALL NOT APPLY

This Information was Processed at: **Civic Offices**



# LAND INFORMATION MEMORANDUM



LIM No:  
LIM70096856

A TOTAL OF 40 CARPARKS TO BE PROVIDED ON SITE TO THE SATISFACTION OF THE AREA TRAFFIC ENGINEER. A CARPARKING PLAN, SHOWING VEHICLE CROSSINGS, LAYOUT & LANDSCAPING IS TO BE SUBMITTED TO THE AREA TRAFFIC ENGINEER FOR APPROVAL PRIOR TO COMMERCIAL REDEVELOPMENT COMMENCING  
THAT THE APPLICANT GIVE UP THE TWO EXISTING VEHICLE ACCESS POINTS TO HIS CORNER TITLES  
THAT THE CARPARK BE DESIGNED TO ENSURE THAT IT WILL NOT BE USED AS A VEHICULAR SHORT CUT FROM MAIN NORTH TO NORTHCOTE RD  
ACCESS POINTS FROM THE CARPARK TO MAIN NORTH & NORTHCOTE RD TO BE AS FAR AS PRACTICABLE FROM THE INTERSECTION OF THOSE ROADS  
THAT THE PROPOSAL OTHERWISE PROCEED GENERALLY IN ACCORDANCE WITH FIG 3 OF THE DONNITHORNE APPLICATION, PREPARED BY GABITES PORTER CONSULTANTS & PRODUCED AT THE HEARING

## Resource Consent Conditions Relating to the above Resource Consents

### RES 9218002

The use of the building the subject of the application shall be limited to the storage and packing of dry opossum skins only. No treatment or processing of skins is to be carried out on the site, and the use must be confined to those buildings for which consent is given.

The storage and packing of opossum skins shall only be permitted on the site where that storage and packing is in connection with the business of a person residing permanently on the site.

The site shall not be used for the storage and packing of opossum skins unless and until the use of the site or any part of it as a motor repair garage has completely ceased. At no time shall the site be used contemporaneously for the use to which this consent relates and for a motor repair garage.

A 1.1m planting strip shall be constructed along the southern boundary of the site, and planted with such species of trees, shrubs and ground cover as may be approved by the Council's Director of Parks & Recreation. Such a landscaped strip shall be maintained to the satisfaction of the Director of Parks & Recreation.

All areas of the site used by motor vehicles, and in particular the driveway, shall be formed, sealed and drained to the satisfaction of the City Engineer

## 6. Information notified to council by any statutory organisation having the power to classify land or building for any purpose:.....Yes

Please refer to Section 9 for details

## 7. Information notified to council by any network utility operator pursuant to the Building Act 1991:.....No

## 8. Refuse

The 26 bags which the council provides each year are for the refuse generated on that property during the year. When moving house (or flat) all refuse bags should be left behind for the new owners. There should be enough to last until next May.

- ◆ Your recycling is Collected Weekly on Friday Leave your recycling at the Kerbside by 7:30 a.m.  
Your nearest recycling depot is the Styx Mill Refuse Station
- ◆ Your refuse is Collected Weekly on Friday Leave your refuse at the Kerbside by 7:30 a.m.  
Your nearest refuse depot is the Styx Mill Refuse Station

This Information was Processed at: Civic Offices

CHRISTCHURCH CITY COUNCIL  
P.O. BOX 237, CHRISTCHURCH

## 9. Other Related Property Information

### ◆ **Building Foundation Details:**

Previous Building Activities on this site were undertaken with the following action(s):  
deeper piles Remediation Date:  
Remediation Detail:

### ◆ **ECan Liquefaction Assessment 1**

This property is in the 2004 Stage IV ECan liquefaction risk study area and the report identified areas with a potential susceptibility for liquefaction and related lateral spread and subsidence. All queries regarding this information should be made to ECan on Ph 03 353 9007 or via the ECan website [www.ecan.govt.nz](http://www.ecan.govt.nz)  
<<http://www.ecan.govt.nz>>.

### ◆ **ECan Liquefaction Assessment 2**

Council may require further specific site investigation before granting any future subdivision or building consent for this property. The classification of the liquefaction potential are indicative only given the limited information within the study area.

### ◆ **ECan Natural Resources Regional Plan**

The Proposed Natural Resources Regional Plan notified by ECan in July 2004 has classified this site and there may be policies or rules within the NRRP that regulate the use of this site in regard to a proposed land use. Council has not and cannot verify the accuracy of such information and its impact on and applicability to the property, and advises LIM applicants to consult with Ecan and independent advisers about the direct impact of the NRRP on the subject property. All queries regarding this information should be made to ECan on Ph 03 353 9007.

### ◆ **Fill**

This property is located in an area known to have been filled. The year the fill occurred is Unknown. The filling was, according to the Councils records carried out in an uncontrolled manner and comprises Unknown Material.

### ◆ **Fill - Bearing Capacity**

Land which has been filled, and/or which has been disturbed by excavation, is unlikely to have the same bearing capacity as normal ground. A site test will usually be required for any new building work on this property. In some circumstances, specially designed foundation may be required.

### ◆ **Property Records are held at Civic Offices**

- ◆ Property located in Shirley-Papanui Community Board area

- ◆ Property located in Shirley-Papanui Ward

- ◆ Property or part of property within urban area

## 10. Water Related Property Information

- ◆ Borelog/Engineer Report Image Available
  
- ◆ Waterway  
This property may be effected by a waterway classified as a Utility Waterway in the Christchurch City Plan. Any development, filling or excavation within 5 metres of the bank will require a resource consent.

## 11. Special Site Characteristics and Additional Water Related Services Information

- ◆ A drainage plan is attached. For further enquiries regarding drainage information supplied with the LIM please phone 941 6437.
- ◆ The dwelling/building is shown to be served by a sewer drain and a stormwater drain.
- ◆ The records held by this Unit do not show any history of flooding or drainage problems on the property.
- ◆ A consent must be obtained before any trade wastes can be discharged to the Council's sewer system. Any consent to discharge will be issued in accordance with the Council's Trade Wastes Bylaw.
- ◆ A trade waste consent may not be transferable, so a new consent and discharge rate may need to be negotiated if a change of ownership takes place. Any application will need to be made under the Trade Wastes Bylaw 2006.
- ◆ There are attached hazard/special site characteristics supplementary sheet/s.



# LAND INFORMATION MEMORANDUM



14  
LIM No:  
LIM70096856

**Please Note :**

The Council may require a development contribution in respect of any activities in the City that create a demand for new reserves and infrastructure. Such activities include sub-division of land parcels and new construction. The Development Contributions Policy and supporting information is obtainable online at <http://www.ccc.govt.nz/LTCCP/Draft/DevelopmentContributionsPolicy/> and at Civic Offices, Tuam Street and Council Service Centres

To enable Council to measure the accuracy of this LIM document based on our current records, we would appreciate your response should you find any information contained therein which may be considered to be incorrect or omitted. Please telephone the appropriate Service Centre as shown on the front page of this LIM.

This Information was Processed at: Civic Offices

CHRISTCHURCH CITY COUNCIL  
P.O. BOX 237, CHRISTCHURCH

# Private Drainage

PH: 941-8300  
 Fax: 941-9385

## LEGEND

|   |                        |
|---|------------------------|
| — | WASTE WATER MAIN       |
| — | STORM WATER MAIN       |
| — | WATER INTAKE MAIN      |
| — | WATER SUPPLY MAIN      |
| — | WASTE WATER DRAIN      |
| — | STORM WATER DRAIN      |
| — | WATER INTAKE SUBMAIN   |
| — | WATER SUPPLY SUBMAIN   |
| — | BIO GAS MAIN           |
| — | CABLE                  |
| ⊕ | STD MANHOLE (WASTE)    |
| ⊕ | VERTED MANHOLE (WASTE) |
| ⊕ | STD MANHOLE (STORM)    |
| ⊕ | SUMP (STORM)           |
| ⊕ | FIRE HYDRANT (WATER)   |
| ⊕ | VALVE (WATER)          |
| ⊕ | METER (WATER)          |
| ⊕ | CONNECTOR (WATER)      |
| ⊕ | INLET (WATER)          |
| ⊕ | OUTLET (WATER)         |

CAUTION  
 THE ACCURACY OF THIS PLAN IS  
 NOT GUARANTEED. ON-SITE  
 VERIFICATION REQUIRED!

700 96856



SCALE 1:500 on A4

Christchurch City Council  
 4/29/2008 11:22:19 AM

7 No Hancock Rd

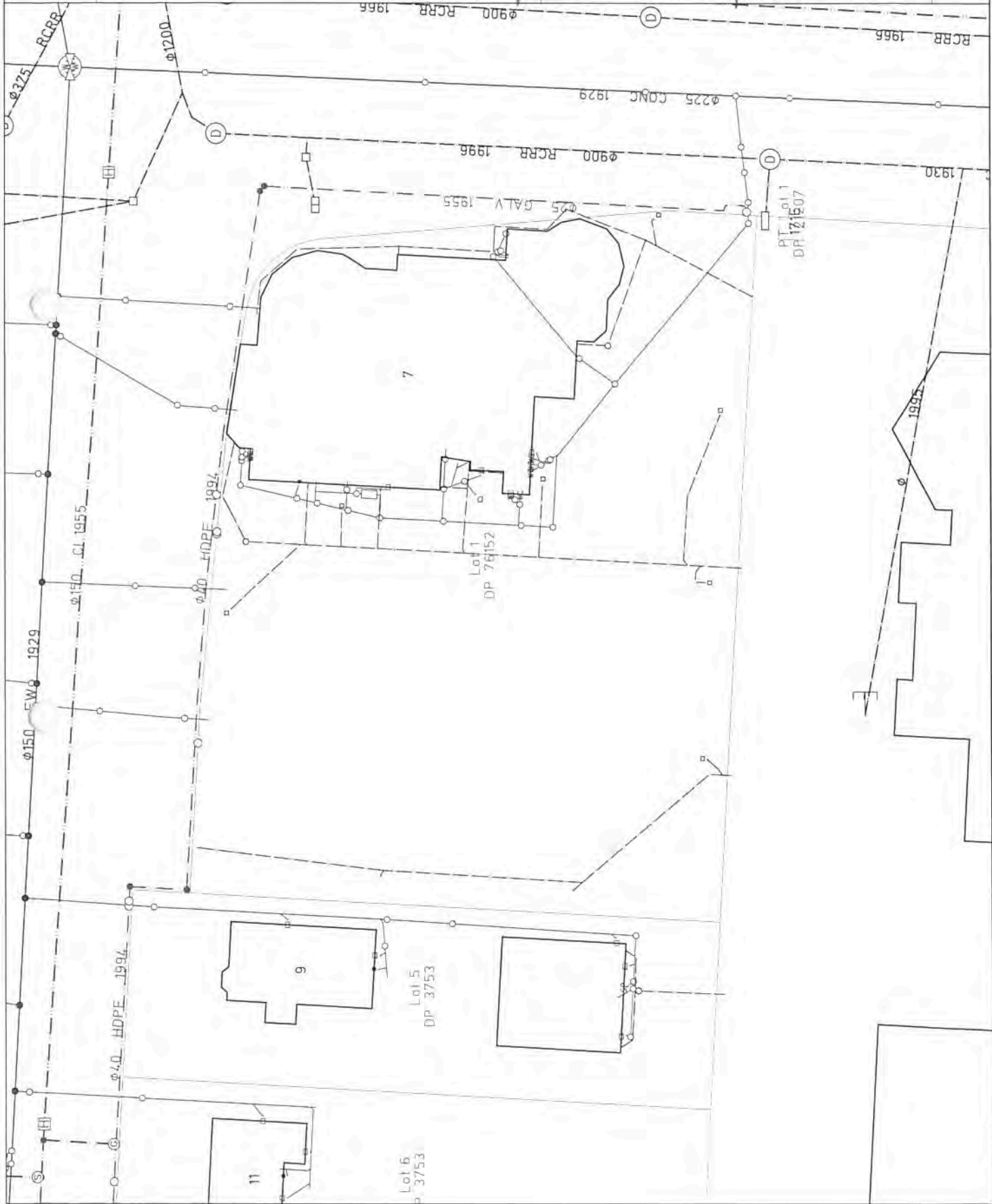


# CHRISTCHURCH

CITY COUNCIL - I.M. & C.T.

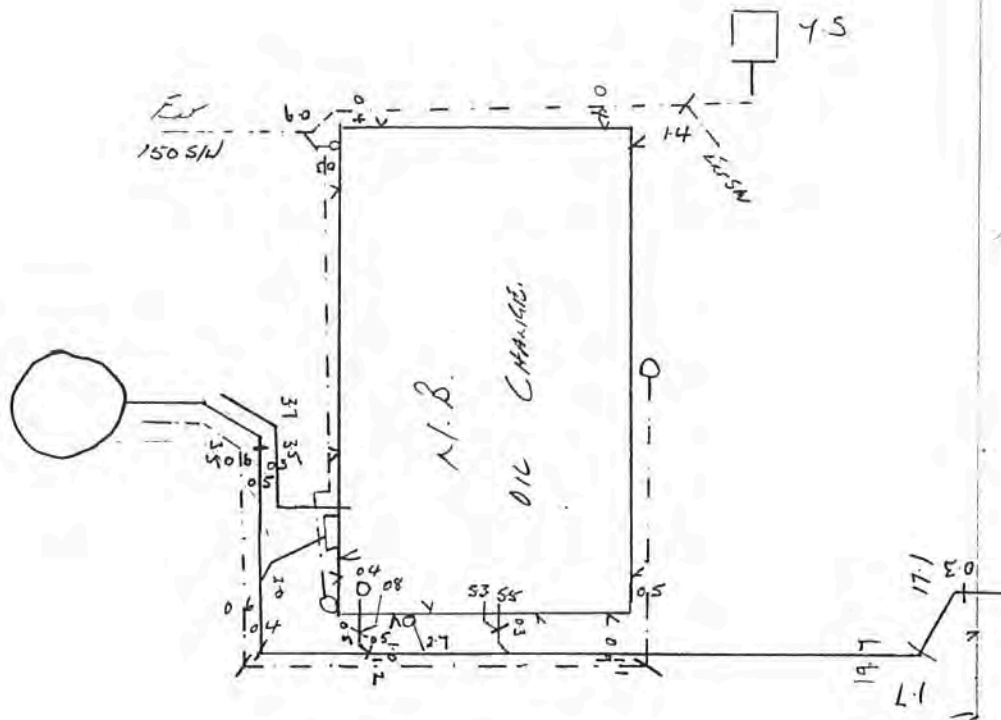
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CHRISTCHURCH CITY COUNCIL - DRAINAGE PICK U

|   |   |   |                   |
|---|---|---|-------------------|
| ADDRESS: 7 MOUNTAINTOP ROAD<br>LEGAL DESCRIPTION:<br>PROJECT No. 18035109<br>DATE: 29/10/03 | OWNER: P. DIVER<br>DRAIN LAYER:<br>PLUMBER:<br>FIELD OFFICER: Alan Harrison | RECEIVED:<br>BLOCK PLAN:<br>PLOTTED: / /<br>EYE BOOK: | CONNECTION NUMBER |
|---|---|---|-------------------|







# SOILS & FOUNDATIONS LTD

Project: **NORTHCOTE/MAIN NORTH ROADS**

Project Number: **95164**

Boring ID. **HAI**

Client: **Roger Vivian**

Sheet No.1 of 1

Boring Depth (m.): **4.0**









Elevation:

Engineer: **G.Clark**

Starting Date: **16/5/97**

Datum/Notes:

Ending Date: **16/5/97**

| Elev. (m) | Depth (m) | Lithology   | Material Description  | Well Detail | Comments | Scale Penetration (mm/blow) |    |     |
|-----------|-----------|---|---|-------------|----------|-----------------------------|----|-----|
|           |           |   |   |             |          | 0                           | 50 | 100 |
|           |           |    | Brown SAND.<br>-fill  |             |          |                             |    |     |
|           |           |    | ASPHALT.  |             |          |                             |    |     |
|           |           |    | Brown SAND.<br>-fill  |             |          |                             |    |     |
|           |           |    | Grey SILT.  |             |          |                             |    |     |
|           | 1         |   | Brown mottled orange and grey SILT.<br>-firm<br>-softer with depth<br>-less mottled grey with depth                       | ▽           |          |                             |    |     |
|           | 2         |  | -strong mottled reddish orange colouring<br><br>Blue grey CLAYEY SILT.<br>-firm to soft<br>-plastic<br>-softer with depth |             |          |                             |    |     |
|           | 3         |  | Grey SILT with minor sand.<br>-soft   |             |          |                             |    |     |
|           | 4         |  | Grey CLAYEY SILT.<br>-soft  |             |          |                             |    |     |

# SOILS & FOUNDATIONS LTD.

Project: NORTHCOTE/MAIN NORTH ROADS

Project Number: 95164

Boring ID. HA2

Client: Roger Vivian

Sheet No.1 of 1


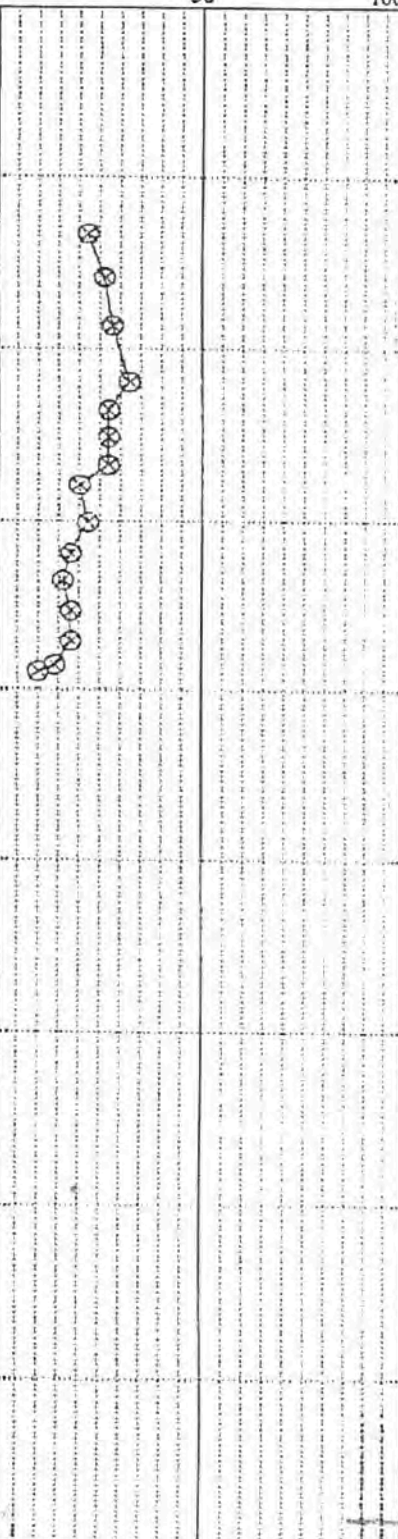




Boring Depth (m.): 3.0

Elevation:

Engineer: G.Clark

Starting Date: 16/5/97

Ending Date: 16/5/97

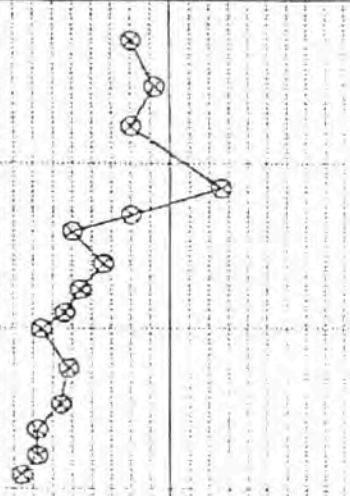
| Depth (m)   | Lithology   | Material Description  | Well Detail | Comments | Scala Penetration (mm/blow)  |    |     |
|---|---|---|-------------|----------|--|----|-----|
|   |   |   |             |          | 0  | 50 | 100 |
| 1   |    | SANDY GRAVELLY FILL.<br>-fine to coarse gravel<br>-brown sand                       | ▽           |          |  |    |     |
|   |   | Grey mottled orange SILT.<br>-firm  |             |          |  |    |     |
|   |  | Blue grey CLAYEY SILT.<br>-firm   |             |          |  |    |     |
|   | 2   |  |             |          |  |    |     |
|  |   | Blue grey CLAYEY SILT.<br>-soft<br>-plastic   |             |          |  |    |     |
| 3   |   |   |             |          |  |    |     |
| 4   |   |   |             |          |  |    |     |



# SOILS & FOUNDATIONS LTD.


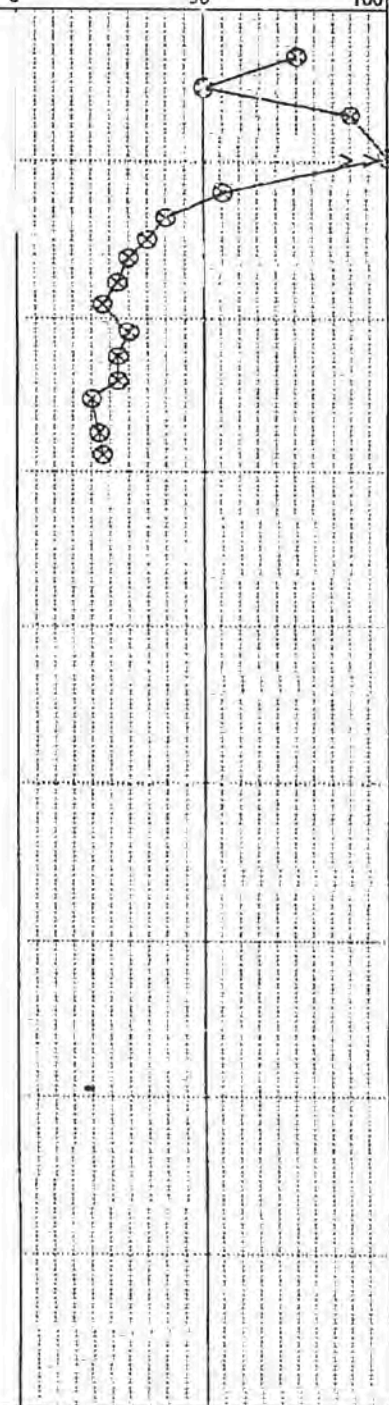





|  |                              |                               |
|--|------------------------------|-------------------------------|
| Project: <b>NORTHCOTE/MAIN NORTH ROADS</b> | Project Number: <b>95164</b> | Boring ID. <b>HA3</b>         |
| Client: <b>Roger Vivian</b>                |                              | Sheet No.1 of 1               |
| Boring Depth (m.): <b>2.0</b>              | Elevation:                   | Engineer: <b>G.Clark</b>      |
| Datum/Notes/                               |                              | Starting Date: <b>16/5/97</b> |
|  |                              | Ending Date: <b>16/5/97</b>   |

| Elev. (m) | Depth (m) | Lithology           | Material Description  | Well Detail          | Comments | Scone Penetration (nm/blow)                        |
|-----------|-----------|---------------------|---|----------------------|----------|--|
|           |           |                     |   |                      |          | 0                      50                      100 |
|           |           | [Diagonal Hatching] | Brown TOPSOIL.<br>-dry  |                      |          |  |
|           |           | [Cross Hatching]    | Brown mottled orange SILT.<br>-firm   |                      |          |  |
|           |           | [Dotted]            | Brown and grey mottled orange SANDY SILT.<br>-soft                              |                      |          |  |
|           | 1         | [Cross Hatching]    | Brown mottled orange SILT.<br>-firm<br>-strong mottled orange colouring         | [Well Detail Symbol] |          |  |
|           |           | [Cross Hatching]    | Grey mottled orange SILT.<br>-firm  |                      |          |  |
|           |           | [Dotted]            | Red orange brown SANDY SILT<br>with a trace of gravel.<br>-fine gravel<br>-soft |                      |          |  |
|           | 2         | [Cross Hatching]    | Blue grey CLAYEY SILT.<br>-soft<br>-plastic                                     |                      |          |  |
|           | 3         |                     |   |                      |          |  |
|           | 4         |                     |   |                      |          |  |



# SOILS & FOUNDATIONS LTD.

|  |                              |                               |
|--|------------------------------|-------------------------------|
| Project: <b>NORTHCOTE/MAIN NORTH ROADS</b> | Project Number: <b>95164</b> | Boring ID. <b>HA4</b>         |
| Client: <b>Roger Vivian</b>                |                              | Sheet No. 1 of 1              |
| Boring Depth (m.): <b>2.0</b>              | Elevation:                   | Engineer: <b>G.Clark</b>      |
| Datum/Notes/                               |                              | Starting Date: <b>16/5/97</b> |
|  |                              | Ending Date: <b>16/5/97</b>   |

| Depth (m) | Lithology   | Material Description   | Well Detail | Comments | Sca Penetration (mm/blow)  |    |     |
|-----------|---|--|-------------|----------|--|----|-----|
|           |   |  |             |          | 0  | 50 | 100 |
| 1         |    | Brown TOPSOIL.<br>-dry   | $\nabla$    |          |  |    |     |
|           |    | Brown mottled orange SILT.<br>-firm  |             |          |  |    |     |
|           |    | Brown and grey SANDY SILT.<br>-soft  |             |          |  |    |     |
|           |   | Grey mottled orange SILT.<br>-firm<br><br>-strong mottled orange colouring |             |          |  |    |     |
|           |  | Red orange brown SANDY SILT<br>with a trace of gravel.<br>-fine gravel     |             |          |  |    |     |
| 2         |  | Blue grey CLAYEY SILT.<br>-soft  |             |          |  |    |     |
| 3         |   |  |             |          |  |    |     |
| 4         |   |  |             |          |  |    |     |

# SOILS & FOUNDATIONS LTD.

|  |                              |                       |
|--|------------------------------|-----------------------|
| Project: <b>NORTHCOTE/MAIN NORTH ROADS</b> | Project Number: <b>95164</b> | Boring ID. <b>HAS</b> |
| Client: <b>Roger Vivian</b>                |                              | Sheet No.1 of 1       |

|                               |            |                          |                               |
|-------------------------------|------------|--------------------------|-------------------------------|
| Boring Depth (m.): <b>4.0</b> | Elevation: | Engineer: <b>G.Clark</b> | Starting Date: <b>16/5/97</b> |
|-------------------------------|------------|--------------------------|-------------------------------|

|              |                             |
|--------------|-----------------------------|
| Datum/Notes/ | Ending Date: <b>16/5/97</b> |
|--------------|-----------------------------|

| Elev. (m) | Depth (m) | Lithology           | Material Description   | Well Detail | Comments | Scale Penetration (mm/blow)                        |
|-----------|-----------|---------------------|--|-------------|----------|--|
|           |           |                     |  |             |          | 0                      50                      100 |
|           |           | [Diagonal Hatching] | Brown TOPSOIL.<br>-dry   |             |          |  |
|           |           | [Cross-hatching]    | Brown mottled orange SILT.<br>-firm                                    |             |          |  |
|           |           | [Dotted pattern]    | Brown and grey mottled orange SANDY SILT.<br>-soft                     | ▽           |          |  |
|           | 1         | [Cross-hatching]    | Grey mottled orange SILT.<br>-firm<br>-softer with depth               | ▽           |          |  |
|           |           | [Dotted pattern]    | Grey mottled orange SANDY SILT.<br>-soft                               |             |          |  |
|           |           | [Cross-hatching]    | Red orange brown SANDY SILT<br>with a trace of gravel.<br>-fine gravel |             |          |  |
|           | 2         | [Cross-hatching]    | Blue grey CLAYEY SILT.<br>-soft<br>-plastic                            |             |          |  |
|           |           | [Cross-hatching]    | Grey CLAYEY SILT.<br>-soft   |             |          |  |
|           | 3         | [Cross-hatching]    |  |             |          |  |
|           | 4         | [Cross-hatching]    |  |             |          |  |



# SOILS & FOUNDATIONS LTD.

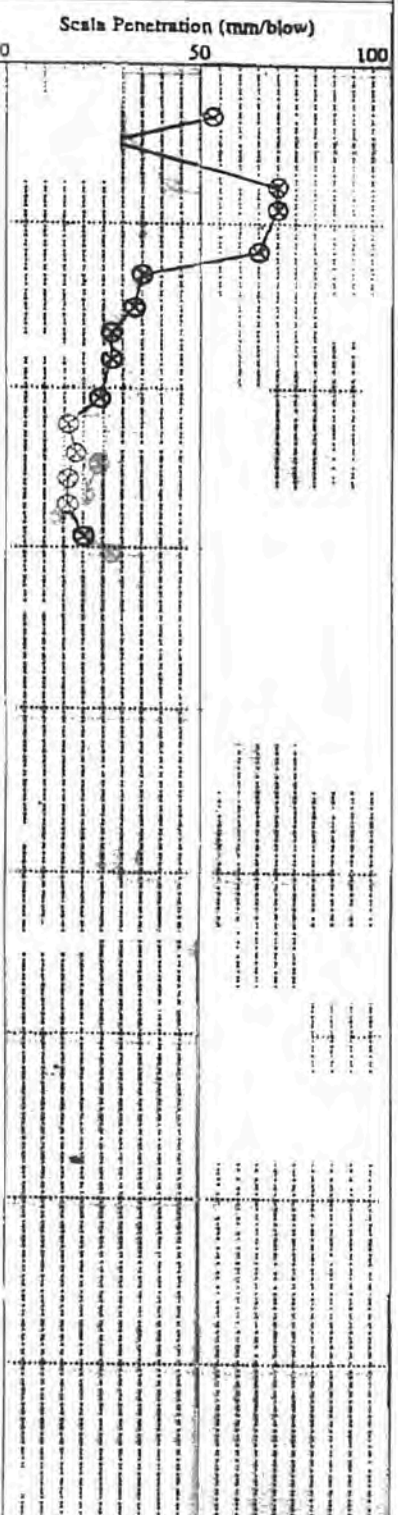
Project: **NORTHCOTE/MAIN NORTH ROADS**      Project Number: **95164**      Boring ID: **HA6**

Client: **Roger Vivian**      Sheet No. 1 of 1

Boring Depth (m.): **2.0**      Elevation:      Engineer: **G.Clark**      Starting Date: **16/5/97**







Ending Date: **16/5/97**

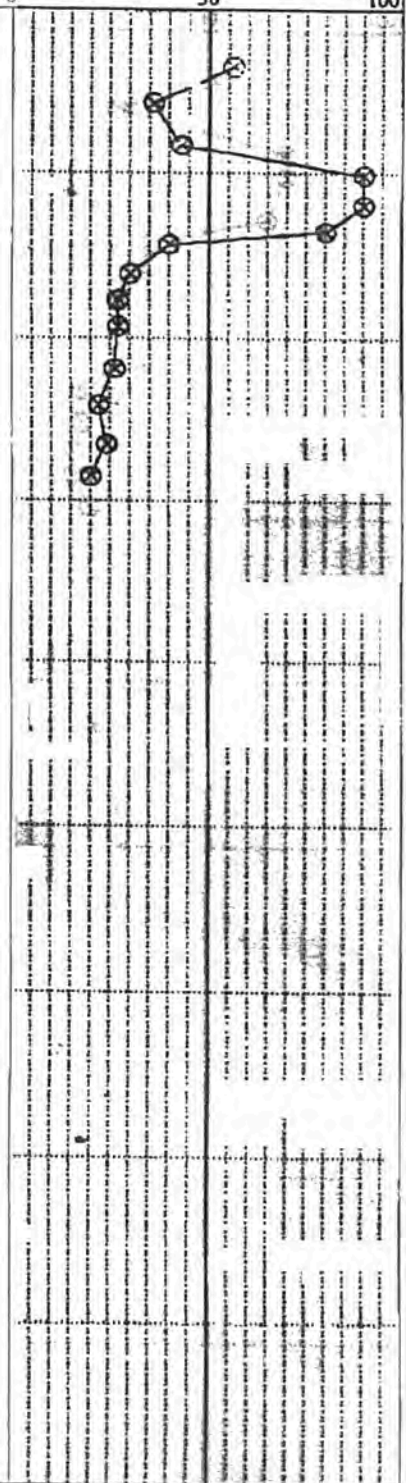
| Depth (m) | Lithology           | Material Description  | Well Detail | Comments | Scone Penetration (mm/blow) |    |     |
|-----------|---------------------|---|-------------|----------|-----------------------------|----|-----|
|           |                     |   |             |          | 0                           | 50 | 100 |
| 1         | [Diagonal Hatching] | Brown TOPSOIL.<br>-dry  | ▽           |          | 0                           | 50 | 100 |
|           | [Diagonal Hatching] | Brown SANDY TOPSOIL with some gravel.<br>-medium rounded gravel |             |          |                             |    |     |
|           | [X Pattern]         | Brown mottled orange SILT.<br>-firm                             |             |          |                             |    |     |
|           | [X Pattern]         | Grey mottled orange SILT.<br>-firm<br>-softer with depth        |             |          |                             |    |     |
|           | [X Pattern]         | -trace of sand  |             |          |                             |    |     |
| 2         | [X Pattern]         | Blue grey CLAYEY SILT.<br>-soft<br>-plastic                     |             |          |                             |    |     |
| 3         |                     |   |             |          |                             |    |     |
| 4         |                     |   |             |          |                             |    |     |

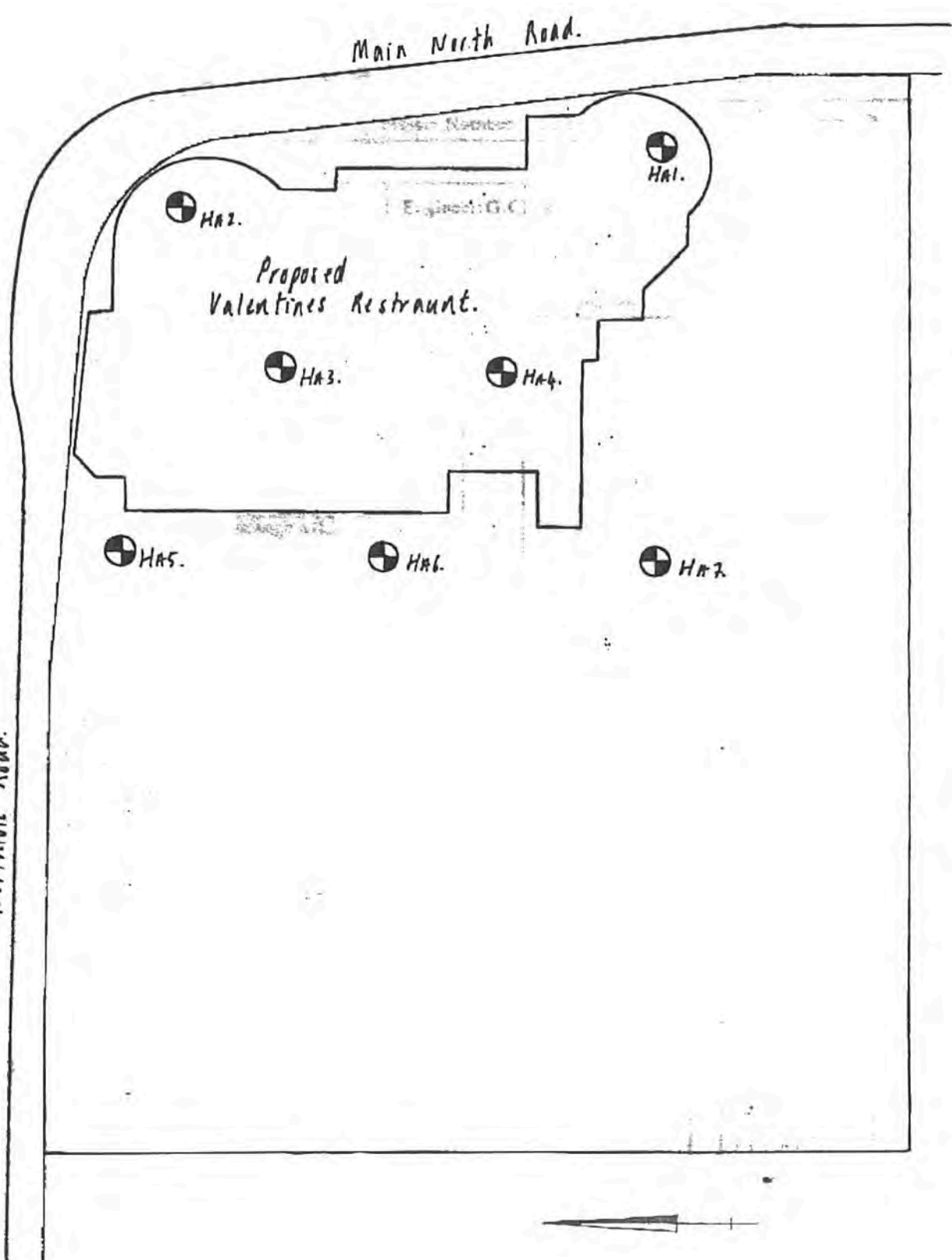


# SOILS & FOUNDATIONS LTD.

|                                     |                       |                        |
|-------------------------------------|-----------------------|------------------------|
| Project: NORTHCOTE/MAIN NORTH ROADS | Project Number: 95164 | Boring ID. HA7         |
| Client: Roger Vivian                |                       | Sheet No. 1 of 1       |
| Boring Depth (m.): 3.0              | Elevation:            | Engineer: G. Clark     |
| Datum/Notes/                        |                       | Starting Date: 16/5/97 |
|                                     |                       | Ending Date: 16/5/97   |

| Depth (m) | Lithology   | Material Description                                     | Well Detail | Comments | Scale Penetration (mm/blow) |
|-----------|---|--|-------------|----------|-----------------------------|
|           |    | Brown TOPSOIL.<br>-dry                                   |             |          | 0                           |
|           |    | Brown mottled orange SILT.<br>-firm                      |             |          | 50                          |
|           |    | Grey and brown SANDY SILT.<br>-soft                      |             |          | 100                         |
| 1         |   | Grey mottled orange SILT.<br>-firm<br>-softer with depth | ▽           |          |                             |
| 2         |  | Blue grey CLAYEY SILT.<br>-soft<br>-plastic              |             |          |                             |
| 3         |  | Grey SANDY SILT.<br>-soft<br>-saturated                  |             |          |                             |
| 4         |   |  |             |          |                             |



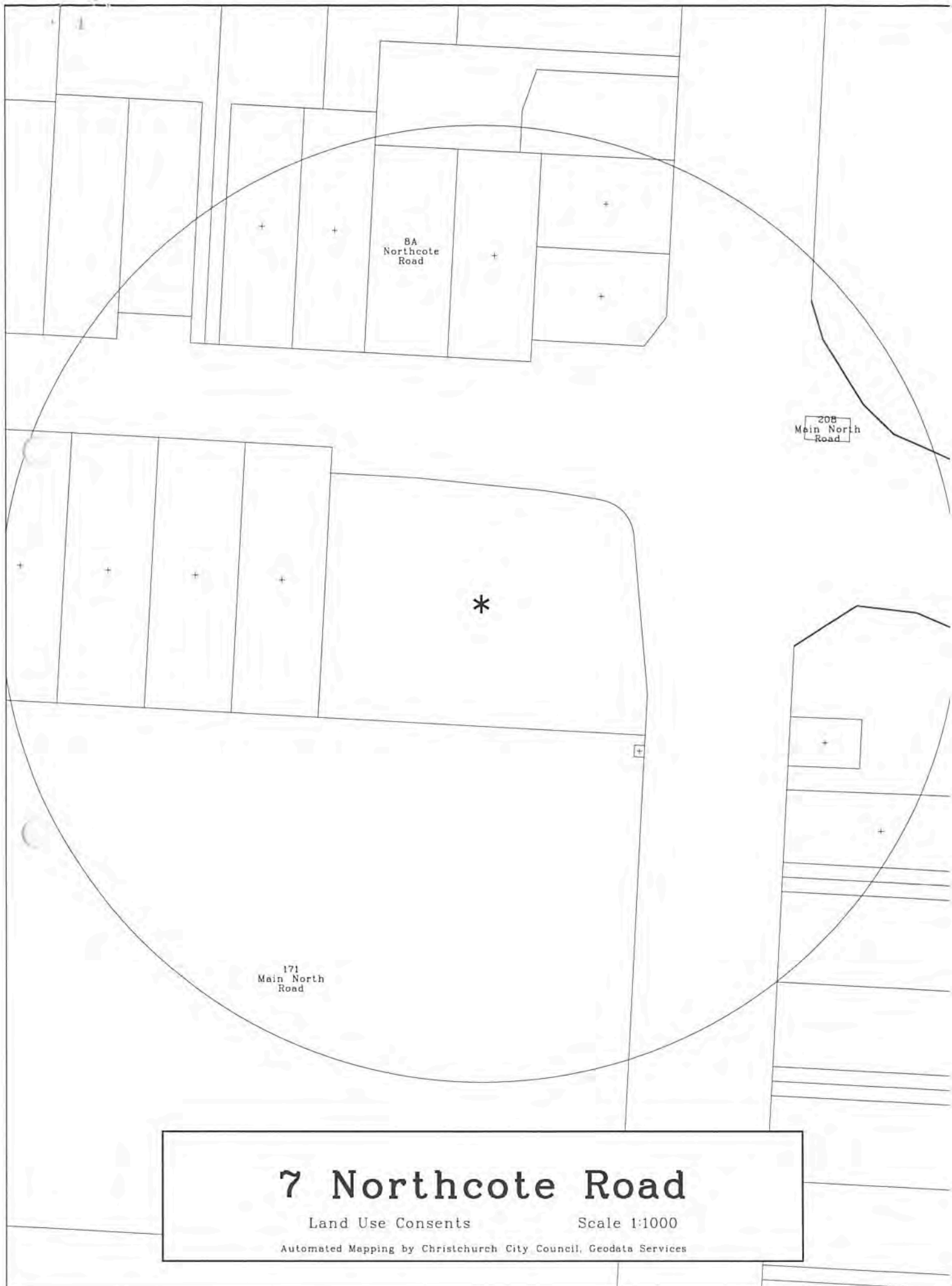


Northcote / Main North Roads.

Drawn G.A.C.  
Date 14.5.97

SOILS & FOUNDATIONS  
Figure 95164/01.



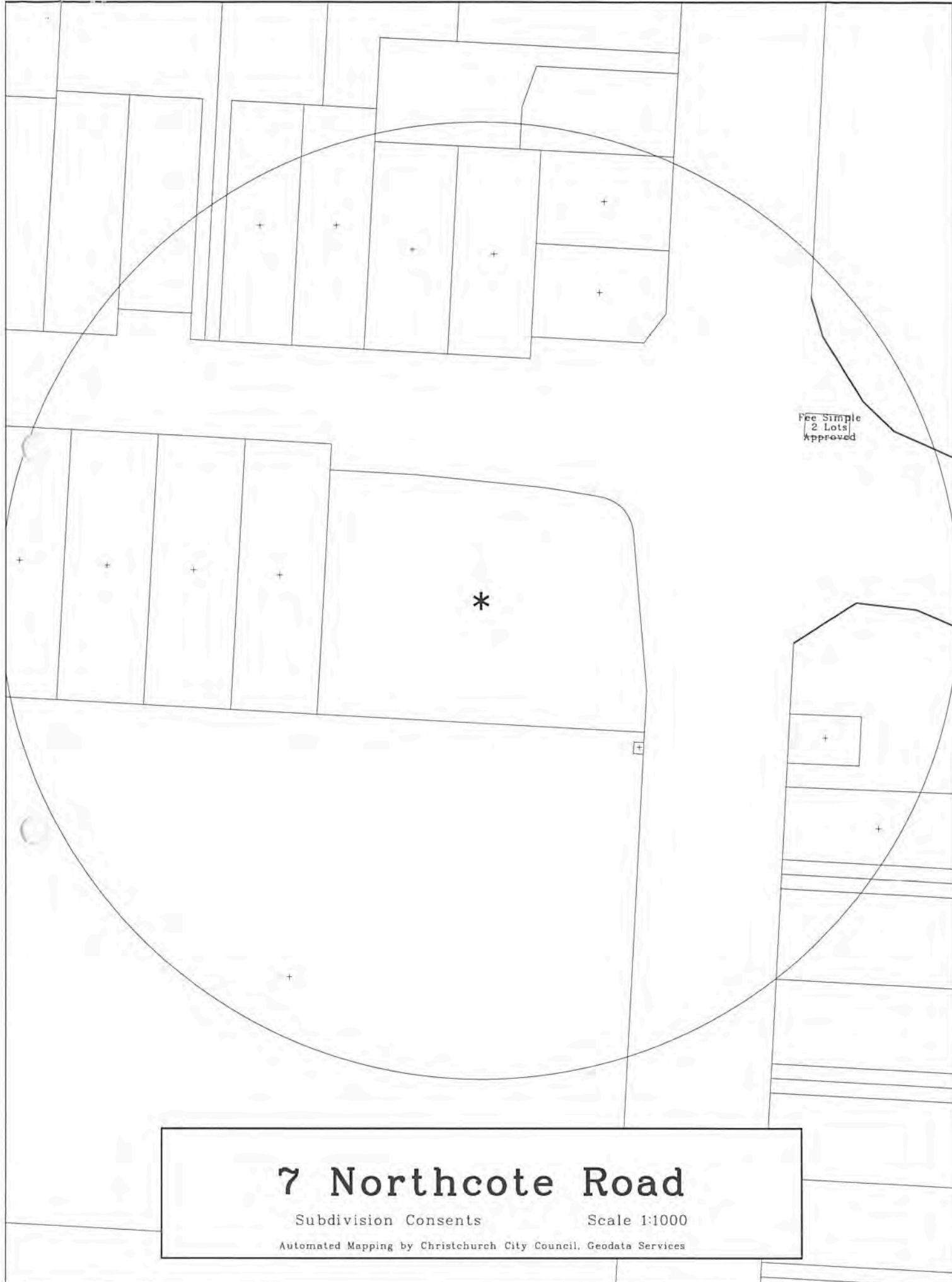


BA  
Northcote  
Road

208  
Main North  
Road

171  
Main North  
Road

**7 Northcote Road**  
Land Use Consents      Scale 1:1000  
Automated Mapping by Christchurch City Council, Geodata Services



Fee Simple  
2 Lots  
Approved

**7 Northcote Road**  
Subdivision Consents Scale 1:1000  
Automated Mapping by Christchurch City Council. Geodata Services

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# Spatial Query Report



Land Use Resource Consents within 100 metres of 7 Northcote Road

Note, This map does not include Subdivision Consents and Certificate of Compliance issued under the Resource Management Act.

---

**Address: 171 MAIN NORTH ROAD**

**Consent Type:** Discretionary Activity

**Reference:** 982248      **Status:** Completed      **Decision:** Granted

**Date Received:** 18 August 1998      **Date of Decision:**

**Description:**

Installation of one 7 ton carbon dioxide tank which exceeds the quantity of hazardous substance permitted to be stored and will not be 100% bunded in terms of the Rules of the Proposed City Plan.

**Consent Type:** Activity:

**Reference:** 9210592      **Status:** Completed      **Decision:** Granted

**Date Received:** 29 November 1988      **Date of Decision:** 7 December 1988

**Description:**

Dispensation to remove three notable trees (Manna gum trees) protected as notable trees. no. 114, appendix K.

**Address: 208 MAIN NORTH ROAD**

**Consent Type:** Non-Notified Application      **Activity:** Controlled Activity

**Reference:** 20003605      **Status:** Completed      **Decision:** Granted

**Date Received:** 14 November 2000      **Date of Decision:** 23 November 2000

**Description:**

FEE SIMPLE SUBDIVISION - 2 LOTS 223 received 6/11/01 Certified 12/11/01 224 REQUESTED 21/01/02 Issued 23/1/02 DP 304787.



**Address: 8A NORTHCOTE ROAD**

**Consent Type:** Activity: Discretionary Activity

**Reference:** 955393      **Status:** Completed      **Decision:** Granted

**Date Received:** 4 October 1995      **Date of Decision:** 6 November 1995

**Description:**

2nd dwelling unit with garage.

**Consent Type:** Activity: Certificate of Compliance

**Reference:** 951462      **Status:** Completed      **Decision:** Declined

**Date Received:** 5 June 1995      **Date of Decision:**

**Description:**

2nd unit attached garage.

**Data Quality Statement**

**Land Use Consents**

All resource consents\* are shown for sites that have been labeled with an address. For sites that have been labelled with a cross (+) no resource consents have been found. Sites that have no label have not been checked for resource consents. This will be particularly noticeable on the margins of the search area radius. If there are such sites and you would like them to be included in the check, please ask for the LIM spatial query to be rerun accordingly. This will be done free of charge although there may be a short delay. Resource consents which are on land occupied by roads, railways or rivers are not, and currently cannot be, displayed, either on the map or in the list. Resource consents that relate to land that has since been subdivided, will be shown in the list, but not on the map. They will be under the address of the land as it was at the time the resource consent was applied for. Resource consents that are listed as Non-notified and have a status of current, may in fact be notified resource consents that have not yet been through the notification process. If in doubt, please phone (03)9418657.

\* The term "resource consents" in this context means land use consents. Subdivision consents and certificates of compliance are excluded.

**Subdivision Consents**

All subdivision consents\* are shown for sites that have been labelled with an address and consent details. For sites that have been labelled with a cross (+) no records have been found. Sites that have no label have not been checked for subdivision consents. This will be particularly noticeable on the margins of the search area radius. If there are such sites and you would like them to be included in the check, please ask for the LIM spatial query to be rerun accordingly. This will be done free of charge although there may be a short delay.

\* The term "subdivision consents" in this context means a resource consent application to subdivide land. Non subdivision land use resource consents and certificates of compliance are excluded.

This report will only record those subdivision applications which have not been completed and new properties have not been created in the council's property database; i.e. once a subdivision has been given effect to and the new lots/properties have been established the application which created those lots will not be shown.

All Subdivision Consent information is contained on the map and no separate list is supplied.

# Christchurch Eq. RAPID Assessment Form - LEVEL 1

Inspector Initials  
Territorial Authority

Matt Smith  
Christchurch City

Date of Inspection  
Time

11.3.2011  
8.40

Exterior Only  
Exterior and Interior

**Building Name**

Short Name

Address

Oil Changes  
7 Northcote rd

Type of Construction

GPS Co-ordinates

S° E°

Contact Name

Dave Anderson

Contact Phone

021 311 807

Storeys at and above ground level

1

Below ground level

N.I

Total gross floor area (m<sup>2</sup>)

126

Year built

2000

No of residential Units

1

Photo Taken

Yes

No

Primary Occupancy

Dwelling

Other residential

Public assembly

School

Religious

Concrete shear wall

Unreinforced masonry

Reinforced masonry

Confined masonry

Other:

Commercial/ Offices

Industrial

Government

Heritage Listed

Other

Investigate the building for the conditions listed below:

**Overall Hazards / Damage**

Minor/None

Moderate

Severe

Comments

Collapse, partial collapse, off foundation

Building or storey leaning

Wall or other structural damage

Overhead falling hazard

Ground movement, settlement, slips

Neighbouring building hazard

Other

Dave Anderson (could be structural)  
021 311807 have done inspection  
and are satisfied that the  
building is structurally sound.  
They are still working up the  
site notes.

Choose a posting based on the evaluation and team judgement. Severe conditions affecting the whole building are grounds for an UNSAFE posting. Localised Severe and overall Moderate conditions may require a RESTRICTED USE. Place INSPECTED placard at main entrance. Post all other placards at every significant entrance.

INSPECTED

GREEN

RESTRICTED USE

YELLOW

UNSAFE

RED

Record any restriction on use or entry:

**Further Action Recommended:**

Tick the boxes below only if further actions are recommended

Barricades are needed (state location):

Level 2 or detailed engineering evaluation recommended

Structural

Geotechnical

Other:

Other recommendations:

**Estimated Overall Building Damage (Exclude Contents)**

None

0-1 %

31-60 %

2-10 %

61-99 %

11-30 %

100 %

Sign here on completion

[Signature]

Date & Time  
ID

11.03.2011 9:04.

Inspection ID \_\_\_\_\_ (Office Use Only)

CDB 7507884P

# Christchurch Eq. RAPID Assessment Form - LEVEL 1

Inspector Initials  
Territorial Authority

Matt Smith  
Christchurch City

Date of Inspection  
Time

11.3.2011  
9:00

Exterior Only  
Exterior and Interior

Building Name

Short Name

Mad Butcher

Address

7 Northcote Rd

Type of Construction

- Timber frame
- Steel frame
- Tilt-up concrete
- Concrete frame
- RC frame with masonry infill

- Concrete shear wall
- Unreinforced masonry
- Reinforced masonry
- Confined masonry
- Other:

GPS Co-ordinates

S° \_\_\_\_\_ E° \_\_\_\_\_

Contact Name

[Redacted]

Contact Phone

Storeys at and above ground level

1

Below ground level

Total gross floor area (m<sup>2</sup>)

1330

Year built

2000

Primary Occupancy

- Dwelling
- Other residential
- Public assembly
- School
- Religious

- Commercial/ Offices
- Industrial
- Government
- Heritage Listed
- Other

No of residential Units

Photo Taken

Yes

No

Investigate the building for the conditions listed below:

Overall Hazards / Damage

Minor/None

Moderate

Severe

Comments

Collapse, partial collapse, off foundation

Building or storey leaning

Wall or other structural damage

Overhead falling hazard

Ground movement, settlement, slips

Neighbouring building hazard

Other

~~See Anderson (Cantilever)~~  
~~See 31/3/11~~

Choose a posting based on the evaluation and team judgement. Severe conditions affecting the whole building are grounds for an UNSAFE posting. Localised Severe and overall Moderate conditions may require a RESTRICTED USE. Place INSPECTED placard at main entrance. Post all other placards at every significant entrance.

INSPECTED

GREEN

RESTRICTED USE

YELLOW

UNSAFE

RED

Record any restriction on use or entry:

Further Action Recommended:

Tick the boxes below only if further actions are recommended

- Barricades are needed (state location):
- Level 2 or detailed engineering evaluation recommended
  - Structural
  - Geotechnical
- Other recommendations:  Other:

Estimated Overall Building Damage (Exclude Contents)

None

0-1 %

31-60 %

2-10 %

61-99 %

11-30 %

100 %

Sign here on completion

[Signature]

Date & Time  
ID

11.3.2011 9:15

CDB 75078830.

Inspection ID \_\_\_\_\_ (Office Use Only)



# LAND INFORMATION MEMORANDUM

**Please Supply to:**  
WILLIAMS MCKENZIE

PO BOX 46

RANGIORA 7440

**Client Reference:** 13838.45 GRE

**Phone No:** (03)313-7086

**Fax No:** (03)313-4030

**Date Issued:** 05/02/2013

**Date Received:** 28/01/2013

**Property Address:**

7 Northcote Road

**Valuation Roll Number:** 22170 36800

**Valuation Information:**

Capital Value: \$4460000 Land Value: \$999000 Improvements Value: \$3461000

*Please Note: These Values are intended for Rating purposes*

**Legal Description:**

Lot 1 DP 76152

**Existing Owner:**

Northcote Road Properties Limited

C/O Mitchell Mackersy

PO Box 12001

Maori Hill

Dunedin 9043

A search of records held by the council has revealed the following information:

**1. Annual Rates to:30/06/2013**

**\$ 28,512.43**

For Rate Enquiries Please Phone: 941 8999

|              | <u>Instalment Amount</u> | <u>Date Due</u> |
|--------------|--------------------------|-----------------|
| Instalment 1 | \$ 7,128.04              | 15/08/2012      |
| Instalment 2 | \$ 7,128.04              | 15/11/2012      |
| Instalment 3 | \$ 7,128.04              | 15/02/2013      |
| Instalment 4 | \$ 7,128.31              | 15/05/2013      |

Rates Owing as at: 05/02/2013 \$ 7,128.04

**2. Excess Water Charges:** \$ 0.00

**3. Final water meter reading may be required:** Reading is Required

**For Office use:**

**Debtor Number:** 3213233

**Rate Account ID:** 73129639

**LIM Number:** 70141404

**Property ID:** 1106890

This information was processed at: Civic Offices

Telephone: (03) 941 8825

# LAND INFORMATION MEMORANDUM

## 4. Consents Certificate, notices, orders, or requisitions affecting the land and buildings

For Building Enquiries Please Phone: 941 8999

### i. Building Permits:

- ◆ PER76110932 Completed Applied: 27/05/1976 Issued Date: 08/06/1976  
LUNCH ROOM & TOILETS
- ◆ PER78110410 Completed Applied: 27/02/1978 Issued Date: 16/03/1978  
ADDITIONS
- ◆ PER80111073 Completed Applied: 23/06/1980 Issued Date: 28/08/1980  
SIGN
- ◆ PER80111483 Completed Applied: 05/05/1980 Issued Date: 03/06/1980  
STORE
- ◆ PER86000842 Completed Applied: 29/05/1986 Issued Date: 29/05/1986  
FIREPLACE

### ii. Project Information Memoranda:

- ◆ ABA10032220 Completed Applied: 14/02/2003  
PIM Issued Date: 06/03/2003  
INTERNAL ALTERATIONS TO CREATE TWO TENANCIES MOTOR SERVICE BUILDING

### iii. Building Consents:

NOTE: Code Compliance Certificates were only issued by the Christchurch City Council since January 1993

- ◆ ABA10035109 Completed Applied: 22/05/2003 Issued Date: 01/08/2003  
Code Compliance Certificate Issued Date: 07/04/2006  
NEW BUILDING / MOTOR SERVICING
- ◆ ABA10039030 Completed Applied: 25/09/2003 Issued Date: 18/11/2003  
Code Compliance Certificate Issued Date: 27/01/2010 PIM Issued Date: 06/10/2003  
CHANGE OF USE & ALTERATIONS: RESTAURANT CONVERTED INTO THREE SHOPS (EXCL. SIGNS)
- ◆ ABA10097278 Completed Applied: 30/10/2009 Issued Date: 14/12/2009  
Code Compliance Certificate Issued Date: 19/07/2011 PIM Issued Date: 16/11/2009  
ADDITIONS & ALTERATIONS TO A RETAIL BUILDING - FRUIT AND VEGETABLE RETAIL FITOUT & ADD CANOPY AND  
CHILLER
- ◆ ABA10099896 Completed Applied: 19/02/2010  
AMENDED PLANS SET 1 FOR ABA 10097278 CHANGES TO PARKING 45-51 AND D1 AND D2
- ◆ CON97001180 Completed Applied: 21/02/1997 Issued Date: 06/03/1997  
Code Compliance Certificate Issued Date: 27/08/1997  
Demolition of site housing/ demolition of site
- ◆ CON97001181 Completed Applied: 21/02/1997 Issued Date: 05/03/1997  
Code Compliance Certificate Issued Date: 26/08/1997  
Demolition of site housing/ demolition of site
- ◆ CON97004566 Completed Applied: 27/05/1997 Issued Date: 04/07/1997  
Code Compliance Certificate Issued Date: 05/12/1997  
NEW RESTAURANT-DEMOLISH EXISTING COMMERCIAL-NEW RESTAURANT-DEMOLISH EXISTING
- ◆ CON97008219 Lapsed Applied: 01/10/1997 Issued Date: 08/10/1997  
Sign - Valentines miscellaneous/ sign

### iv. Building Act Certificates of Acceptance:

...None recorded for this Property

# LAND INFORMATION MEMORANDUM

v. Building Act Exemptions:

...None recorded for this Property

vi. Registered Premises:

...None recorded for this Property

vii. Hazardous Substance Test Certificate:

...None recorded for this Property

viii. Building Warrant Of Fitness:

- ◆ WOF54411 Expires: 01/04/2012  
Compliance Schedule Warrant of Fitness/Statement of Fitness/Compliance Schedule Statement

ix. 2010 - 2012 Earthquake related data:

- ◆ CDB75078841 11/03/2011  
Building Evaluation Oil changers, Harvest Market : Building Inspected Under Civil Defence Emergency , Green Placard Issued (a deemed Building Act notice)



# LAND INFORMATION MEMORANDUM

## 5. Planning Information:

For Planning Enquiries Please Phone: 941 8999

### (A) Transitional Plan

Zoning

C/1  
CITY

Designations on Site

Yes/ No

Road widening Designations

Yes/ No

### (B) Proposed Plan

Zoning

Business 1 (Local Centre)

|  |    |
|--|----|
| 1. Special Amenity Area                                      | No |
| 2. Community Footprint                                       | No |
| 3. Opposite Important Open Space                             | No |
| 4. Designations on Site                                      | No |
| 5. Road Widening Designations                                | No |
| 6. Historic or Protection Building                           | No |
| 7. Other Heritage Protection Items                           | No |
| 8. Protected Trees   |    |
| Heritage/Notable Tree  | No |
| Other; eg Category A,B,C Street Plantings; Subdivision trees | No |
| 9. Noise Control   | No |
| 10. Coastal Protection                                       | No |
| 11. Landscape Protection                                     | No |

**Note - The Council is not required to include all information in a LIM that is apparent from the Transitional District Plan or the Proposed City Plan. Please note that the planning information provided is not exhaustive, and reference to the Transitional District Plan and the Proposed City Plan is recommended.**

### (C) Land Use Resource Consents

- ◆ RES 963031 Completed Applied: 26/11/1996  
Application Declined  
Single storey restaurant with liquor licence and associated carparking.
- ◆ RES 970583 Completed Applied: 13/03/1997  
Application Granted, Consent Issued : 11/04/1997  
To erect of a single storey restaurant with a liquor licence and associated carparking.

#### Resource Consent Conditions Relating to the above Resource Consent

#### **RES 970583**

The development is to proceed in accordance with the plans and details submitted with the application and held on the Council's records as RC970583.

That the proposed planting indicated on the landscaping plan attached in Appendix G of the application be implemented within 6 months of the uplift of a building consent for the proposed restaurant. All planting to be retained and maintained.

All specimen trees to be planted along the road boundaries and within the car park to be a minimum height of 1.5 metres at time of planting.

In addition to the fees payable for the processing of this application the applicant shall pay to the Council a monitoring fee of \$75.00. This monitoring fee covers the cost of setting up a monitoring programme and carrying out a site inspection to ensure compliance with the conditions imposed. Where further site inspections are required because of non-compliance with any of the conditions the Council may render and account to the consent holder for additional monitoring fees at the rate of \$60.00 per hour of the time involved.



# LAND INFORMATION MEMORANDUM

- ◆ RES 972613 Completed Applied: 19/09/1997  
Application Granted, Consent Issued : 30/09/1997  
To erect approximaely 40m2 of outdoor advertising on a site permitted 31m2 in area; to erect outdoor advertising containing letters exceeding

Resource Consent Conditions Relating to the above Resource Consent

## RES 972613

The development is to proceed in accordance with the plans submitted with the application and held on the Council's records as RC972613.

- ◆ RES 973704 Completed Applied: 23/12/1997  
Application Declined  
To erect a 10 metre high freestanding illuminated sign on the Northcote Road frontage of the Valentines site.
- ◆ RES 9210595 Completed Applied: 02/02/1978  
Application Declined 21/06/1978  
Specified departure to use a concrete block building for the storage and packing of dry opossum skins. 7 objections.
- ◆ RES 9210599 Completed Applied: 14/02/1977  
Application Granted, Consent Issued : 23/06/1977  
Specified departure to allow a workshop to be used in the repair of motor vehicles to be extended. 2 objections.

Resource Consent Conditions Relating to the above Resource Consent

## RES 9210599

COMPLIANCE WITH THE GENERAL DESIGN AND CONSTRUCTIONAL DETAILS ORDINANCE V CLAUSE 2(4)(d)(i) TO (vii) INCLUSIVE. ANY AREAS USED BY VEHICLES TO BE FORMED, SEALED AND DRAINED TO THE SATISFACTION OF THE CITY ENGINEER. THE COVERED BAY TO BE USED FOR CAR PARKING AND STORAGE ONLY, AND NO WORK TO BE UNDERTAKEN ON ANY VEHICLE WHILE PARKED IN THIS BAY.  
ANY STORAGE OF MATERIALS WITHIN THE COVERED BAY TO COMPLY WITH ALL PROVISIONS OF THE DANGEROUS GOODS ACT. COMPLIANCE WITH ALL BUILDING BYLAWS AND THE ISSUE OF A BUILDING PERMIT. COMPLIANCE WOULD INCLUDE THE FOLLOWING : SETBACK OF COVERED BAY TO A MINIMUM OF 1.5M FROM THE REAR BOUNDARY; THE CREATION OF A TWO HOUR FIRE RATING ALONG THE REAR WALL OF THE EXISTING WORKSHOP; A MAXIMUM HEIGHT OF 2.7 METRES AT THE REAR OF THE EXISTING WORKSHOP.  
IN RESPECT OF CONDITION 5, THE APPLICANT HAS THE RIGHT TO APPLY FOR A DISPENSATION SHOULD ANY VARIATION FROM THE CONDITION BE NECESSARY, SUCH AN APPLICATION TO BE ACCOMPANIED BY MORE DETAILED WORKING DRAWINGS. THE AREA OF LAND BETWEEN THE COVERED BAY AND NUMBER 5 NORTHCOTE ROAD TO BE KEPT CLEAR OF RUBBISH AND WEEDS AND NOT TO BE USED FOR ANY STORAGE.  
A 1.1 METRE LANDSCAPING STRIP TO BE PROVIDED WHERE VEHICLE ACCESS AND PARKING AREAS ADJOIN RESIDENTIAL SITES, TO INCLUDE A NUMBER OF TREE SPECIMENS TO HELP SCREEN THE PROPERTY. A LANDSCAPING PLAN TO BE SUBMITTED AND APPROVED PRIOR TO THE ISSUE OF A BUILDING PERMIT AND THE AREA TO BE MAINTAINED TO THE SATISFACTION OF THE DIRECTOR OF PARKS AND RECREATION.  
NO VEHICLES, EITHER AWAITING SERVICING OR ON COMPLETION OF SERVICING, TO BE PARKED ON THE ROAD.

- ◆ RES 9217109 Completed Applied: 09/06/1993  
Application Granted, Consent Issued : 23/09/1993  
Consent to redevelop site in residential 1 zone for commercial purposes

Resource Consent Conditions Relating to the above Resource Consent

## RES 9217109

COMMERCIAL ACTIVITIES ON THE SITE BE LIMITED TO RETAIL SHOPS(EXCLUDING RESTAURANTS) ADMINISTRATIVE, COMMERCIAL & PROFESSIONAL OFFICES, MEDICAL & COMMUNITY FACILITIES, RESIDENTIAL ACCOMODATION & SERVICE INDUSTRIES & WAREHOUSES INCLUDED IN APPENDIX B, AS PERMITTED IN THE COMM 1 ZONE  
THE TOTAL FLOOR AREA ON THOSE PARTS OF THE SITE SITUATED AT 177 MAIN NORTH ROAD & 5 NORTHCOTE RD - BE LIMITED TO 450M2 WITH A MINIMUM NUMBER OF FOUR SHOPS  
COMMERCIAL ACTIVITIES ON THE SITE TO COMPLY WITH THE RELEVANT PERFORMANCE ELEMENTS & STANDARDS FOR EACH ACTIVITY IN THE COMM 1 ZONE, PROVIDED THAT THE MINIMUM BUILDING SETBACK & RECESSION PLANE IN RELATION TO THE ADJOINING RES ZONE PROPERTY AT 7 NORTHCOTE RD SHALL NOT APPLY  
A TOTAL OF 40 CARPARKS TO BE PROVIDED ON SITE TO THE SATISFACTION OF THE AREA TRAFFIC ENGINEER. A CARPARKING PLAN, SHOWING VEHICLE CROSSINGS, LAYOUT & LANDCAPING IS TO BE SUBMITTED TO THE AREA TRAFFIC ENGINEER FOR APPROVAL PRIOR TO COMMERCIAL REDEVELOPMENT COMMENCING  
THAT THE APPLICANT GIVE UP THE TWO EXISTING VEHICLE ACCESS POINTS TO HIS CORNER TITLES  
THAT THE CARPARK BE DESIGNED TO ENSURE THAT IT WILL NOT BE USED AS A VEHICULAR SHORT CUT FROM MAIN NORTH TO NORTHCOTE RD  
ACCESS POINTS FROM THE CARPARK TO MAIN NORTH & NORTHCOTE RD TO BE AS FAR AS PRACTICABLE FROM THE INTERSECTION OF THOSE ROADS  
THAT THE PROPOSAL OTHERWISE PROCEED GENERALLY IN ACCORDANCE WITH FIG 3 OF THE DONNITHORNE APPLICATION, PREPARED BY GABITES PORTER CONSULTANTS & PRODUCED AT THE HEARING

- ◆ RES 9218002 Completed Applied: 02/02/1978  
Application Granted, Consent Issued : 09/03/1979  
Consent to use a concrete block building for the storage and packing of dry opossum skins. 7 objections

# LAND INFORMATION MEMORANDUM

## Resource Consent Conditions Relating to the above Resource Consent

### **RES 9218002**

The use of the building the subject of the application shall be limited to the storage and packing of dry opossum skins only. No treatment or processing of skins is to be carried out on the site, and the use must be confined to those buildings for which consent is given. The storage and packing of opossum skins shall only be permitted on the site where that storage and packing is in connection with the business of a person residing permanently on the site.

The site shall not be used for the storage and packing of opossum skins unless and until the use of the site or any part of it as a motor repair garage has completely ceased. At no time shall the site be used contemporaneously for the use to which this consent relates and for a motor repair garage.

A 1.1m planting strip shall be constructed along the southern boundary of the site, and planted with such species of trees, shrubs and ground cover as may be approved by the Council's Director of Parks & Recreation. Such a landscaped strip shall be maintained to the satisfaction of the Director of Parks & Recreation.

All areas of the site used by motor vehicles, and in particular the driveway, shall be formed, sealed and drained to the satisfaction of the City Engineer

- ◆ RMA 2863 Completed Applied: 12/01/1998  
Fee Simple SUBDIVISION
- ◆ RMA20013089 Completed Applied: 26/03/2003  
Application Granted, Consent Issued : 28/04/2003  
New motor vehicle servicing building and alterations to existing building that has various non-compliances.
- ◆ RMA20014122 Completed Applied: 15/07/2003  
Application Granted, Consent Issued : 23/07/2003  
Amendments to original consent granted rma20013089
- ◆ RMA20015205 Withdrawn Applied: 30/10/2003  
To erect two free standing signs and signage on the building that does not comply with area permitted
- ◆ RMA20015206 Completed Applied: 30/10/2003  
Application Granted, Consent Issued : 20/11/2003  
To alter the existing commercial building into 3 retail units. Vehicle generation & access distance from intersection rules are not met.
- ◆ RMA20015513 Completed Applied: 03/12/2003  
Application Granted, Consent Issued : 20/01/2004  
Works to Main North Road between Farquhars and Englefield Roads, including the widening of the road to four lanes.



# LAND INFORMATION MEMORANDUM

6. Information notified to council by any statutory organisation having the power to classify land or building for any purpose:.....Yes

Please refer to Section 9 for details

7. Information notified to council by any network utility operator pursuant to the Building Act 1991:.....No

## 8. Kerbside Waste Collection

- ◆ Your recycling is collected Fortnightly on the Week 2 collection cycle on a Monday. Please leave your recycling at the Kerbside by 6:00 a.m. Your nearest recycling depot is the Styx Mill Refuse Station.
- ◆ Your refuse is collected Fortnightly on the Week 2 collection cycle on a Monday. Please leave your rubbish at the Kerbside by 6:00 a.m. Your nearest rubbish depot is the Styx Mill Refuse Station.
- ◆ Your organics are collected Weekly on Monday . Please leave your organics at the Kerbside by 6:00 a.m.

## 9. Other Related Property Information

### ◆ Canterbury Earthquake Recovery Authority Land Zone

CERA has classified land in Christchurch into various zones following geotechnical investigations/assessments. The zonings reflect new scientific and geotechnical information and knowledge about the impact of earthquakes and the effects of liquefaction on buildings. Full details of the land classification affecting this property may be found at [www.cera.govt.nz](http://www.cera.govt.nz)

### ◆ The Department of Building and Housing Foundation Design

Some properties have experienced land damage and considerable settlement during the sequence of Canterbury earthquakes. While land in the green zone is still generally considered suitable for residential construction, houses in some areas will need more robust foundations or site foundation design where foundation repairs or rebuilding are required. Most properties have been assigned a technical category. Details of the DBH guidance can be found at [www.dbh.govt.nz](http://www.dbh.govt.nz) and details of the technical category that applies to this property may be found at [www.cera.govt.nz](http://www.cera.govt.nz)

### ◆ Property located in Shirley-Papanui Community Board area

### ◆ ECan Liquefaction Assessment

ECan holds indicative information on liquefaction hazard in the Christchurch area. Information on liquefaction can be found on the ECan website at [www.ecan.govt.nz/liq](http://www.ecan.govt.nz/liq) or by calling ECan customer services on Ph 03 353 9007. The Christchurch City Council may require site-specific investigations before granting future subdivision or building consent for the property, depending on the liquefaction potential of the area that the property is in.

### ◆ ECan Natural Resources Regional Plan

There may be policies or rules within Environment Canterbury's Natural Resources Regional Plan that regulate land use on this site. Queries regarding the impact of the Natural Resources Regional Plan on the property should be made to Ecan customer services on Ph 03 353 9007.

### ◆ Building Foundation Details:

Previous Building Activities on this site were undertaken with the following action(s):

deeper piles Remediation Date:

Remediation Detail:

### ◆ Fill

This property is located in an area known to have been filled. The year the fill occurred is Unknown.

The filling was, according to the Council's records carried out in an uncontrolled manner and comprises Unknown Material.

### ◆ Fill - Bearing Capacity

Land which has been filled, and/or which has been disturbed by excavation, is unlikely to have the same bearing capacity as normal ground. A site test will usually be required for any new building work on this property. In some circumstances, specially designed foundation may be required.

### ◆ Property or part of property within urban area

### ◆ Property File off-site. Phone 941 8999 to request file (ex Civic)

- ◆ Property located in Shirley-Papanui Ward

## 10. Water Related Property Information

- ◆ **Water Supply**

Christchurch City Council is the networked supplier of water to this property. This property is connected to the Christchurch City Council Water Supply. The conditions of supply are set out in the Christchurch City Council Water related Services Bylaw (2008), refer to [www.ccc.govt.nz](http://www.ccc.govt.nz).

- ◆ **Borelog/Engineer Report Image Available**

- ◆ **Waterway**

This property may be effected by a waterway classified as a Utility Waterway in the Christchurch City Plan. Any development, filling or excavation within 5 metres of the bank will require a resource consent.

- ◆ **Waterway**

In addition to the current City Plan information the Council is currently updating its data base in relation to waterways. Revised data shows that there is a waterway affecting this property. Waterway set backs may apply.

## 11. Special Site Characteristics and Additional Water Related Services Information

- ◆ A drainage plan is attached. For further enquiries regarding drainage information supplied with the LIM please phone 941 5235.
- ◆ The drainage works associated with this property have not been plotted on the Council's drainage plan. A copy of the field Inspectors pickup showing the drains and house outline is attached.
- ◆ The dwelling/building is shown to be served by a sewer drain and a stormwater drain.
- ◆ The records held by this Unit do not show any history of flooding or drainage problems on the property.
- ◆ A consent must be obtained before any trade waste can be discharged to the Council's sewer system. Any consent to discharge trade waste will be issued in accordance with the Council's Trade Waste Bylaw.
- ◆ A Trade Waste Consent is not transferable. Application for a Trade Waste Consent may need to be made if a change of Owner/Discharger occurs.



## 12. Document Information

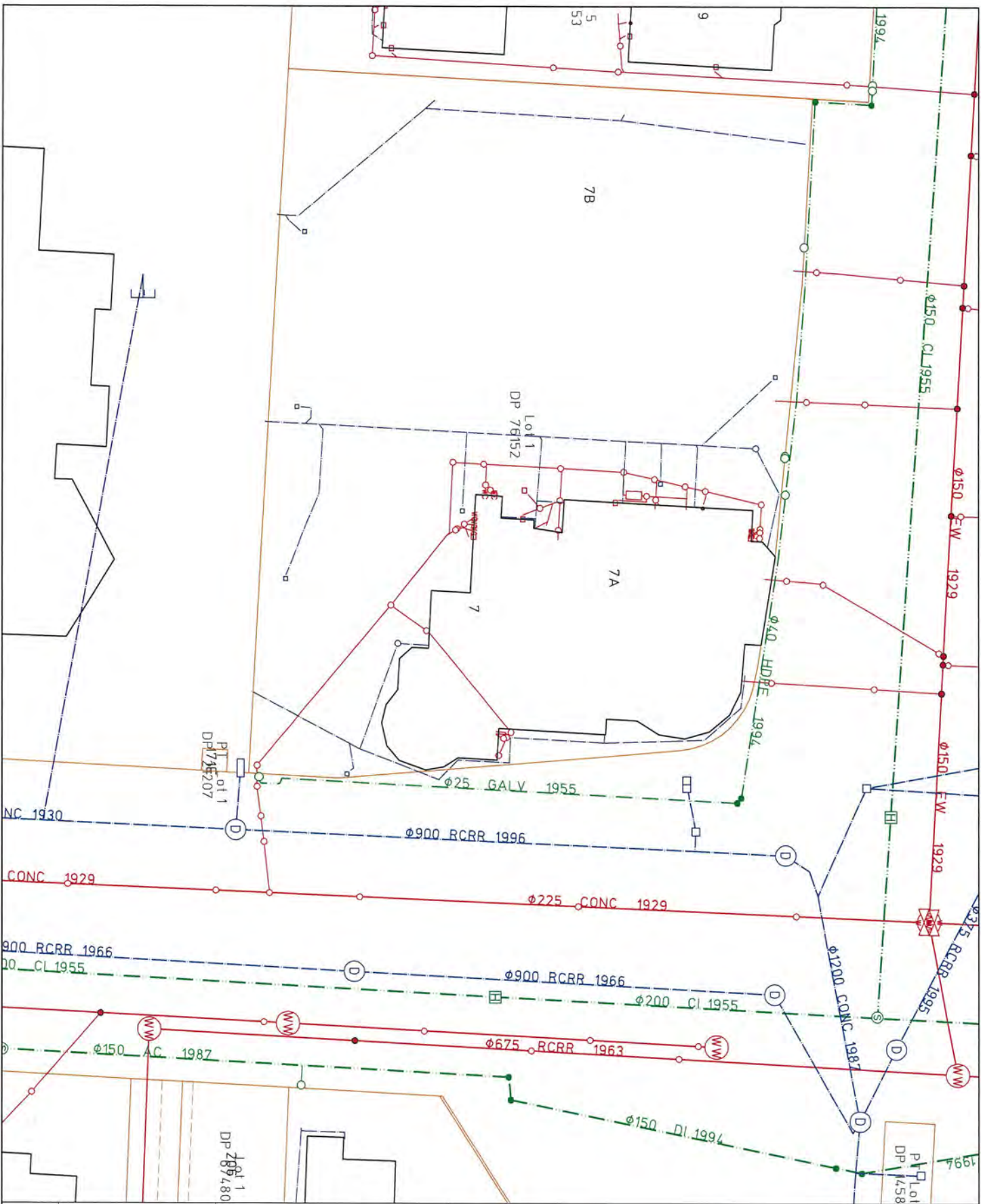
*This Land Information Memorandum has been prepared for the purpose of s.44A of the Local Government Official Information and Meetings Act 1987, and contains all the information known to the Christchurch City Council to be relevant to the land as detailed in subsection (2). It is based on a search of Council records only and there may be other information relating to the land which is unknown to the council. Council records may not show illegal or unauthorised building or works on the property. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose.*

**Please Note :**

*The Council may require a development contribution in respect of any activities in the City that create a demand for new reserves and infrastructure. Such activities include sub-division of land parcels and new construction. The Development Contributions Policy and supporting information is obtainable online at*

*<http://www.ccc.govt.nz/thecouncil/policiesreportsstrategies/ltccp/ltccp200919final.aspx> and at Civic Offices, Hereford Street and Council Service Centres*

**To enable Council to measure the accuracy of this LIM document based on our current records, we would appreciate your response should you find any information contained therein which may be considered to be incorrect or omitted. Please telephone the appropriate Service Centre as shown on the front page of this LIM.**



# Private Drainage

Ph: 941-8300  
 Fax: 941-8385

## LEGEND

|  |                      |
|--|----------------------|
|  | WASTE WATER MAIN     |
|  | STORM WATER MAIN     |
|  | WATER INTAKE MAIN    |
|  | WATER SUPPLY MAIN    |
|  | WASTE WATER DRAIN    |
|  | STORM WATER DRAIN    |
|  | WATER INTAKE SUBMAIN |
|  | WATER SUPPLY SUBMAIN |
|  | BIO GAS MAIN         |
|  | CABLE                |
|  | STD MANHOLE (WASTE)  |
|  | STD MANHOLE (STORM)  |
|  | SUMP (STORM)         |
|  | FIRE HYDRANT (WATER) |
|  | VALVE (WATER)        |
|  | METER (WATER)        |
|  | CONNECTOR (WATER)    |
|  | INLET (WATER)        |
|  | OUTLET (WATER)       |

CAUTION  
 THE ACCURACY OF THIS PLAN IS  
 NOT GUARANTEED. ONSITE  
 VERIFICATION REQUIRED.



SCALE 1:500 on A4

Christchurch City Council  
 25/2013 9:31:30 AM



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 CITY COUNCIL - I/M & CT

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CHRISTCHURCH CITY COUNCIL - DRAINAGE PICK UP

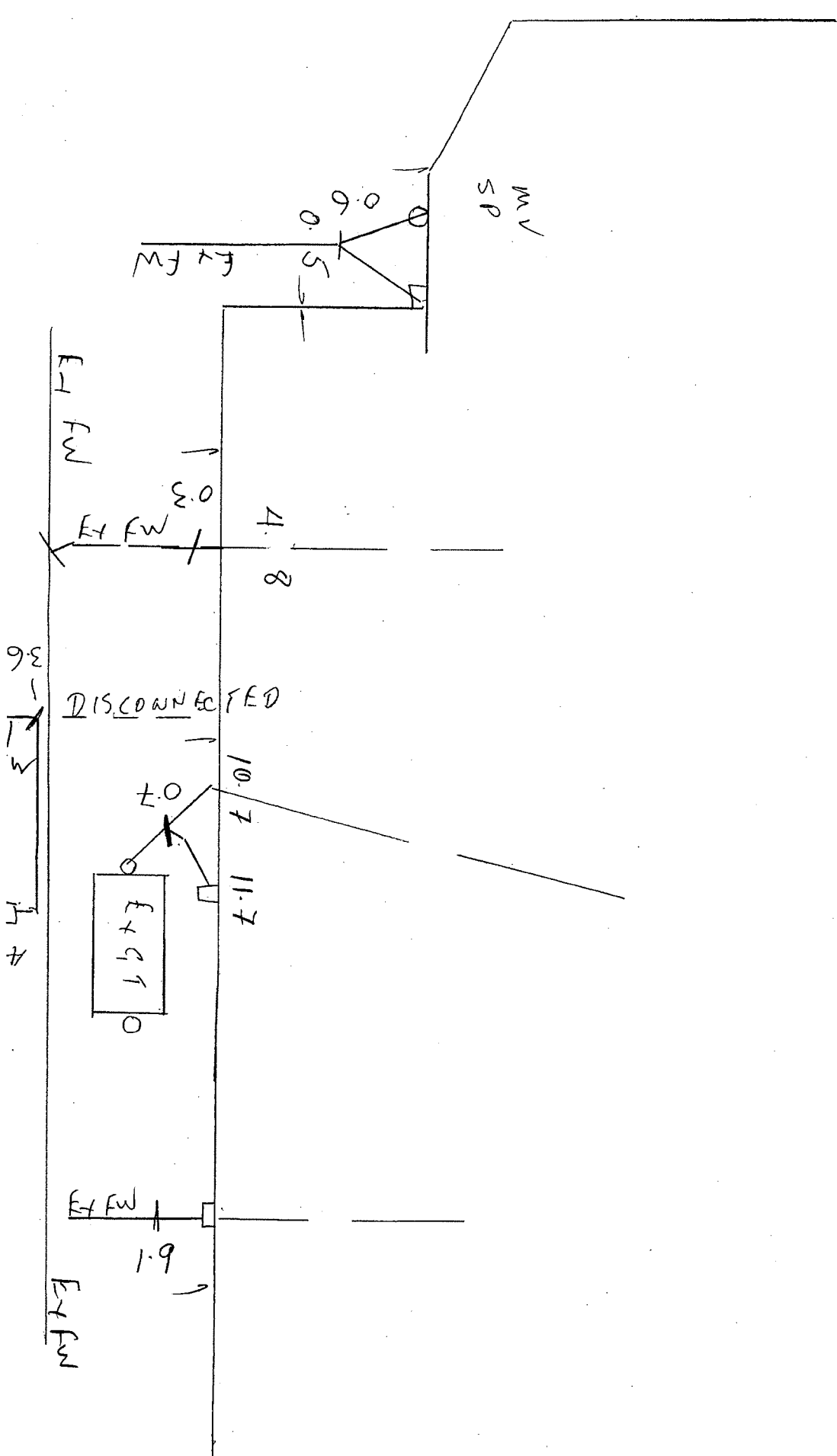


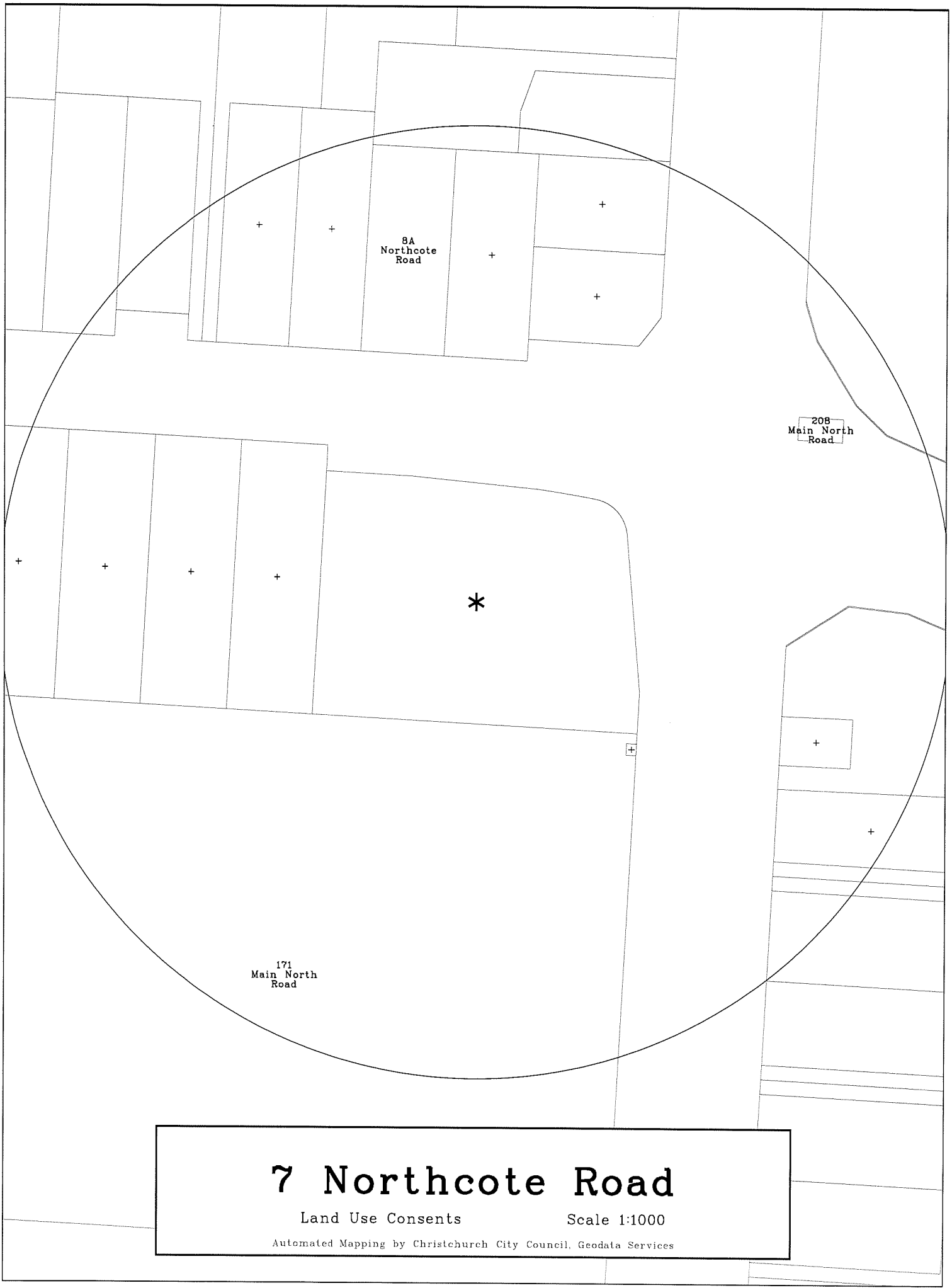
ADDRESS: 7 NORTHCOLE  
 LEGAL DESCRIPTION:  
 PROJECT No.: 10039030  
 DATE: 1.12.3

OWNER:  
 DRAIN/LAYER: CORNERSTONE  
 PLUMBER:  
 FIELD OFFICER: SIMSBS

RECEIVED:  
 BLOCK PLAN:  
 PLOTTED: / /  
 EYE BOOK:

CONNECTION NUMBER



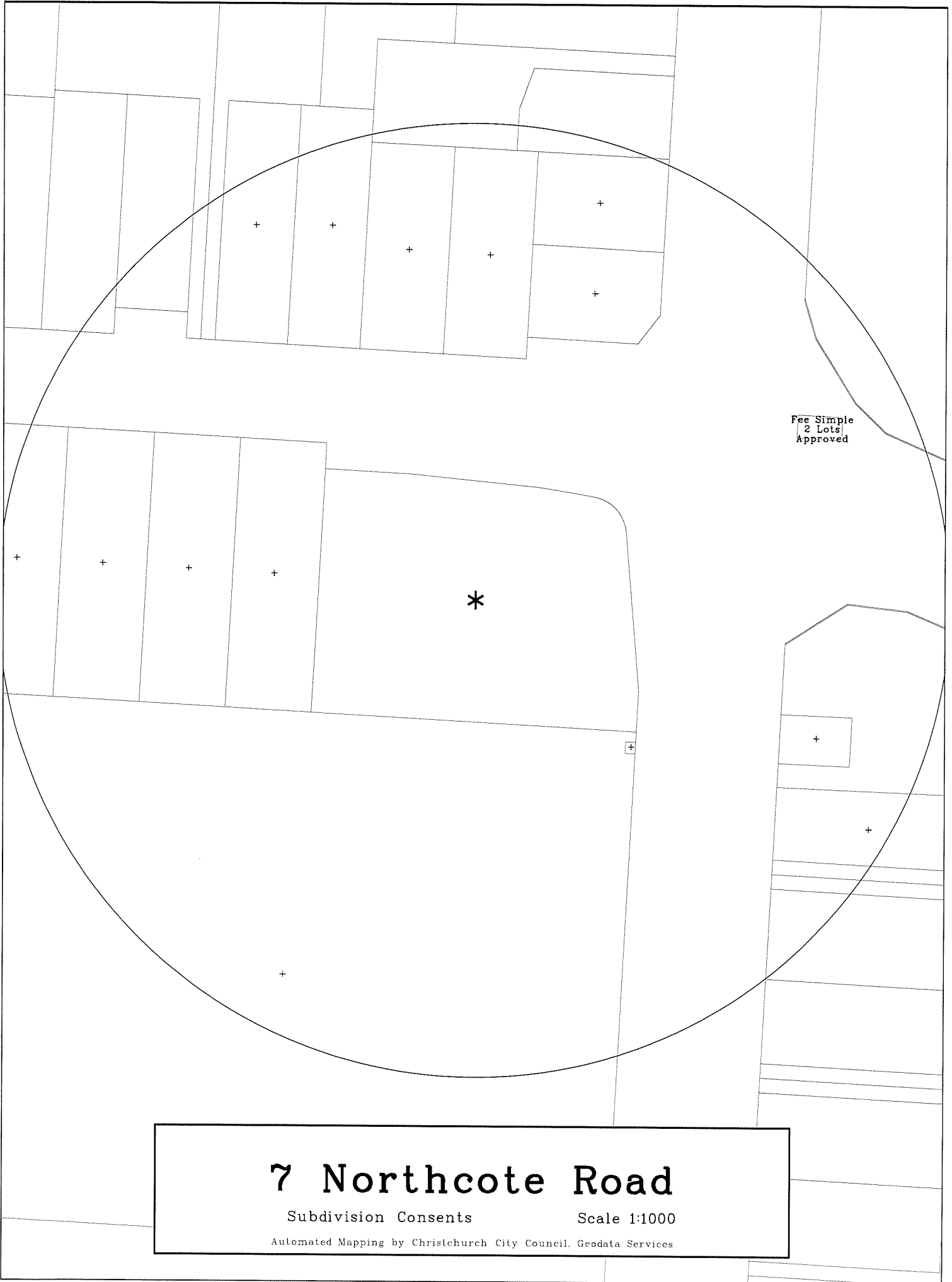


8A  
Northcote  
Road

208  
Main North  
Road

171  
Main North  
Road

**7 Northcote Road**  
Land Use Consents                      Scale 1:1000  
Automated Mapping by Christchurch City Council, Geodata Services



Fee Simple  
2 Lots  
Approved

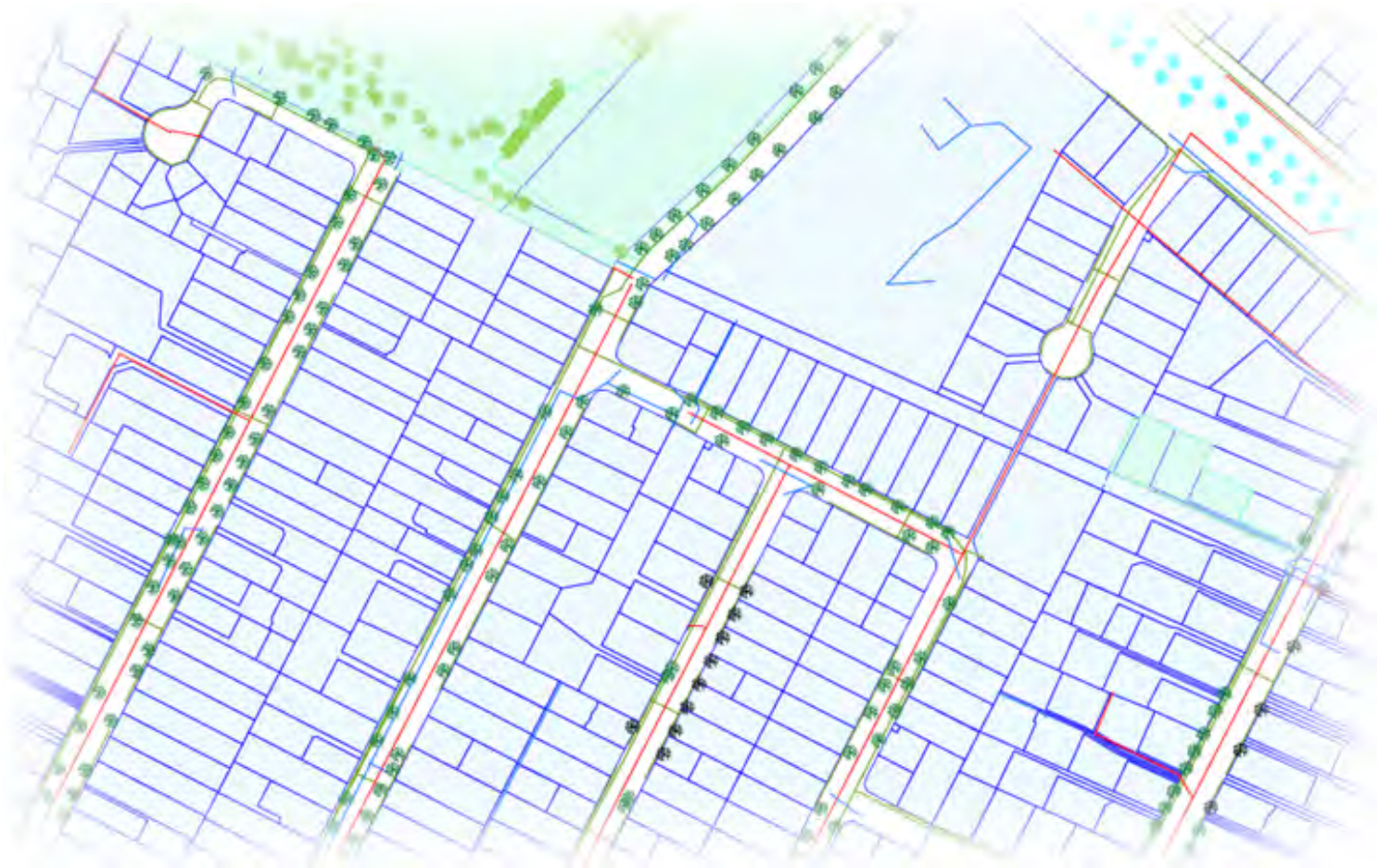
**7 Northcote Road**  
Subdivision Consents      Scale 1:1000  
Automated Mapping by Christchurch City Council. Geodata Services







# Land Information Memorandum



Property address:  
7 Northcote Road

LIM number: 70204434  
Page 1

Christchurch City Council  
53 Hereford Street, PO Box 73015  
Christchurch 8154, New Zealand  
Tel 64 3 941 8999  
Fax 64 3 941 8984  
[www.ccc.govt.nz](http://www.ccc.govt.nz)



## Application details

Please supply to      ANDERSON LLOYD  
                                  C/- ACCOUNTS PAYABLE  
                                  PRIVATE BAG 1959  
                                  DUNEDIN 9054

Client reference      18001111

Phone number       (03) 379 0039

Fax number

Date issued          21 December 2017

Date received       18 December 2017

## Property details

Property address     7 Northcote Road

Valuation roll number   22170 36800

Valuation information   Capital Value: \$4010000  
                                  Land Value: \$2480000  
                                  Improvements Value: \$1530000  
                                  *Please note: these values are intended for Rating purposes*

Legal description     Lot 1 DP 76152

Existing owner       Mt Grey Properties Limited  
                                  52 Mt Grey Road  
                                  RD 2  
                                  Rangiora 7472

## Council references

Debtor number       3165557

Rate account ID      73129639

LIM number          70204434

Property ID         1106890

Property address:  
7 Northcote Road

LIM number: 70204434  
Page 2

Christchurch City Council  
53 Hereford Street, PO Box 73015  
Christchurch 8154, New Zealand  
Tel 64 3 941 8999  
Fax 64 3 941 8984  
[www.ccc.govt.nz](http://www.ccc.govt.nz)

## Document information

This Land Information Memorandum (LIM) has been prepared for the purpose of section 44A of the Local Government Official Information and Meetings Act 1987 (LGOIMA). It is a summary of the information that we hold on the property. Each heading or "clause" in this LIM corresponds to a part of section 44A.

Sections 1 to 11 contain all of the information known to the Christchurch City Council that must be included under section 44A(2) LGOIMA. Any other information concerning the land as the Council considers, at its discretion, to be relevant is included at section 11 of this LIM (section 44A(3) LGOIMA).

The information included in this LIM is based on a search of Council records only and there may be other information relating to the land which is unknown to the Council. Council records may not show illegal or unauthorised building or works on the property. The applicant is solely responsible for ensuring that the land is suitable for a particular purpose.

If there are no comments or information provided in any section of this LIM this means that the Council does not hold information on the property that corresponds to that part of section 44A.

A LIM is only valid at the date of issue as information is based only upon information the Council held at the time of that LIM request being made.

## Property file service

This Land Information Memorandum does not contain all information held on a property file. Customers may request property files by phoning the Council's Customer Call Centre on (03) 941 8999, or visiting any of the Council Service Centres. For further information please visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

To enable the Council to measure the accuracy of this LIM document based on our current records, we would appreciate your response should you find any information contained therein which may be considered to be incorrect or omitted. Please telephone the Customer Call Centre on (03) 941 8999.

A search of records held by the Council has revealed the following information:

## 1. Special features and characteristics of the land

*Section 44A(2)(a) LGOIMA. This is information known to the Council but not apparent from the district scheme under the Town and Country Planning Act 1977 or a district plan under the Resource Management Act 1991. It identifies each (if any) special feature or characteristic of the land concerned, including but not limited to potential erosion, avulsion, falling debris, subsidence, slippage, alluvion, or inundation, or likely presence of hazardous contaminants.*

( For enquiries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

### 1 ECan Liquefaction Assessment

ECan holds indicative information on liquefaction hazard in the Christchurch area. Information on liquefaction can be found on the ECan website at [www.ecan.govt.nz/liq](http://www.ecan.govt.nz/liq) or by calling ECan customer services on Ph 03 353 9007. The Christchurch City Council may require site-specific investigations before granting future subdivision or building consent for the property, depending on the liquefaction potential of the area that the property is in.

### 1 Borelog/Engineer Report Image Available

Borelog/Engineer Report Image Available

### 1 Consultant Report Available

Land Information New Zealand (LINZ) engaged Tonkin and Taylor to provide a Geotechnical Report on Ground Movements that occurred as a result of the Canterbury Earthquake Sequence. The report indicates this property may have been effected by a degree of earthquake induced subsidence. The report obtained by LINZ can be accessed on their website at <https://www.linz.govt.nz/land/surveying/earthquakes/canterbury-earthquakes/information-for-canterbury-surveyors>

### 1 Fill

This property is located in an area known to have been filled. The year the fill occurred is Unknown. The filling was, according to the Councils records carried out in an uncontrolled manner and comprises Unknown Material.

### 1 Predicted 1 in 50 Year Flood Extent

This property, or parts of this property are predicted to be within the extent of a 1 in 50 year flood event. For new developments a minimum finished floor level may be required for flood limitation purposes under the Building Code. For more information please refer to (<http://maps.cera.govt.nz/advanced-viewer/?Viewer=Ccc-Floor-Levels>) or phone 941 8999.

### 1 Contains or contained a Tank

Council Records indicate that this site contains or contained a Tank Details of Tank are as follows: Date Installed: NA Tank Function: Waste Oil Volume(l): 2000 Underground or Above Ground: Underground Tank Status: Tank Exists Date Removed: NA Condition when Removed: NA

## Related information

- 1 There are attached hazard/special site characteristics supplementary sheet/s - Soils and Foundation Geotechnical Investigation Report.
- 1 Aerial shot attached showing approximate location of tank.

Property address:  
7 Northcote Road

LIM number: 70204434  
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Christchurch City Council  
53 Hereford Street, PO Box 73015  
Christchurch 8154, New Zealand  
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Fax 64 3 941 8984  
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## 2. Private and public stormwater and sewerage drains

Section 44A(2)(b) LGOIMA. This is information about private and public stormwater and sewerage drains as shown in the Council's records.

( For stormwater and sewerage enquiries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

### Related information

- | The dwelling/building is shown to be served by a sewer drain and a stormwater drain.
- | The drainage works associated with this property has been partially plotted on the Council's drainage plan. A copy of the field Inspectors pickup/approved site plan showing the drains and buildings/house outline is attached.
- | Registration to discharge or a consent must be obtained before any trade waste can be discharged to the Council's sewer system. Any consent to discharge trade waste will be issued in accordance with the Council's Trade Waste Bylaw. The Trade Waste Bylaw regulates the transfer of trade waste consents if a change of owner/ discharger occurs.

### 3. Drinking Water Supply

*Section 44A(2)(ba) and (bb) LGOIMA. This is information notified to the Council about whether the land is supplied with drinking water, whether the supplier is the owner of the land or a networked supplier, any conditions that are applicable, and any information the Council has about the supply.*

( For water supply queries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

#### Water Supply

Christchurch City Council is the networked supplier of water to this property. This property is connected to the Christchurch City Council Water Supply. The conditions of supply are set out in the Christchurch City Council Water Supply, Wastewater & Stormwater Bylaw (2014), refer to [www.ccc.govt.nz](http://www.ccc.govt.nz).

## 4. Rates

Section 44A(2)(c) LGOIMA. This is information on any rates owing in relation to the land.

( For rates enquiries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

### (a) Annual rates

Annual rates to 30/06/2018: \$ 29,212.75

|              | Instalment Amount | Date Due   |
|--------------|-------------------|------------|
| Instalment 1 | \$ 7,303.13       | 15/08/2017 |
| Instalment 2 | \$ 7,303.13       | 15/11/2017 |
| Instalment 3 | \$ 7,303.13       | 15/02/2018 |
| Instalment 4 | \$ 7,303.36       | 15/05/2018 |

Rates owing as at 21/12/2017: \$ 0.00

### (b) Excess water charges

\$ 0.00

( For water charge enquiries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

### (c) Final water meter reading required?

Reading is Required

( To arrange a final water meter reading, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).



## 5. Consents, certificates, notices, orders, or requisitions affecting the land and buildings

*Section 44A(2)(d) LGOIMA. This is information concerning any consent, certificate, notice, order, or requisition, affecting the land or any building on the land, previously issued by the Council.*

*Section 44A(2)(da) LGOIMA. The information required to be provided to a territorial authority under section 362T(2) of the Building Act 2004. There is currently no information required to be provided by a building contractor to a territorial authority under section 362T(2) of the Building Act 2004. The Building (Residential Consumer Rights and Remedies) Regulations 2014 only prescribed the information that must be given to the clients of a building contractor.*

( For building enquiries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

### (a) Consents

- | BCN/1976/2833 Applied: 27/05/1976 Status: Completed  
7 Northcote Road Papanui  
Permit granted 08/06/1976  
Permit issued 08/06/1976  
LUNCH ROOM & TOILETS- Historical Reference PER76110932
- | BCN/1978/773 Applied: 27/02/1978 Status: Completed  
7 Northcote Road Papanui  
Permit granted 16/03/1978  
Permit issued 16/03/1978  
ADDITIONS- Historical Reference PER78110410
- | BCN/1980/2281 Applied: 05/05/1980 Status: Completed  
7 Northcote Road Papanui  
Permit granted 03/06/1980  
Permit issued 03/06/1980  
STORE- Historical Reference PER80111483
- | BCN/1980/3364 Applied: 23/06/1980 Status: Completed  
7 Northcote Road Papanui  
Permit granted 28/08/1980  
Permit issued 28/08/1980  
SIGN- Historical Reference PER80111073
- | BCN/1986/3123 Applied: 29/05/1986 Status: Completed  
7 Northcote Road Papanui  
Permit granted 29/05/1986  
Permit issued 29/05/1986  
FIREPLACE- Historical Reference PER86000842
- | BCN/1997/1081 Applied: 21/02/1997 Status: Completed  
7 Northcote Road Papanui  
Accepted for processing 21/02/1997  
Building consent granted 06/03/1997  
Building consent issued 06/03/1997  
Code Compliance Certificate Granted 27/08/1997  
Code Compliance Certificate Issued 27/08/1997  
Demolition of site housing/ demolition of site- Historical Reference CON97001180

Property address:  
7 Northcote Road

- | BCN/1997/1082 Applied: 21/02/1997 Status: Completed  
7 Northcote Road Papanui  
Accepted for processing 21/02/1997  
Building consent granted 05/03/1997  
Building consent issued 05/03/1997  
Code Compliance Certificate Granted 26/08/1997  
Code Compliance Certificate Issued 26/08/1997  
Demolition of site housing/ demolition of site- Historical Reference CON97001181
- | BCN/1997/4038 Applied: 27/05/1997 Status: Completed  
7 Northcote Road Papanui  
Accepted for processing 27/05/1997  
Building consent granted 03/07/1997  
Building consent issued 04/07/1997  
Code Compliance Certificate Granted 05/12/1997  
Code Compliance Certificate Issued 05/12/1997  
NEW RESTAURANT-DEMOLISH EXISTING COMMERCIAL-NEW RESTAURANT-DEMOLISH EXISTING-  
Historical Reference CON97004566
- | BCN/1997/7334 Applied: 01/10/1997 Status: Lapsed  
7 Northcote Road Papanui  
Accepted for processing 01/10/1997  
Building consent granted 07/10/1997  
Building consent issued 08/10/1997  
Building consent lapsed 01/01/1999  
Sign - Valentines miscellaneous/ sign- Historical Reference CON97008219
- | BCN/2003/916 Applied: 14/02/2003 Status: Completed  
7 Northcote Road Papanui  
Accepted for processing 14/02/2003  
PIM Granted 06/03/2003  
PIM Issued 06/03/2003  
INTERNAL ALTERATIONS TO CREATE TWO TENANCIES MOTOR SERVICE BUILDING- Historical Reference  
ABA10032220
- | BCN/2003/3867 Applied: 22/05/2003 Status: Completed  
7 Northcote Road Papanui  
Accepted for processing 22/05/2003  
Building consent granted 23/06/2003  
Building consent issued 01/08/2003  
Code Compliance Certificate Granted 07/04/2006  
Code Compliance Certificate Issued 07/04/2006  
NEW BUILDING / MOTOR SERVICING- Historical Reference ABA10035109
- | BCN/2003/7910 Applied: 25/09/2003 Status: Completed  
7 Northcote Road Papanui  
Accepted for processing 25/09/2003  
PIM Granted 06/10/2003  
PIM Issued 06/10/2003  
Building consent granted 17/11/2003  
Building consent issued 18/11/2003  
Code Compliance Certificate Granted 27/01/2010  
Code Compliance Certificate Issued 27/01/2010  
CHANGE OF USE & ALTERATIONS: RESTAURANT CONVERTED INTO THREE SHOPS (EXCL. SIGNS)-  
Historical Reference ABA10039030

Property address:  
7 Northcote Road

- | BCN/2009/6502 Applied: 30/10/2009 Status: Completed  
7 Northcote Road Papanui  
Accepted for processing 30/10/2009  
PIM Granted 16/11/2009  
PIM Issued 16/11/2009  
Building consent granted 14/12/2009  
Building consent issued 14/12/2009  
Code Compliance Certificate Granted 19/07/2011  
Code Compliance Certificate Issued 19/07/2011  
ADDITIONS & ALTERATIONS TO A RETAIL BUILDING - FRUIT AND VEGETABLE RETAIL FITOUT & ADD CANOPY AND CHILLER- Historical Reference ABA10097278
- | BCN/2010/1018 Applied: 19/02/2010 Status: Completed  
7 Northcote Road Papanui  
Accepted for processing 19/02/2010  
Amended plan granted 29/03/2010  
AMENDED PLANS SET 1 FOR ABA 10097278 CHANGES TO PARKING 45-51 AND D1 AND D2- Historical Reference ABA10099896
- | BCN/2016/6348 Applied: 26/07/2016 Status: Completed  
7 Northcote Road Papanui  
Exemption from building consent approved 03/08/2016  
Addition of new service & coffee counter, plumbing in two new sinks. Takeaway only

## (b) Certificates

*Note: Code Compliance Certificates were only issued by the Christchurch City Council since January 1993.*

## (c) Notices

### | Ministry of Business, Innovation & Employment Foundation Design

Some properties have experienced land damage and considerable settlement during the sequence of Canterbury earthquakes. While land in the green zone is still generally considered suitable for residential construction, houses in some areas will need more robust foundations or site foundation design where foundation repairs or rebuilding are required. Most properties have been assigned a technical category. Details of the MBIE guidance can be found at [www.building.govt.nz/](http://www.building.govt.nz/)

- | Placards issued under the Civil Defence Emergency Management Act 2002 as a result of the 4 September 2010 and 22 February 2011 earthquakes have now expired (by 12 July 2011 if not before). Some civil defence placards were replaced with dangerous building notices issued under section 124 Building Act 2004, and where this has happened the section 124 notice is separately recorded. Many other buildings, although not issued with a section 124 notice, may require structural work or other repairs before they can be occupied again. It is the building owners responsibility to make sure the building is safe for any occupier or visitor. Detailed structural engineering assessments may still be required to be carried out.

- | CDB75078841 11/03/2011  
Building Evaluation Oll changers, Harvest Market : Building Inspected Under Civil Defence Emergency , Green Placard Issued (a deemed Building Act notice)
- | WOF54411 Expires: 01/04/2018  
Compliance Schedule Warrant of Fitness/Statement of Fitness/Compliance Schedule Statement

## (d) Orders

## (e) Requisitions

### Related information

- | Building consent amendment BCN/2010/1018 is an approved change to building consent BCN/2009/6502. A code compliance certificate is not issued for an amendment.

Property address:  
7 Northcote Road

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## 6. Certificates issued by a building certifier

Section 44A(2)(e) LGOIMA. This is information notified to the Council concerning any certificate issued by a building certifier pursuant to the Building Act 1991 or the Building Act 2004.

( For building enquiries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

Property address:  
7 Northcote Road

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## 7. Weathertightness

*Section 44A(2)(ea) LGOIMA. This is information notified to the Council under section 124 of the Weathertight Homes Resolution Services Act 2006.*

( For weathertight homes enquiries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

*If there is no information below this means Council is unaware of any formal Weathertight Homes Resolution Services claim lodged against this property.*

## 8. Land use and conditions

*Section 44A(2)(f) LGOIMA. This is information relating to the use to which the land may be put and conditions attached to that use. The planning information provided is not exhaustive and reference to the District Plan(s) is recommended. There have been Proposed Christchurch Replacement District Plan provisions notified. The Proposed Christchurch Replacement District Plan may include changes that affect this property. The Proposed Christchurch Replacement District Plan includes provisions relating to protected historic heritage and protected areas of ecological significance that have immediate legal effect. Decisions have also been made on some of the provisions in the Proposed Christchurch Replacement District Plan which also have legal effect, or may be operative or have to be treated as operative. Proposed Replacement District Plan provisions which are operative, or have to be treated as operative, supersede the relevant provisions in the Christchurch City Plan or the Banks Peninsula District Plan. Some decisions on provisions of the Christchurch Replacement District Plan may be subject to changes as a result of further decisions. To find out more about the Proposed Replacement District Plan and what this might mean for this property, please visit <https://ccc.govt.nz/the-council/plans-strategies-policies-and-bylaws/plans/districtplans> for more information.*

( For planning queries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

### ! **Regional plan or bylaw**

There may be objectives, policies or rules in a regional plan or a regional bylaw that regulate land use and activities on this site. Please direct enquiries to Canterbury Regional Council (Environment Canterbury).

### ! **Waterway Provisions for Other Councils**

A resource consent or permit may also be required from the Canterbury Regional Council or other territorial authority, particularly with respect to water bodies managed by those authorities. Please refer to the relevant regional plan and any relevant bylaws, and contact the Christchurch City Council if you are uncertain which authority manages the water body in question.



## (a)(i) Operative Christchurch City Plan & Banks Peninsula District Plan

|  |    |
|--|----|
| 1. Special Amenity Area  | No |
| 2. Community Footprint   | No |
| 3. Opposite Important Open Space                               | No |
| 4. Designations on Site  | No |
| 5. Road Widening Designations                                  | No |
| 6. Historic or Protection Building                             | No |
| 7. Other Heritage Protection Items                             | No |
| 8. Protected Trees   |    |
| Heritage/Notable Tree  | No |
| Other; eg Category A, B, C Street Plantings; Subdivision trees | No |
| 9. Noise Control   | No |
| 10. Coastal Protection   | No |
| 11. Landscape Protection                                       | No |

## (ii) Proposed Christchurch Replacement District Plan/Christchurch District Plan

### † **Christchurch International Airport Protection Surfaces**

Property or part of property within the Christchurch International Airport Protection Surfaces overlay which is operative.

### † **Liquefaction Management Area (LMA)**

Property or part of property within the Liquefaction Management Area (LMA) Overlay which is operative.

### † **Waterway Provisions**

This property or part of this property is close to at least one waterway with a setback within which District Plan rules apply to activities including buildings, earthworks, fences and impervious surfacing. Any part of the property within the setback will be affected by those rules.

### † **Flood Management Area**

Property or part of property within the Flood Management Area (FMA) Overlay which is operative.

### † **District Plan Zone**

Property or part of property within the Commercial Local Zone which is operative.

## (iii) Notice of Requirement for a Designation

### (b) Resource consents

- I RMA/1977/180 - Resource consents  
7 Northcote Road Papanui  
Specified departure to allow a workshop to be used in the repair of motor vehicles to be extended. 2 objections. -  
Historical Reference RES9210599  
Status: Processing complete  
Applied 14/02/1977  
Decision issued 23/06/1977  
Granted 23/06/1977
  
- I RMA/1978/239 - Resource consents  
7 Northcote Road Papanui  
Specified departure to use a concrete block building for the storage and packing of dry opossum skins. 7  
objections. - Historical Reference RES9210595  
Status: Processing complete  
Applied 02/02/1978  
Decision issued 21/06/1978  
Declined 21/06/1978  
Outcome not recorded 21/06/1978
  
- I RMA/1978/394 - Resource consents  
7 Northcote Road Papanui  
Consent to use a concrete block building for the storage and packing of dry opossum skins. 7 objections - Historical  
Reference RES9218002  
Status: Processing complete  
Applied 02/02/1978  
Decision issued 09/03/1979  
Granted 09/03/1979  
Outcome not recorded 09/03/1979
  
- I RMA/1993/360 - Resource consents  
7 Northcote Road Papanui  
Consent to redevelop site in residential 1 zone for commercial purposes - Historical Reference RES9217109  
Status: Processing complete  
Applied 09/06/1993  
Decision issued 23/09/1993  
Granted 23/09/1993

- I RMA/1996/2627 - Resource consents  
7 Northcote Road Papanui  
Single storey restaurant with liquor licence and associated carparking. - Historical Reference RES963031  
Status: Processing complete  
Applied 26/11/1996  
Decision issued 01/01/1999  
Declined 01/01/1999
  
- I RMA/1997/595 - Resource consents  
7 Northcote Road Papanui  
To erect of a single storey restaurant with a liquor licence and associated carparking. - Historical Reference RES970583  
Status: Processing complete  
Applied 13/03/1997  
Decision issued 11/04/1997  
Granted 11/04/1997
  
- I RMA/1997/2284 - Resource consents  
7 Northcote Road Papanui  
To erect approximaely 40m2 of outdoor advertising on a site permitted 31m2 in area; to erect outdoor advertising containing letters exceeding - Historical Reference RES972613  
Status: Processing complete  
Applied 19/09/1997  
Decision issued 30/09/1997  
Granted 30/09/1997
  
- I RMA/1997/3207 - Resource consents  
7 Northcote Road Papanui  
To erect a 10 metre high freestanding illuminated sign on the Northcote Road frontage of the Valentines site. - Historical Reference RES973704  
Status: Processing complete  
Applied 23/12/1997  
Decision issued 01/01/1999  
Declined 01/01/1999
  
- I RMA/1998/3470 - Subdivision Consent  
7 Northcote Road Papanui  
Fee Simple SUBDIVISION - Historical Reference RMA2863  
Status: Processing complete  
Applied 12/01/1998

Property address:  
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- I RMA/2003/815 - Land Use Consent  
7 Northcote Road Papanui  
New motor vehicle servicing building and alterations to existing building that has various non-compliances. -  
Historical Reference RMA20013089  
Status: Processing complete  
Applied 26/03/2003  
Decision issued 28/04/2003  
Granted 28/04/2003
  
- I RMA/2003/1817 - Land Use Consent  
7 Northcote Road Papanui  
Amendments to original consent granted rma20013089 - Historical Reference RMA20014122  
Status: Processing complete  
Applied 15/07/2003  
Decision issued 23/07/2003  
Granted 23/07/2003
  
- I RMA/2003/2865 - Land Use Consent  
7 Northcote Road Papanui  
To erect two free standing signs and signage on the building that does not comply with  
area permitted  
- Historical Reference RMA20015205  
Status: Withdrawn  
Applied 30/10/2003
  
- I RMA/2003/2866 - Land Use Consent  
7 Northcote Road Papanui  
To alter the existing commercial building into 3 retail units. Vehicle generation & access  
distance from intersection rules are not met.  
- Historical Reference RMA20015206  
Status: Processing complete  
Applied 30/10/2003  
Decision issued 20/11/2003  
Granted 20/11/2003

## 9. Other land and building classifications

*Section 44A(2)(g) LGOIMA. This is information notified to the Council by any statutory organisation having the power to classify land or buildings for any purpose.*

( For land and building enquiries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

Please refer to Section 1 for details

## 10. Network utility information

*Section 44A(2)(h) LGOIMA. This is information notified to the Council by any network utility operator pursuant to the Building Act 1991 or the Building Act 2004.*

( For network enquiries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

! **None recorded for this property**



## 11. Other information

Section 44A(3) LGOIMA. This is information concerning the land that the Council has the discretion to include if it considers it to be relevant.

( For any enquiries, please phone (03) 941 8999 or visit [www.ccc.govt.nz](http://www.ccc.govt.nz).

### (a) Kerbside waste collection

- | Your recycling is collected Fortnightly on the Week 1 collection cycle on a Friday. Please leave your recycling at the Kerbside by 6:00 a.m. Your nearest recycling depot is the Styx Mill Refuse Station.
- | Your refuse is collected Fortnightly on the Week 1 collection cycle on a Friday. Please leave your rubbish at the Kerbside by 6:00 a.m. Your nearest rubbish depot is the Styx Mill Refuse Station.
- | Your organics are collected Weekly on Friday. Please leave your organics at the Kerbside by 6:00 a.m.

### (b) Other

#### | **Community Board**

Property located in Papanui-Innes Community Board

#### | **Electoral Ward**

Property located in Papanui Electoral Ward

#### | **Listed Land Use Register**

Hazardous activities and industries involve the use, storage or disposal of hazardous substances. These substances can sometimes contaminate the soil. Environment Canterbury identifies land that is used or has been used for hazardous activities and industries. This information is held on a publically available database called the Listed Land Use Register (LLUR). The Christchurch City Council may not hold information that is held on the LLUR Therefore, it is recommended that you check Environment Canterbury's online database at [www.llur.ecan.govt.nz](http://www.llur.ecan.govt.nz)

#### | **Spatial Query Report**

A copy of the spatial query report is attached at the end of this LIM. The spatial query report lists land use resource consents that have been granted within 100 metres of this property.

#### | **Health Licence**

FSH/2015/2094

FMY Limited

Harvest Market Papanui

General Food Premises - High Risk

Current

- | Please see attached a copy of the Detailed Engineering Evaluation (DEE) assessment report and CERA Acceptance Letter

Property address:  
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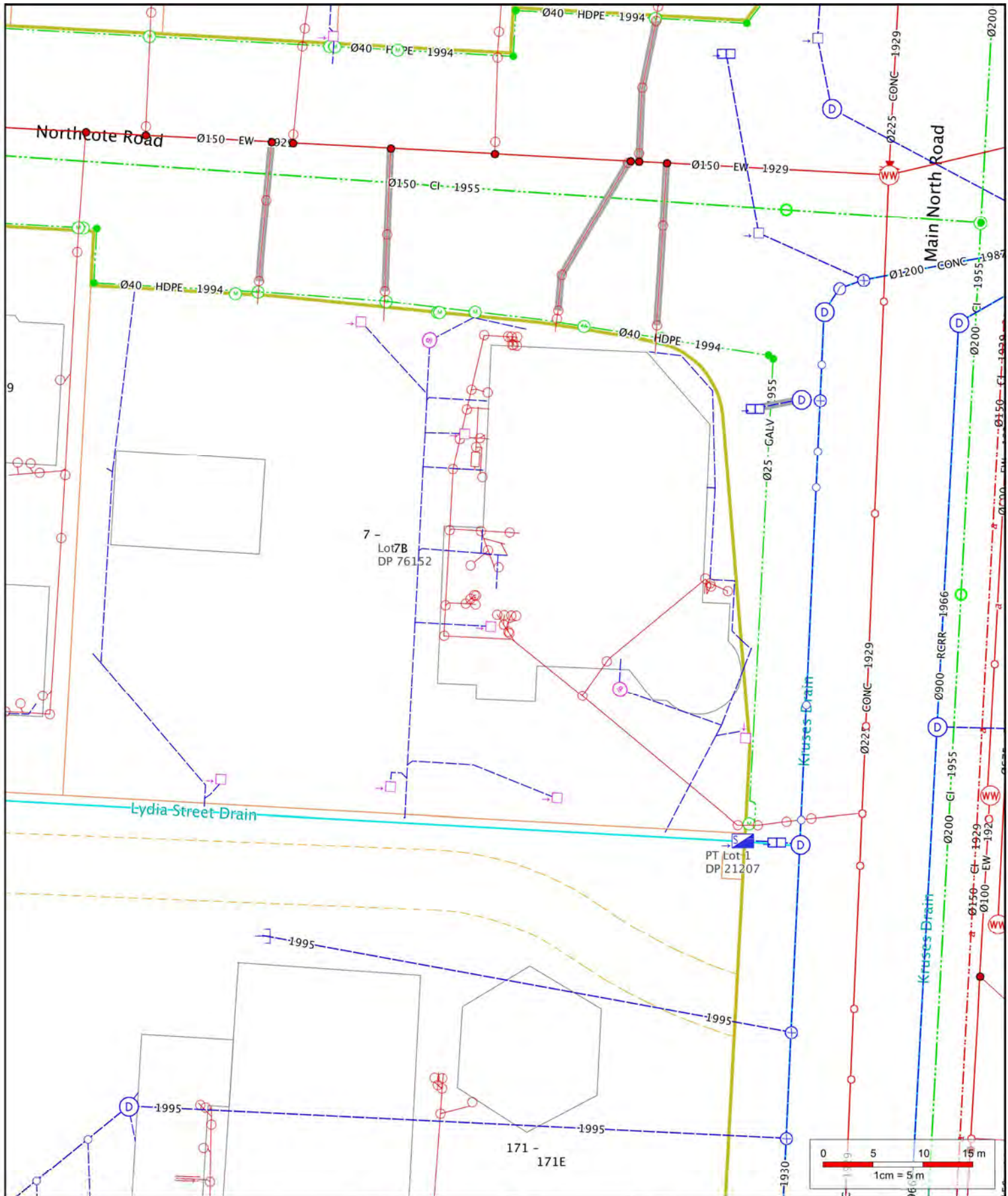
Christchurch City Council  
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Christchurch 8154, New Zealand  
Tel 64 3 941 8999  
Fax 64 3 941 8984  
[www.ccc.govt.nz](http://www.ccc.govt.nz)

- 1 Dangerous Goods Licences have been replaced with Location Test Certificates administered by the Environmental Protection Authority (EPA). You can contact a local Test Certifier to advise you or to issue the type of test certificate you need at the EPA Website: <http://www.epa.govt.nz/search-databases/pages/testcertifiers-search.aspx>

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7 Northcote Road

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**1 : 500 on A4**  
 Dec 20, 2017 2:00:06 PM


  
 ph: 941-8300 fax: 941-8385

Accuracy not guaranteed. Onsite verification required. Display of data scale dependent, full detail available at 1:500.

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| Private Drainage   | Water Intake/Supply   | Wastewater   | Wastewater   | Stormwater  | Stormwater  |
|--|---|--|--|---|---|
| <b>Standard Infrastructure</b><br>Bio Gas<br>Condensate Trap<br>End Cap<br>Inlet<br>Outlet<br>Valve<br>Main<br>Cable | Inlet<br>Meter<br>Outlet<br>Pump<br>Restrictor<br>Valve<br>Air Release<br>Butterfly<br>Flow restriction<br>Gate<br>Pressure Activated<br>Sluice<br>Valve<br>Reservoir<br>Structure<br>Lateral<br>Main<br>Sub Main | End Cap<br>Valve<br>Air Gap Separator<br>Vent<br>Eye<br>Eye (Vertical)<br>Outfall<br>Pump<br>Junction<br>Access<br>Flush Manhole<br>Inspection Point<br>Standard Manhole<br>Trap<br>Vented Manhole<br>Lateral<br>Pressure Main | Lateral Fitting<br>Local Pressure<br>CP Control Panel<br>BK Boundary Kit<br>Tank System<br>Site<br>Vacuum Chamber<br>Vacuum Breather | Inlet<br>Inlet Headwall<br>Pipe End<br>Silt Trap<br>Single Sump<br>Soak Pit<br>Triple Sump<br>Junction<br>Standard Manhole<br>Outlet<br>Pump<br>Structure<br>Basin<br>Lateral<br>Main<br>Lateral Fitting<br>Double Sump | Lateral Fitting<br>Single Sump<br>Soak Pit<br>Inspection point<br>Manhole<br><b>All services</b><br>Pipe Protection<br>Abandoned<br>Proposed<br>Out of service<br><b>Landbase</b><br>Easement |





CHRISTCHURCH CITY COUNCIL - DRAINAGE PICK UP

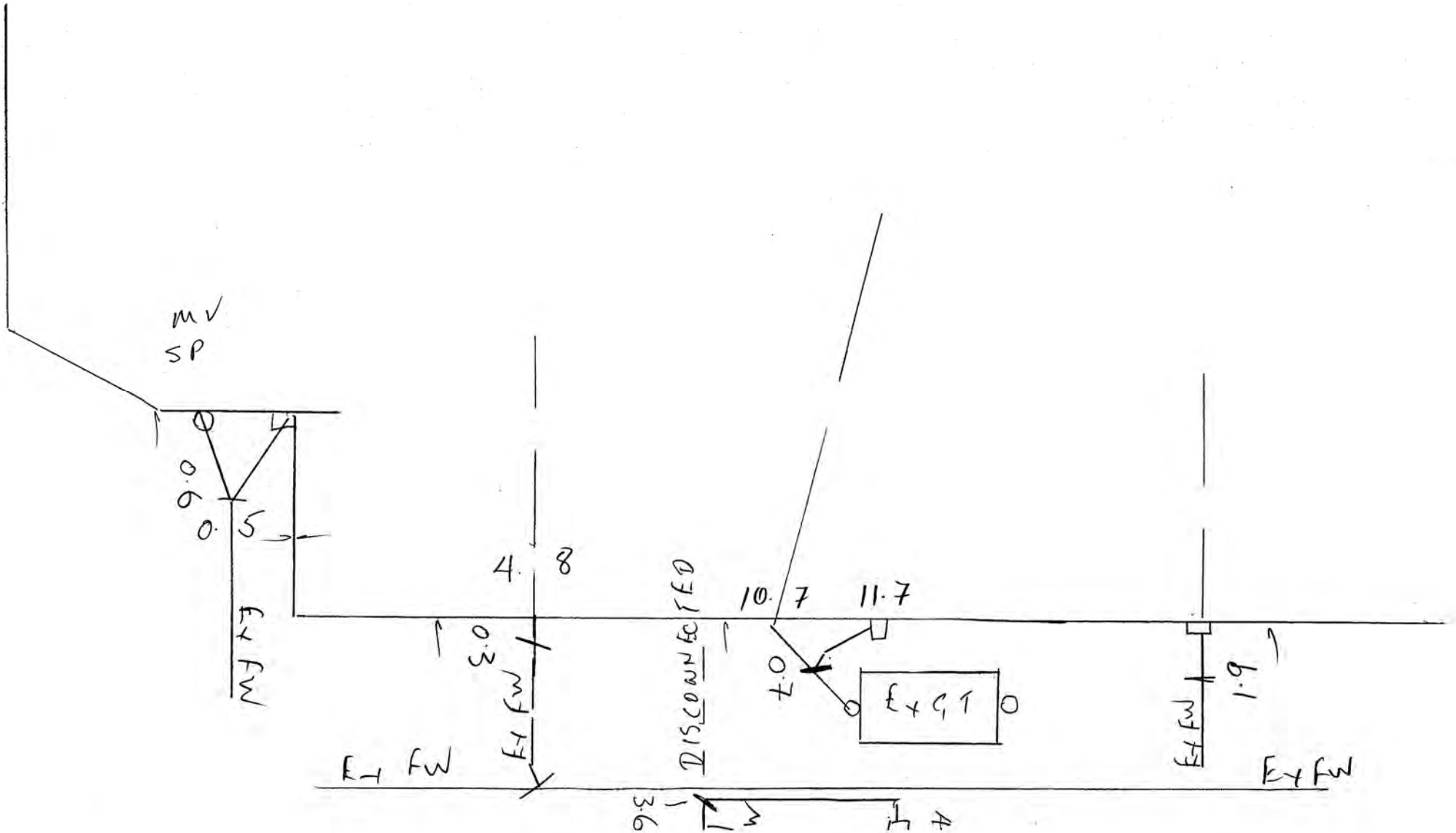


ADDRESS: 7 NORTHCOTE  
 LEGAL DESCRIPTION:  
 PROJECT No.: 10039030  
 DATE: 1.12.3

OWNER:  
 DRAINLAYER: CORNERSTONE  
 PLUMBER:  
 FIELD OFFICER: STUBBS

RECEIVED:  
 BLOCK PLAN:  
 PLOTTED: / /  
 EYE BOOK:

CONNECTION NUMBER







**Brunsdon Cathie Ltd**  
**Geotechnical Investigation**  
**Corner of Main North Road and Northcote Road**

379 8432

## 1.0 Introduction

Soils and Foundations has carried out a site investigation at the corner of Main North Road and Northcote Road, Christchurch

The site fronts onto Northcote Avenue to the north and Main North Road to the east and measures approximately 57m on the west boundary and 83m on the south boundary. We understand that a new Valentines restaurant building, covering a footprint plan area of 460m<sup>2</sup> will be constructed in the north east corner of the site

At this stage the proposed building is single storey and is of light weight steel framed construction with a concrete slab on grade. The structural engineer, Mr Vivian has advised that preliminary column loads are in the order of 40 to 50 kN.

## 2.0 Sub-surface Investigation

Seven handauger boreholes, HA1- HA7 were carried out over the site. HA1 and HA5 were taken to 4.0m depth, HA2 and HA7 were taken to 3.0m depth and HA3, HA4 and HA6 were taken to 2.0m depth. A Scala penetrometer profile complements each borehole

The location of all tests to date are shown on the site plan, 95164/01 which has been appended along with the borelog profiles and Scala test results

## 3.0 Sub-surface Information

Generally, the boreholes indicate that the east side of the site adjacent to Main North Road is covered with fill which overlays natural silt and sandy silt. Elsewhere over the site the natural soils underlay a thin topsoil layer

HA1 and HA2 indicates 0.4 to 0.6m of fill comprising asphalt, sand and sandy gravel overlaying interbedded silt, clayey silt and sandy silt. Scala testing indicates firm soils, exceeding 100kPa allowable bearing capacity to 1.8m depth. The clayey silt extends below 1.8m, beyond the range of the Scala equipment, but drilling and inspection of recovered sample indicated them to be soft and plastic

The remaining boreholes indicate a similar interbedded soil profile underlaying approximately 0.15m of topsoil. Scala testing indicated a soft layer of silt an average depth of 0.3m extending to approximately 0.7m depth. As before, the clayey silts occur below the limits of the Scala test but drilling indicated it to be soft and plastic

Due to the uneven topography it is difficult to infer the depth of the water table but it should occur at approximately 0.75m depth as measured at the time of investigation. This is high for this area and may indicate a perched water table on top of the clayey silt

## 4.0 Recommendations

### 4.1 Foundations

Shallow pads and strip footings should be suitable under the structure subject to confirmation of the design loads at the columns and along the walls. Use an allowable bearing capacity of 100 kPa.

Brunsdon Cathie Ltd  
 Geotechnical Investigation  
 Corner of Main North Road and Northcote Road

All footings must be located as high as possible and preferably at about 0.3m depth. This will require that the contractor overexcavates fill or soft soil at each footing location to approximately 0.7m depth. Levels should then be reinstated to the underside of the footings with compacted hardfill. All filling and compaction should be carried out in layer thicknesses not exceeding 0.15m.

The location of the water table should not unduly influence deeper excavations. However, if there are sustained periods of rain prior to the work being carried out excavations may have to be carried out in the wet.

4.2 Carpark area

Mr Vivian has requested that we comment on design guidelines for the carparking area. However, this area was not investigated and soil conditions should be confirmed with at least one further investigation during construction phase. This is likely to involve a series of Scala tests to confirm design CBR values.

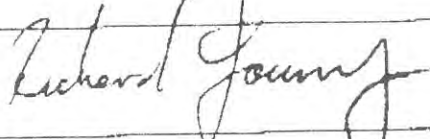
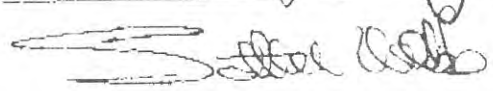
The testing carried out for the building itself indicates an average CBR in the order of 5% at approximate 0.7m depth. Above this depth the soils are too variable and soft to be relied upon to provide adequate resistance to wheel loads. Therefore, we recommend that the entire area of the carpark is stripped to 0.7m depth and this subbase be inspected by Soils and Foundations before the construction of the pavement begins. We anticipate that a flexible pavement solution is sought and refer the reader to the Transit NZ design standards and the Christchurch City Council guidelines for further design information. These documents include advice on required cross falls and drainage solutions. Please note that concentrated surface runoff must be directed to suitable disposal and you have to check with the City Council guidelines before any connections are made to existing pipes or drains.

6.0 Limitations

The subsurface soil profile at this site has been inferred from isolated boreholes. If, when construction begins the contractor finds that conditions differ significantly from those described in this report this office must be notified immediately.

This report has been prepared solely for the benefit Brunsdon Cathie Ltd, Roger Vivian and the Christchurch City Council. No liability is accepted by this Company or any employee or sub-consultant of this company with respect to its use by any other person.

This disclaimer shall apply notwithstanding that the report may be made available to other persons for an application for permission or approval or to fulfil a legal requirement.

|             |   |               |                    |
|-------------|---|---------------|--------------------|
| Prepared by |  | Richard Young | 23 MAY '97<br>Date |
| Reviewed by |  | Samantha Web  | Date               |



# SOILS & FOUNDATIONS LTD

Project: **NORTHCOTE/MAIN NORTH ROADS**      Project Number: **95164**      Boring ID. **HAI**  
 Client **Roger Vivian**      Sheet No.1 of 1

Boring Depth (m.): **4.0**      Elevation:      Engineer: **G.Clark**      Starting Date: **16/5/97**

Datum/Notes/      Ending Date: **16/5/97**

| Elev. (m) | Depth (m) | Lith-ology          | Material Description  | Well Detail | Comments | Scaia Penetration (mm/blow) |    |     |
|-----------|-----------|---------------------|---|-------------|----------|-----------------------------|----|-----|
|           |           |                     |   |             |          | 0                           | 50 | 100 |
|           |           | [Diagonal Hatching] | Brown SAND.<br>-fill  |             |          |                             |    |     |
|           |           | [Wavy Hatching]     | ASPHALT.  |             |          |                             |    |     |
|           |           | [Diagonal Hatching] | Brown SAND.<br>-fill  |             |          |                             |    |     |
|           |           | [Cross Hatching]    | Grey SILT.  |             |          |                             |    |     |
|           | 1         | [X Pattern]         | Brown mottled orange and grey SILT.<br>-firm<br>-softer with depth<br>-less mottled grey with depth | ▽           |          |                             |    |     |
|           |           | [X Pattern]         | -strong mottled reddish orange colouring  |             |          |                             |    |     |
|           | 2         | [Star Pattern]      | Blue grey CLAYEY SILT.<br>-firm to soft<br>-plastic<br>-softer with depth                           |             |          |                             |    |     |
|           | 3         | [X Pattern]         | Grey SILT with minor sand.<br>-soft   |             |          |                             |    |     |
|           | 4         | [Star Pattern]      | Grey CLAYEY SILT.<br>-soft  |             |          |                             |    |     |

# SOILS & FOUNDATIONS LTD.

Project: **NORTHCOTE/MAIN NORTH ROADS**

Project Number: **95164**

Boring ID: **HA2**

Client: **Roger Vivian**

Sheet No.1 of 1

Boring Depth (m.): **3.0**

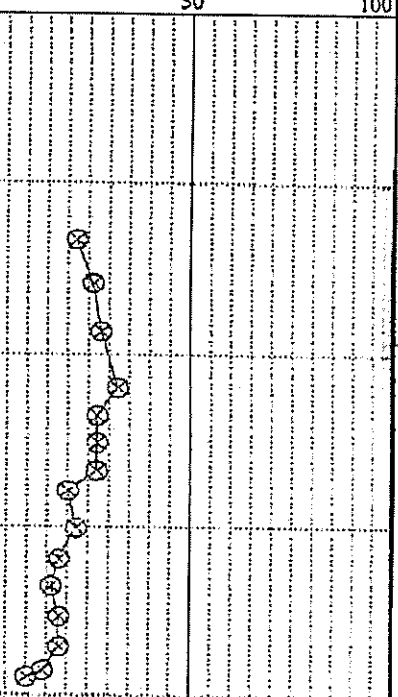
Elevation:

Engineer: **G. Clark**

Starting Date: **16/5/97**

Ending Date: **16/5/97**

| Depth (m) | Lithology | Material Description  | Well Detail | Comments | Scala Penetration (mm/blow) |    |     |
|-----------|-----------|---|-------------|----------|-----------------------------|----|-----|
|           |           |   |             |          | 0                           | 50 | 100 |
| 1         | //        | <b>SANDY GRAVELLY FILL.</b><br>-fine to coarse gravel<br>-brown sand          |             |          |                             |    |     |
|           | x         | <b>Grey mottled orange SILT.</b><br>-firm                                     | ▽           |          |                             |    |     |
|           | x         | <b>Blue grey CLAYEY SILT.</b><br>-firm  |             |          |                             |    |     |
| 2         | x         | <b>Red orange brown SANDY SILT</b><br>with a trace of gravel.<br>-fine gravel |             |          |                             |    |     |
|           | x         | <b>Blue grey CLAYEY SILT.</b><br>-soft<br>-plastic                            |             |          |                             |    |     |
| 3         | x         |   |             |          |                             |    |     |
| 4         | x         |   |             |          |                             |    |     |



# SOILS & FOUNDATIONS LTD.

|  |                              |                       |
|--|------------------------------|-----------------------|
| Project: <b>NORTHCOTE/MAIN NORTH ROADS</b> | Project Number: <b>95164</b> | Boring ID. <b>HA3</b> |
| Client: <b>Roger Vivian</b>                |                              | Sheet No.1 of 1       |

|                               |            |                          |                               |
|-------------------------------|------------|--------------------------|-------------------------------|
| Boring Depth (m.): <b>2.0</b> | Elevation: | Engineer: <b>G.Clark</b> | Starting Date: <b>16/5/97</b> |
| Datum/Notes/                  |            |                          | Ending Date: <b>16/5/97</b>   |

| Elev. (m) | Depth (m) | Lithology | Material Description  | Well Detail | Comments | Scone Penetration (mm/blow) |
|-----------|-----------|-----------|---|-------------|----------|-----------------------------|
|           |           | XXXX      | Brown TOPSOIL.<br>-dry  |             |          | 0                           |
|           |           | XXXX      | Brown mottled orange SILT.<br>-firm   |             |          | 10                          |
|           |           | XXXX      | Brown and grey mottled orange SANDY SILT.<br>-soft                              |             |          | 15                          |
|           | 1         | XXXX      | Brown mottled orange SILT.<br>-firm<br>-strong mottled orange colouring         | ▽           |          | 20                          |
|           |           | XXXX      | Grey mottled orange SILT.<br>-firm  |             |          | 25                          |
|           |           | XXXX      | Red orange brown SANDY SILT<br>with a trace of gravel.<br>-fine gravel<br>-soft |             |          | 30                          |
|           | 2         | XXXX      | Blue grey CLAYEY SILT.<br>-soft<br>-plastic                                     |             |          | 35                          |
|           | 3         |           |   |             |          | 40                          |
|           | 4         |           |   |             |          | 45                          |

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|  |                              |                               |
|--|------------------------------|-------------------------------|
| Project: <b>NORTHCOTE/MAIN NORTH ROADS</b> | Project Number: <b>95164</b> | Boring ID. <b>HA4</b>         |
| Client: <b>Roger Vivian</b>                |                              | Sheet No. 1 of 1              |
| Boring Depth (m.): <b>2.0</b>              | Elevation:                   | Engineer: <b>G.Clark</b>      |
| Datum/Notes/                               |                              | Starting Date: <b>16/5/97</b> |
|  |                              | Ending Date: <b>16/5/97</b>   |

| Depth (m) | Lithology           | Material Description   | Well Detail | Comments | Scone Penetration (mm/blow)                                    |     |     |
|-----------|---------------------|--|-------------|----------|--|-----|-----|
|           |                     |  |             |          | 0  | -50 | 100 |
| 1         | [Diagonal Hatching] | Brown TOPSOIL.<br>-dry   | ▽           |          | [Graph showing Scone Penetration data points and a trend line] |     |     |
|           | [Cross Hatching]    | Brown mottled orange SILT.<br>-firm                                    |             |          |  |     |     |
|           | [Dotted Hatching]   | Brown and grey SANDY SILT.<br>-soft                                    |             |          |  |     |     |
|           | [X Hatching]        | Grey mottled orange SILT.<br>-firm                                     |             |          |  |     |     |
|           | [X Hatching]        | -strong mottled orange colouring                                       |             |          |  |     |     |
| 2         | [X Hatching]        | Red orange brown SANDY SILT<br>with a trace of gravel.<br>-fine gravel |             |          |  |     |     |
|           | [X Hatching]        | Blue grey CLAYEY SILT.<br>-soft  |             |          |  |     |     |
| 3         |                     |  |             |          |  |     |     |
| 4         |                     |  |             |          |  |     |     |



# SOILS & FOUNDATIONS LTD.

|  |                              |                                |
|--|------------------------------|--------------------------------|
| Project: <b>NORTHCOTE/MAIN NORTH ROADS</b> | Project Number: <b>95164</b> | Boring ID. <b>HAS</b>          |
| Client: <b>Roger Vivian</b>                |                              | Sheet No. <b>1</b> of <b>1</b> |
| Boring Depth (m.): <b>4.0</b>              | Elevation:                   | Engineer: <b>G. Clark</b>      |
| Datum/Notes/                               |                              | Starting Date: <b>16/5/97</b>  |
|  |                              | Ending Date: <b>16/5/97</b>    |

| Elev. (m) | Depth (m) | Lithology | Material Description   | Well Detail | Comments | Scone Penetration (mm/blow) |
|-----------|-----------|-----------|--|-------------|----------|-----------------------------|
|           |           | / / / / / | Brown TOPSOIL.<br>-dry   |             |          | 0                           |
|           |           | x x x x x | Brown mottled orange SILT.<br>-firm                                    |             |          | 10                          |
|           |           | . . . . . | Brown and grey mottled orange SANDY SILT.<br>-soft                     | ▽           |          | 20                          |
|           | 1         | x x x x x | Grey mottled orange SILT.<br>-firm<br>-softer with depth               | ▽           |          | 30                          |
|           |           | . . . . . | Grey mottled orange SANDY SILT.<br>-soft                               |             |          | 40                          |
|           |           | x x x x x | Red orange brown SANDY SILT<br>with a trace of gravel.<br>-fine gravel |             |          | 50                          |
|           | 2         | x x x x x | Blue grey CLAYEY SILT.<br>-soft<br>-plastic                            |             |          | 60                          |
|           |           | . . . . . | Grey CLAYEY SILT.<br>-soft   |             |          | 70                          |
|           | 3         | x x x x x |  |             |          | 80                          |
|           |           | . . . . . |  |             |          | 90                          |
|           | 4         | x x x x x |  |             |          | 100                         |

# SOILS & FOUNDATIONS LTD.

|  |                              |                               |
|--|------------------------------|-------------------------------|
| Project: <b>NORTHCOTE/MAIN NORTH ROADS</b> | Project Number: <b>95164</b> | Boring ID. <b>HA6</b>         |
| Client: <b>Roger Vivian</b>                |                              | Sheet No.1 of 1               |
| Boring Depth (m.): <b>2.0</b>              | Elevation:                   | Engineer: <b>G.Clark</b>      |
|  |                              | Starting Date: <b>16/5/97</b> |
|  |                              | Ending Date: <b>16/5/97</b>   |

| Depth (m) | Lithology | Material Description   | Well Detail | Comments | Scone Penetration (mm/blow) |    |     |
|-----------|-----------|--|-------------|----------|-----------------------------|----|-----|
|           |           |  |             |          | 0                           | 50 | 100 |
| 1         |           | Brown TOPSOIL.<br>-dry   | $\nabla$    |          |                             |    |     |
|           |           | Brown SANDY TOPSOIL with<br>some gravel.<br>-medium rounded gravel |             |          |                             |    |     |
|           |           | Brown mottled orange SILT.<br>-firm                                |             |          |                             |    |     |
|           |           | Grey mottled orange SILT.<br>-firm<br>-softer with depth           |             |          |                             |    |     |
| 2         |           | -trace of sand<br>Blue grey CLAYEY SILT.<br>-soft<br>-plastic      |             |          |                             |    |     |
|           |           |  |             |          |                             |    |     |
| 3         |           |  |             |          |                             |    |     |
| 4         |           |  |             |          |                             |    |     |

# SOILS & FOUNDATIONS LTD.

Project: NORTHCOTE/MAIN NORTH ROADS      Project Number: 95164      Boring ID: HA7

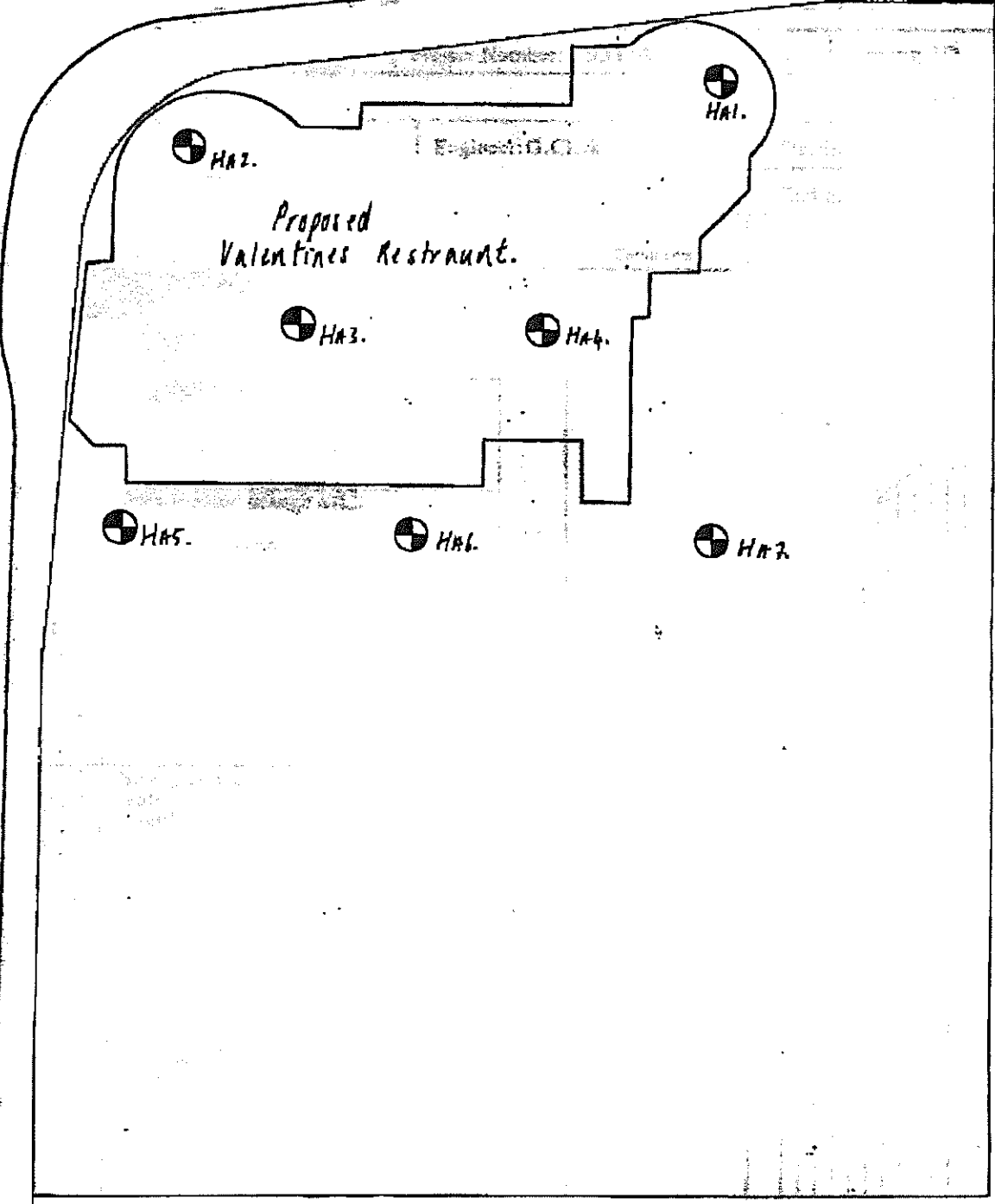
Client: Roger Vivian      Sheet No. 1 of 1

Boring Depth (m.): 3.0      Elevation:      Engineer: G. Clark      Starting Date: 16/5/97

Datum/Notes/      Ending Date: 16/5/97

| Depth (m) | Lithology           | Material Description                                     | Well Detail | Comments | Scale Penetration (mm/blow) |
|-----------|---------------------|--|-------------|----------|-----------------------------|
|           | [Diagonal Hatching] | Brown TOPSOIL.<br>-dry                                   |             |          |                             |
|           | [Cross-hatching]    | Brown mottled orange SILT.<br>-firm                      |             |          |                             |
|           | [Dotted pattern]    | Grey and brown SANDY SILT.<br>-soft                      |             |          |                             |
| 1         | [Cross-hatching]    | Grey mottled orange SILT.<br>-firm<br>-softer with depth | ▽           |          |                             |
| 2         | [Cross-hatching]    | Blue grey CLAYEY SILT.<br>-soft<br>-plastic              |             |          |                             |
| 3         | [Dotted pattern]    | Grey SANDY SILT.<br>-soft<br>-saturated                  |             |          |                             |
| 4         |                     |  |             |          |                             |

Main North Road.



Northcote Road.



Northcote / Main North Roads.

Drawn G.A.C

SOILS & FOUNDATIONS

Date 14.5.93

Figure 95164/01.



**Northcote Road Properties Ltd**

Mad Butcher and Harvest Market

Corner of Northcote Road and  
Main North Road, Christchurch

Detailed Engineering Evaluation  
Qualitative Assessment

18 May 2012

CPG

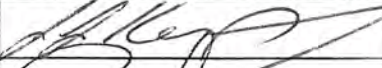
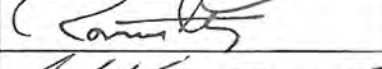
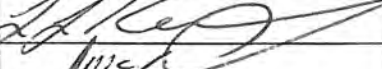

**Northcote Road Properties Ltd**

**Mad Butcher and Harvest Market**

**Corner of Northcote Road and Main North Road, Christchurch  
Detailed Engineering Evaluation – Qualitative Assessment**

This report has been prepared for Northcote Road Properties Ltd by CPG. No liability is accepted by this company or any employee or sub-consultant of this company with respect to its use by any other parties.

This disclaimer shall apply notwithstanding that the report may be made available to other persons for an application for permission or approval to fulfil a legal requirement.

| Quality Assurance Statement |                |  |
|-----------------------------|----------------|--|
| Task                        | Responsibility | Signature  |
| Project Manager:            | Jerry Kearney  |    |
| Prepared by:                | Ivan Roshkov   |   |
| Reviewed by:                | Jerry Kearney  |  |
| Approved for Issue by:      | John McCurran  |  |

| Revision Schedule |      |             |             |             |             |
|-------------------|------|-------------|-------------|-------------|-------------|
| Rev. No           | Date | Description | Prepared by | Reviewed by | Approved by |
|                   |      |             |             |             |             |
|                   |      |             |             |             |             |
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File No.:  
 Job No.: 705727  
 Date: May 2012  
 Ref: RP-12-05-18 JJK sm05

**Northcote Road Properties Ltd**

**Corner of Northcote Road and Main North Road, Christchurch  
Detailed Engineering Evaluation – Qualitative Assessment**

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**APPENDIX I**

IEP Evaluation for Corner of Northcote Road and Main North Road, Christchurch

**APPENDIX II**

Building Plan Sketch

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## EXECUTIVE SUMMARY

---

### Background

In accordance with territorial authority policy, CPG New Zealand Limited, on behalf of Northcote Road Properties Ltd, undertook an earthquake assessment of the building at the corner of Northcote Road and Main North Road, Christchurch on 1 May 2012. CPG inspected the building and calculated the likely seismic capacity using the NZSEE Initial Evaluation Procedure (IEP) method.

This is a summary of the Qualitative report for the building structure, and is based on the Detailed Engineering Evaluation Procedure document (draft) issued by the Structural Advisory Group on 19 July 2011.

The main shop was constructed in 1997-1998 and consists of a concrete ground bearing slab, steel portal frames, timber framed walls with fibre cement cladding all around and a light steel framed roof.

The entry canopy was constructed in 2003 and consists of a concrete ground bearing slab with a lightweight timber framed walls and a light roof.

The IEP assessment gave a capacity of 77% of New Building Standard (NBS), this classifies the building as being a low earthquake risk building (not earthquake prone).

### Key Damage Observed

The existing building located at the corner of Northcote Road and Main North Road, Christchurch appears not to have suffered any major damage in the Canterbury Earthquake sequence of 2010 and 2011.

### Critical Structural Weaknesses

We have not identified any significant potential critical structural weaknesses in respect of potential earthquakes.

### Indicative Building Strength (from IEP Assessment)

Based on the information available, the NZSEE Initial Evaluation Procedure calculated the building capacity is in the order of 77%NBS. The building is therefore not likely to be earthquake prone.

The Initial Evaluation Procedure is based only on the principal structure – moment resisting steel frames. Our experience tells us that the actual performance is likely to be greater than that specified once you take into account the resistance provided by the internal and external framing systems.

### Recommendations

It is recommended that:

- The existing building located at the corner of Northcote Road and Main North Road, does not require any strengthening works as its lateral resisting structural elements would perform almost to the required level of New Building Standard in event of a potential 'moderate' earthquake.



---

## 1.0 BACKGROUND

---

CPG has been engaged by Northcote Road Properties Ltd to provide a seismic assessment of the building located at the corner of Northcote Road and Main North Road, Christchurch.

This report is a Qualitative Assessment of the building structure, and is based on the Detailed Engineering Evaluation Procedure document (draft) issued by the Structural Advisory Group on 19 July 2011.

A qualitative assessment involves inspections of the building and a desktop review of existing structural and geotechnical information, including existing drawings and calculations, if available.

The purpose of the assessment is to determine the likely building performance and damage patterns, to identify any potential critical structural weaknesses or collapse hazards, and to make an initial assessment of the likely building strength in terms of percentage of new building standard (%NBS).

At the time of this report, no intrusive site investigation, detailed analysis, or modelling of the building structure had been carried out. A partial set of construction drawings was made available, and these have been considered in our evaluation of the building. The building description in Section 4.0 is based on a review of the drawings and our visual inspections.

---

## 2.0 COMPLIANCE

---

This section contains a brief summary of the requirements of the various statutes and authorities that control activities in relation to buildings in Christchurch at present.

### 2.1 Canterbury Earthquake Recovery Authority (CERA)

CERA was established on 28 March 2011 to take control of the recovery of Christchurch using powers established by the Canterbury Earthquake Recovery Act enacted on 18 April 2011. This act gives the Chief Executive Officer of CERA wide powers in relation to building safety, demolition and repair. Two relevant sections are:

#### *Section 38 – Works*

This section outlines a process in which the chief executive can give notice that a building is to be demolished and if the owner does not carry out the demolition, the chief executive can commission the demolition and recover the costs from the owner or by placing a charge on the owners' land.

#### *Section 51 – Requiring Structural Survey*

This section enables the chief executive to require a building owner, insurer or mortgagee carry out a full structural survey before the building is re-occupied.

We understand that CERA will require a detailed engineering evaluation to be carried out for all buildings (other than those exempt from the Earthquake Prone Building definition in the Building Act). It is anticipated that CERA will adopt the Detailed Engineering Evaluation Procedure

document (draft) issued by the Structural Advisory Group on 19 July 2011. This document sets out a methodology for both qualitative and quantitative assessments.

The qualitative assessment is a desk-top and site inspection assessment. It is based on a thorough visual inspection of the building coupled with a review of available documentation such as drawings and specifications. The quantitative assessment involves analytical calculation of the buildings strength and may require non-destructive or destructive material testing, geotechnical testing and intrusive investigation.

It is anticipated that factors determining the extent of evaluation and strengthening level required will include:

- The importance level and occupancy of the building
- The placard status and amount of damage
- The age and structural type of the building
- Consideration of any critical structural weaknesses
- The extent of any earthquake damage

## 2.2 Building Act

Several sections of the Building Act are relevant when considering structural requirements:

### *Section 112 – Alterations*

This section requires that an existing building complies with the relevant sections of the Building Code to at least the extent that it did prior to any alteration. This effectively means that a building cannot be weakened as a result of an alteration (including partial demolition).

### *Section 115 – Change of Use*

This section requires that the territorial authority (in this case Christchurch City Council (CCC)) be satisfied that the building with a new use complies with the relevant sections of the Building Code 'as near as is reasonably practicable'. Regarding seismic capacity 'as near as reasonably practicable' has previously been interpreted by CCC as achieving a minimum of 67%NBS however where practical achieving 100%NBS is desirable. The New Zealand Society for Earthquake Engineering (NZSEE) and CPG recommend a minimum of 67%NBS.

### *Section 121 – Dangerous Buildings*

The definition of dangerous building in the Act was extended by the Canterbury Earthquake (Building Act) Order 2010, and it now defines a building as dangerous if:

- In the ordinary course of events (excluding the occurrence of an earthquake), the building is likely to cause injury or death or damage to other property; or
- In the event of fire, injury or death to any persons in the building or on other property is likely because of fire hazard or the occupancy of the building; or
- There is a risk that the building could collapse or otherwise cause injury or death as a result of earthquake shaking that is less than a 'moderate earthquake' (refer to Section 122 below); or
- There is a risk that that other property could collapse or otherwise cause injury or death; or
- A territorial authority has not been able to undertake an inspection to determine whether the building is dangerous.

### *Section 122 – Earthquake Prone Buildings*

This section defines a building as earthquake prone if its ultimate capacity would be exceeded in a 'moderate earthquake' and it would be likely to collapse causing injury or death, or damage to other property. A moderate earthquake is defined by the building regulations as one that would generate ground shaking 33% of the shaking used to design an equivalent new building.

### *Section 124 – Powers of Territorial Authorities*

This section gives the territorial authority the power to require strengthening work within specified timeframes or to close and prevent occupancy to any building defined as dangerous or earthquake prone.

### *Section 131 – Earthquake Prone Building Policy*

This section requires the territorial authority to adopt a specific policy for earthquake prone, dangerous and insanitary buildings.

## **2.3 Christchurch City Council Policy**

Christchurch City Council adopted their Earthquake Prone, Dangerous and Insanitary Building Policy in 2006. This policy was amended immediately following the Darfield Earthquake of 4 September 2010.

The 2010 amendment includes the following:

- A process for identifying, categorising and prioritising Earthquake Prone Buildings, commencing on 1 July 2012;
- A strengthening target level of 67% of a new building for buildings that are Earthquake Prone;
- A timeframe of 15-30 years for Earthquake Prone Buildings to be strengthened; and,
- Repair works for buildings damaged by earthquakes will be required to comply with the above.

The council has stated their willingness to consider retrofit proposals on a case by case basis, considering the economic impact of such a retrofit.

We anticipate that any building with a capacity of less than 33%NBS (including consideration of critical structural weaknesses) will need to be strengthened to a target of 67%NBS of new building standard as recommended by the Policy.

If strengthening works are undertaken, a building consent will be required. A requirement of the consent will require upgrade of the building to comply 'as near as is reasonably practicable' with:

- The accessibility requirements of the Building Code.
- The fire requirements of the Building Code. This is likely to require a fire report to be submitted with the building consent application.

## **2.4 Building Code**

The building code outlines performance standards for buildings and the Building Act requires that all new buildings comply with this code. Compliance Documents published by The Department of Building and Housing can be used to demonstrate compliance with the Building Code.

After the February Earthquake, on 19 May 2011, Compliance Document B1: Structure, was amended to include increased seismic design requirements for Canterbury as follows:

- a. Hazard Factor increased from 0.22 to 0.3 (36% increase in the basic seismic design load).
- b. Serviceability Return Period Factor increased from 0.25 to 0.33 (80% increase in the serviceability design loads when combined with the Hazard Factor increase).

The increase in the above factors has resulted in a reduction in the level of compliance of an existing building relative to a new building despite the capacity of the existing building not changing.

### 3.0 EARTHQUAKE RESISTANCE STANDARDS

For this assessment, the building’s earthquake resistance is compared with the current New Zealand Building Code requirements for a new building constructed on the site. This is expressed as a percentage of new building standard (%NBS). The new building standard load requirements have been determined in accordance with the current earthquake loading standard (NZS 1170.5:2004 Structural design actions - Earthquake actions - New Zealand).

The likely capacity of this building has been derived in accordance with the New Zealand Society for Earthquake Engineering (NZSEE) guidelines ‘Assessment and Improvement of the Structural Performance of Buildings in Earthquakes’ (AISPBE), 2006. These guidelines provide an Initial Evaluation Procedure that assesses a buildings capacity based on a comparison between the current loading code and that in use at the time the building was designed. It is a quick high-level procedure that can be used when undertaking a qualitative analysis of a building. The guidelines also provide guidance on calculating a modified ultimate limit state capacity of the building which is much more accurate and can be used when undertaking a quantitative analysis.

The New Zealand Society for Earthquake Engineering has proposed a way for classifying earthquake risk for existing buildings in terms of %NBS and this is shown in Figure 3.1 below.

| Description            | Grade  | Risk     | %NBS        | Existing Building Structural Performance    | Improvement of Structural Performance   |   |
|------------------------|--------|----------|-------------|---|---|---|
|                        |        |          |             |   | Legal Requirement   | NZSEE Recommendation  |
| Low Risk Building      | A or B | Low      | Above 67    | Acceptable (improvement may be desirable)   | The Building Act sets no required level of structural improvement (unless change in use) This is for each TA to decide. Improvement is not limited to 34%NBS. | 100%NBS desirable. Improvement should achieve at least 67%NBS |
| Moderate Risk Building | B or C | Moderate | 34 to 66    | Acceptable legally. Improvement recommended |   | Not recommended. Acceptable only in exceptional circumstances |
| High Risk Building     | D or E | High     | 33 or lower | Unacceptable (Improvement                   | Unacceptable  | Unacceptable  |

**Figure 3.1: NZSEE Risk Classifications Extracted from Table 2.2 of the NZSEE 2006 AISPBE Guidelines**



Table 3.1 below compares the % NBS to the relative risk of the building failing in a seismic event with a 10% risk of exceedance in 50 years (i.e. 0.2% in the next year). It is noted that the current seismic risk in Christchurch results in a 6% risk of exceedance in the next year.

**Table 3.1: %NBS compared to relative risk of failure**

| Percentage of New Building Standard (%NBS) | Relative Risk (Approximate) |
|--|-----------------------------|
| >100                                       | <1 time                     |
| 80-100                                     | 1-2 times                   |
| 67-80                                      | 2-5 times                   |
| 33-67                                      | 5-10 times                  |
| 20-33                                      | 10-25 times                 |
| <20  | >25 times                   |

Building owners /property managers are required by Christchurch City Council (CCC) to undertake an engineering assessment of buildings CCC has identified as potentially earthquake prone. We have carried out an initial assessment of this building and report accordingly. The timescale for reporting to CCC and strengthening (if required) should be identified within the correspondence from CCC. This report is undertaken using the New Zealand Society for Earthquake Engineering (NZSEE) Initial Evaluation Procedures (IEP) as described in the publication 'Assessment and Improvement of the Structural Performance of Buildings in Earthquakes'. Definitions in terms of the Building Act 2004 are detailed below.

CPG has carried out a brief inspection of the building on 11 April 2012 and prepared an IEP evaluation to determine the likely seismic capacity.

We note that CPG has not carried out checks on other aspects of the buildings such as weather tightness, public utilities, fire systems or structural aspects for loadings other than seismic.

## 4.0 BUILDING DESCRIPTION

### 4.1 General

The building is located at the corner of Northcote Road and New North Road, Christchurch. The main structure was built in 1997-98 and was extended in 2003.

The existing building is a butcher / grocery shop with attached external entry canopy.



Photo 1 – Shop entrance (western façade)

The main shop structure consists of a concrete ground bearing slab, steel portal frames, timber framed walls with fibre cement cladding all around and a light steel framed roof.

The entry canopy structure consists of a concrete ground bearing slab with a lightweight timber framed walls and a light roof.



Photo 2 – Street front (eastern façade)

The building is approximately 4.0m high and has a ground floor area of approximately 790 m<sup>2</sup> for the shop and about 30 m<sup>2</sup> of the canopy.

The building is currently occupied and provides for retail space.

As a part of the alteration works in 2003, a roof mounted plant platform has been installed over the steel portal frames and secured with additional steel posts.



Photo 3: Roof mounted plant



Photo 4: Typical post for plant support

## 4.2 Gravity Load Resisting System

Roof gravity loads at the main shop are carried through the steel portal frames and down to the foundations.

Roof gravity loads at the canopy are carried through the timber roof structure through to the timber posts, and down to the foundations.

## 4.3 Seismic Load Resisting System

The primary steel portal frames of the main shop, act as the principal lateral load resisting elements in the transverse direction i.e. these frames resist in-plane loads.

Longitudinal loads are transferred through the roof structure to the steel portal frames. There is diagonal bracing between three of the portals at roof level that transfers the load between portals. Two additional PFC portals have been installed perpendicular and between the main portal frames providing longitudinal resistance.

We believe these have been installed as the original diagonal bracing was removed to provide additional fire exits. Although we did not see the bracing on the opposite side of the structure, we believe diagonal bracing will be installed.

The suspended ceiling over the shop area is not a structural element and is not acting as a diaphragm under seismic loading.

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## 5.0 SEISMIC EVALUATION

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The procedure used for assessing the seismic capacity of the building is the Initial Evaluation Procedure (IEP) in accordance with the New Zealand Society for Earthquake Engineering Publication “Assessment and Improvement of the Structural Performance of Buildings in Earthquakes”.

The objective of the IEP is to identify, with an acceptable confidence level, all those buildings which will be potentially Earthquake Prone in terms of the NZ Building Act 2004.

The Building Act 2004 defines a building as Earthquake prone if:

- (1) *A building is **earthquake prone** for the purposes of this Act if, having regard to its condition and to the ground on which it is built, and because of its construction, the building —*
  - (a) *will have its ultimate capacity exceeded in a moderate earthquake (as defined in the regulations); and*
  - (b) *would be likely to collapse causing —*
    - (i) *injury or death to persons in the building or to persons on any other property; or*
    - (ii) *damage to any other property.*
- (2) *Subsection (1) does not apply to a building that is used wholly or mainly for residential purposes unless the building —*
  - (a) *comprises 2 or more storeys; and*
  - (b) *contains 3 or more household units.*

Whereas a moderate earthquake is defined as follows in accordance with the Building (Specified Systems, Change of the Use, and Earthquake-prone Buildings) Regulations 2005:

*For the purposes of section 122 (meaning of earthquake-prone building) of the Act, **moderate earthquake** means, in relation to a building, an earthquake that would generate shaking at the site of the building that is of the same duration as, but that is one-third as strong as, the earthquake shaking (determined by normal measures of acceleration, velocity, and displacement) that would be used to design a new building at that site.*

Instead of carrying out a full detailed analysis of the existing buildings this procedure compares the loadings required by Codes in force at the time the building was designed with the current code requirements. From this a percentage of the new building standard (% NBS) is estimated. This normally gives a reasonable indication of the building’s seismic strength. A full analysis, which is a significantly more time consuming exercise, may show the building to be stronger especially if the original design was conservative or weaker if some of the structural components have not been detailed to meet the present code requirements.

This is based on the building being designed during the 1992-2004 period.

The IEP estimate for the structure is at 77% NBS and assessed as not being an earthquake prone building.



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## **6.0 DAMAGE ASSESSMENT**

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The existing building located at the corner of Northcote Road and Main North Road, Christchurch has not suffered any major damage in the Canterbury Earthquake sequence of 2010 and 2011.

We identified several minor cracks in the fibre cement sheeting which appears to be historical.

There is no visual evidence of any lateral spreading or any other ground damage. We observed no evidence of significant ground settlement; based on the absence of cracks to the exposed concrete foundation beam on the western elevation and to the veneer parapet on the eastern elevation.

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## **7.0 CRITICAL STRUCTURAL WEAKNESSES**

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We have not identified any significant potential critical structural weaknesses in respect of potential earthquakes.

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## **8.0 INITIAL CONCLUSION**

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- a) The IEP appraisal concludes that the main building components are not considered potentially earthquake prone having achieved the 33% NBS threshold (actual score = 77% NBS), therefore under the current legislation and council policy does not require further action.

Current legislation and council policy does not require any strengthening as the building is not considered an earthquake risk.

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## **9.0 RECOMMENDATIONS**

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It is recommended that:

- a) There is no legal requirement to complete any further assessment.
- b) We would recommend some minor intrusive investigations are undertaken to justify the assumption that diagonal bracing is provided between portal on the eastern elevation.

We also note that suspended ceilings in general have performed poorly during earthquake events.

We also like to add that at the time of writing this report, The Royal Commission, set up to investigate the effect of the Christchurch earthquake, is currently reviewing the earthquake prone building provisions of the Building Act and its associated regulations. It may be likely that changes could require more onerous strengthening than is currently required by law today. We recommend this report to be reviewed with the respect to the recommendations of the Royal Commission.

With the exception of forwarding a copy of this report and the IEP to the local authority, no further action is legally required in relation of this property.

- c) We recommend that you contact your insurance company in relation to the %NBS achieved and their requirements for reinsurance of the property.

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## **10.0 IMPORTANT DISCLAIMER**

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This Report has been prepared by CPG New Zealand Ltd (GPG) for the client Northcote Road Properties Ltd in accordance with the brief and limited discussions with the client prior to the inspection of the building. The report and assessment therein are based on a visual and non-intrusive walk-around inspection of the Building, the primary purpose of which is to assess the percentage new building standards (%NBS) using the IEP desktop study format.

Please note this assessment and Report is based on limited inspections. Our report therefore limited to observe conditions and does not include a full quantitative assessment which may involve further testing and/or destructive inspections. As CPG has not carried out a full quantitative assessment it provides preliminary comments only as to the Building's degree of compliance with the New Zealand Building Act or any other relevant codes or standards.

Given the limited scope of CPG's inspection work (visual and non-intrusive), no liability is accepted by CPG or any of its employees and they disclaim and exclude to fullest extent possible all legal liability (whether arising in contract, tort, including negligence, under statute, or otherwise) to the Client and any third party in connection with its inspection and assessment of the Building and for the information contained in or omitted from this Report. In accepting delivery and/or using this Report, the recipient agrees that he/she accept the Report on the basis set out herein.

This disclaimer shall apply notwithstanding that the Report may be made available to other persons for an application for permission or approval to fulfil a legal requirement.

# **APPENDIX I**

**IEP Evaluation for the property at the corner  
of Northcote Road and Main North Road,  
Christchurch**

**CPCG**

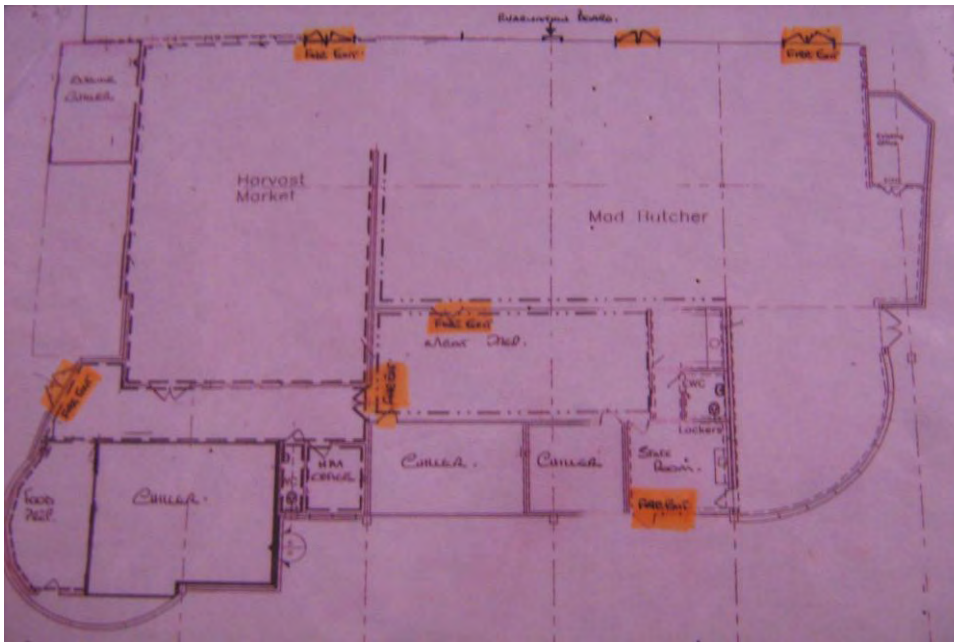
|                       |   |  |
|-----------------------|---|--|
| <b>Building Name:</b> | <b>Mad Butcher &amp; Harvest Market</b> | <b>Ref:</b> -                            |
| <b>Location:</b>      | <b>7 Northcote Road, Christchurch</b>   | <b>By:</b> IR<br><b>Date:</b> 3 May 2012 |

**Step 1 - General Information**

1.1 Building entrance photo



1.2 Building plan



1.3 List relevant features

**Typical Structure = Steel Portal frames across (transverse)/ steel frames and timber braced walls along (longitudinal)/ light steel roof over**  
**Height = 4.85 max. on main structure excluding local braced parapets**  
**Building date = Circa 1997-1998**  
**Alterations = 2003-2004**  
**Soil class = D**

1.4 Note information sources

- Visual Inspection of Exterior
- Visual Inspection of Interior
- Drawings (note type)
- Specifications
- Geotechnical Reports
- Other (list)

tick as appropriate

- 
- 
- 
- 
- 
- 

Partial set of elevations and floor plans



(Refer Table IEP - 1 for Step 1; Table IEP - 3 for Steps 3; Table IEP - 4 for Steps 4, 5 and 6)

|                       |                                 |                  |
|-----------------------|---------------------------------|------------------|
| Building Name:        | Mad Butcher & Harvest Market    | Ref: -           |
| Location:             | 7 Northcote Road, Christchurch  | By: IR           |
| Direction Considered: | a) Longitudinal & b) Transverse | Date: 3 May 2012 |

(Choose worse case if clear at start. Complete IEP-2 and IEP-3 for each if in doubt)

**Step 2 - Determination of (%NBS)<sub>b</sub>**

**2.1 Determine nominal (%NBS) = (%NBS)<sub>nom</sub>**

**a) Date of Design and Seismic Zone**

Note: Only periods between 1965-1992 require seismic zone to be chosen

- Pre 1935 see notes 1, 3
- 1935-1965
- 1965-1976
- 1976-1992 see note 2
- 1992-2004

Seismic Zone:

N/A

**b) Soil Type**

From NZS1170.5:2004, Cl3.1.3

- NZS1170.5:2004
- A or B Rock
  - C Shallow Soil
  - D Soft Soil
  - E Very Soft Soil

From NZS4203:1992, Cl 4.6.2.2  
(for 1992-2004 only, and only if known)

- NZS4203:1992
- Rigid
  - Intermediate

**c) Estimate Period, T**

can use following:

- $T = 0.09h_n^{0.75}$  for moment resisting concrete frame
- $T = 0.14h_n^{0.75}$  for moment resisting steel frame
- $T = 0.08h_n^{0.75}$  for eccentrically braced frame
- $T = 0.06h_n^{0.75}$  for all other frame structures
- $T = 0.09h_n^{0.75}/A_c^{0.5}$  for concrete shear walls
- $T \leq 0.4\text{sec}$  for masonry shear walls

period, T 

|       |       |
|-------|-------|
| 0.396 | 0.396 |
|-------|-------|

 seconds

- |                                       |                                       |
|---------------------------------------|---------------------------------------|
| Longitudinal                          | Transverse                            |
| <input type="radio"/> MRCF            | <input type="radio"/> MRCF            |
| <input checked="" type="radio"/> MRSF | <input checked="" type="radio"/> MRSF |
| <input type="radio"/> EBF             | <input type="radio"/> EBF             |
| <input type="radio"/> Other           | <input type="radio"/> Other           |
| <input type="radio"/> CSW             | <input type="radio"/> CSW             |
| <input type="radio"/> MSW             | <input type="radio"/> MSW             |

|         |     |     |
|---------|-----|-----|
| $h_n =$ | 4   | 4   |
| $A_c =$ | n/a | n/a |

Where  $h_n$  = height from base of structure to uppermost seismic weight  
 or mass,  $A_c = \sum A_i(0.2 + L_w/h_n)^2$   
 $A_i$  = cross-sectional shear area of shear wall I in the first storey of building (m<sup>2</sup>)  
 $L_w$  = length of shear wall I in the first storey in the direction parallel to the applied forces (m)  
 with the restriction that  $L_w / h_n$  shall not exceed 0.9

**d) (%NBS)<sub>nom</sub> determined from Figure 3.3**

|              |      |                       |
|--------------|------|-----------------------|
| Longitudinal | 22.4 | (%NBS) <sub>nom</sub> |
| Transverse   | 22.4 | (%NBS) <sub>nom</sub> |

Add specific value from figure 3.3

**Note 1:** For buildings designed prior to 1965 and known to be designed as a public building in accordance with the code, multiply (%NBS)<sub>nom</sub> by 1.25  
 For buildings designed 1965-1976 and known to be designed as public buildings in accordance with the code of the time, multiply (%NBS)<sub>nom</sub> by 1.33-Zone A, or by 1.2 - Zone B

**1**

**Note 2:** For reinforced concrete buildings designed between 1976-84 multiply (%NBS)<sub>nom</sub> by 1.2

**1**

**Note 3:** For buildings designed prior to 1935 multiply (%NBS)<sub>nom</sub> by 0.8 except for Wellington when the factor may be taken as 1

|              |       |                       |
|--------------|-------|-----------------------|
| Longitudinal | 22.40 | (%NBS) <sub>nom</sub> |
| Transverse   | 22.40 | (%NBS) <sub>nom</sub> |

**1**

**2.2 Near Fault Scaling Factor, Factor A**  
If  $T \leq 1.5$  sec, Factor A=1

- a) Near fault factor,  $N(T,D)$   
(from NZS1170.5:2004, Cl 3.1.6)      Longitudinal:   
Transverse:
- b) Near fault Scaling Factor =  $1/N(T,D)$       Factor A  
Longitudinal:   
Transverse:

**2.3 Hazard Scaling Factor, Factor B**

- a) Hazard Factor,  $Z$  for site      Site Area:   
(from NZS1170.5:2004, Table 3.3)       $Z = 0.3$   
 $Z_{1992} = 0.8$  Refer to Figure 3.5(b) (NZS 4203: 1992)
- b) Hazard Scaling Factor =  $1/Z$   
For pre 1992 =  $Z_{1992}/Z$
- (where  $Z_{1992}$  is the NZS4203:1992 Zone Factor from accompanying figure 3.5(b))      Factor B

**2.4 Return Period Scaling Factor, Factor C**

- a) Building Importance Level      Choose Importance Level  
(from NZS1170.0:2004, Table 3.1 and 3.2)       1     2     3     4
- b) Return Period Scaling factor from accompanying Table 3.1      Factor C

**2.5 Ductility Scaling Factor, Factor D**

- a) Assessed Ductility of Existing Structure,  $\mu$   
(shall be less than maximum given in accompanying Table 3.2)       $\mu = 1.25$  Longitudinal Direction  
 $\mu = 1.25$  Transverse Direction
- b) Ductility Scaling factor =      Longitudinal    Transverse  
For pre 1976      =       $k_{\mu}$        $k_{\mu}$   
=              
For 1976 onwards      =              
(where  $k_{\mu}$  is NZS1170.5:2004 Ductility Factor, from accompanying Table 3.3)      Factor D  
Longitudinal:   
Transverse:

**2.6 Structural Performance Factor, Factor E**

- a) Structural Performance Factor,  $S_p$   
(from accompanying Figure 3.4)       Longitudinal Direction  
 Transverse Direction
- b) Structural Performance Scaling Factor =  $1/S_p$       Factor E  
Longitudinal:   
Transverse:

**2.7 Baseline %NBS for Building, (%NBS)<sub>b</sub>**  
(equals (%NBS)<sub>nom</sub> x AxBxCxDxE)

Longitudinal:   
Transverse:

(Refer Table IEP - 1 for Step 1; Table IEP - 3 for Steps 3; Table IEP - 4 for Steps 4, 5 and 6))

|  |                                 |                  |
|--|---------------------------------|------------------|
| Building Name:   | Mad Butcher & Harvest Market    | Ref: -           |
| Location:  | 7 Northcote Road, Christchurch  | By: IR           |
| Direction Considered:  | a) Longitudinal & b) Transverse | Date: 3 May 2012 |
| <i>( Choose worse case if clear at start. Complete IEP-2 and IEP-3 for each if in doubt)</i> |                                 |                  |

a) Longitudinal Direction

Step 3 - Assessment of Performance Achievement Ratio (PAR)

(Refer Appendix B - Section B3.2)

| Critical Structural Weakness   | Building Score   | Effect on Structural Performance<br>(Choose a value - Do not interpolate)   |
|--|--|---|
| 3.1 Plan Irregularity<br><i>Effect on Structural Performance</i>     | Factor A <input style="width:40px; text-align:center;" type="text" value="1"/> | Plan Irregularity _____<br><input type="radio"/> Severe <input type="radio"/> Significant <input checked="" type="radio"/> Insignificant<br>Comment _____     |
| 3.2 Vertical Irregularity<br><i>Effect on Structural Performance</i> | Factor B <input style="width:40px; text-align:center;" type="text" value="1"/> | Vertical Irregularity _____<br><input type="radio"/> Severe <input type="radio"/> Significant <input checked="" type="radio"/> Insignificant<br>Comment _____ |
| 3.3 Short Columns<br><i>Effect on Structural Performance</i>         | Factor C <input style="width:40px; text-align:center;" type="text" value="1"/> | Short Columns _____<br><input type="radio"/> Severe <input type="radio"/> Significant <input checked="" type="radio"/> Insignificant<br>Comment _____         |

3.4 Pounding Potential

(Estimate D1 and D2 and set D = the lower of the two, or =1.0 if no potential for pounding)

a) Factor D1: - Pounding Effect

Select appropriate value from Table

Note:  
 Values given assume the building has a frame structure. For stiff buildings ( eg with shear walls), the effect of pounding may be reduced by taking the co-efficient to the right of the value applicable to frame buildings.

|  |   |
|--|---|
|  | <b>Factor D1=</b> <input style="width:40px; text-align:center;" type="text" value="1"/> |
| <b>Table for Selection of Factor D1</b>                    |   |
| <i>Separation</i>  | Severe    Significant    Insignificant  |
| <i>Alignment of Floors within 20% of Storey Height</i>     | 0<Sep<.005H    .005<Sep<.01H    Sep>.01H  |
| <i>Alignment of Floors not within 20% of Storey Height</i> | <input type="radio"/> 0.7 <input type="radio"/> 0.8 <input checked="" type="radio"/> 1  |
| <i>Alignment of Floors not within 20% of Storey Height</i> | <input type="radio"/> 0.4 <input type="radio"/> 0.7 <input type="radio"/> 0.8           |

b) Factor D2: - Height Difference Effect

Select appropriate value from Table

|   |   |
|---|---|
|   | <b>Factor D2=</b> <input style="width:40px; text-align:center;" type="text" value="1"/> |
| <b>Table for Selection of Factor D2</b> |   |
|   | Severe    Significant    Insignificant  |
|   | 0<Sep<.005H    .005<Sep<.01H    Sep>.01H  |
| <i>Height Difference &gt; 4 Storeys</i> | <input type="radio"/> 0.4 <input type="radio"/> 0.7 <input type="radio"/> 1             |
| <i>Height Difference 2 to 4 Storeys</i> | <input type="radio"/> 0.7 <input type="radio"/> 0.9 <input type="radio"/> 1             |
| <i>Height Difference &lt; 2 Storeys</i> | <input type="radio"/> 1 <input type="radio"/> 1 <input checked="" type="radio"/> 1      |

Factor D

(Set D = lesser of D1 and D2 or..  
 set D = 1.0 if no prospect of pounding)

3.5 Site Characteristics - (Stability, landslide threat, liquefaction etc)

*Effect on Structural Performance*

|  |  |  |
|--|--|--|
|  |  | Severe    Significant    Insignificant   |
| Factor E <input style="width:40px; text-align:center;" type="text" value="1"/> |  | <input type="radio"/> 0.5 max <input type="radio"/> 0.7 <input checked="" type="radio"/> 1 |

3.6 Other Factors

Factor F  for ≤ 3 storeys - maximum value 2.5,  
 otherwise - maximum value 1.5. No minimum

Record rationale for choice of Factor F:

Built in 1986

2.7 Performance Achievement Ratio (PAR)

(equals AxBxCxDxExF)

PAR

(Refer Table IEP - 1 for Step 1; Table IEP - 3 for Steps 3; Table IEP - 4 for Steps 4, 5 and 6))

|   |                                 |                  |
|---|---------------------------------|------------------|
| Building Name:  | Mad Butcher & Harvest Market    | Ref: -           |
| Location:   | 7 Northcote Road, Christchurch  | By: IR           |
| Direction Considered:   | a) Longitudinal & b) Transverse | Date: 3 May 2012 |
| <i>(Choose worse case if clear at start. Complete IEP-2 and IEP-3 for each if in doubt)</i> |                                 |                  |

b) Transverse Direction

Step 3 - Assessment of Performance Achievement Ratio (PAR)

(Refer Appendix B - Section B3.2)

| Critical Structural Weakness  | Building Score                          | Effect on Structural Performance<br>(Choose a value - Do not interpolate)   |
|---|---|---|
| <b>3.1 Plan Irregularity</b><br><i>Effect on Structural Performance</i>   | Factor A <input type="text" value="1"/> | Plan Irregularity _____<br><input type="radio"/> Severe <input type="radio"/> Significant <input checked="" type="radio"/> Insignificant<br>Comment _____     |
| <b>3.2 Vertical Irregularity</b><br><i>Effect on Structural Performance</i>   | Factor B <input type="text" value="1"/> | Vertical Irregularity _____<br><input type="radio"/> Severe <input type="radio"/> Significant <input checked="" type="radio"/> Insignificant<br>Comment _____ |
| <b>3.3 Short Columns</b><br><i>Effect on Structural Performance</i>   | Factor C <input type="text" value="1"/> | Short Columns _____<br><input type="radio"/> Severe <input type="radio"/> Significant <input checked="" type="radio"/> Insignificant<br>Comment _____         |
| <b>3.4 Pounding Potential</b><br><i>(Estimate D1 and D2 and set D = the lower of the two, or =1.0 if no potential for pounding)</i> |   |   |

a) Factor D1: - Pounding Effect  
 Select appropriate value from Table

**Note:**  
 Values given assume the building has a frame structure. For stiff buildings (eg with shear walls), the effect of pounding may be reduced by taking the co-efficient to the right of the value applicable to frame buildings.

| Table for Selection of Factor D1                    | Severe                    | Significant               | Insufficient                       |
|---|---------------------------|---------------------------|------------------------------------|
| Separation  | 0<Sep<.005H               | .005<Sep<.01H             | Sep>.01H                           |
| Alignment of Floors within 20% of Storey Height     | <input type="radio"/> 0.7 | <input type="radio"/> 0.8 | <input checked="" type="radio"/> 1 |
| Alignment of Floors not within 20% of Storey Height | <input type="radio"/> 0.4 | <input type="radio"/> 0.7 | <input type="radio"/> 0.8          |

Factor D1=

b) Factor D2: - Height Difference Effect  
 Select appropriate value from Table

| Table for Selection of Factor D2 | Severe                    | Significant               | Insufficient                       |
|----------------------------------|---------------------------|---------------------------|------------------------------------|
| Height Difference                | 0<Sep<.005H               | .005<Sep<.01H             | Sep>.01H                           |
| Height Difference > 4 Storeys    | <input type="radio"/> 0.4 | <input type="radio"/> 0.7 | <input type="radio"/> 1            |
| Height Difference 2 to 4 Storeys | <input type="radio"/> 0.7 | <input type="radio"/> 0.9 | <input type="radio"/> 1            |
| Height Difference < 2 Storeys    | <input type="radio"/> 1   | <input type="radio"/> 1   | <input checked="" type="radio"/> 1 |

Factor D2=

Factor D  (Set D = lesser of D1 and D2 or.. set D = 1.0 if no prospect of pounding)

3.5 Site Characteristics - (Stability, landslide threat, liquefaction etc)  
 Effect on Structural Performance

Factor E  Severe  0.5 max   Significant  0.7   Insufficient  1

3.6 Other Factors

Factor F  for ≤ 3 storeys - maximum value 2.5, otherwise - maximum value 1.5. No minimum

Record rationale for choice of Factor F:  
 Built in 1986

2.7 Performance Achievement Ratio (PAR)  
 (equals AxBxCxDxExF)

PAR



(Refer Table IEP - 1 for Step 1; Table IEP - 2 for Step 2; Table IEP - 3 for step 3)

|                       |                                |                         |  |
|-----------------------|--------------------------------|-------------------------|--|
| <b>Building Name:</b> | Mad Butcher & Harvest Market   | <b>Ref:</b> -           |  |
| <b>Location:</b>      | 7 Northcote Road, Christchurch | <b>By:</b> IR           |  |
|                       |                                | <b>Date:</b> 3 May 2012 |  |

**Step 4 - Percentage of New Building Standard (%NBS)**

|  | Longitudinal | Transverse  |
|--|--------------|-------------|
| <b>4.1 Assessed Baseline ( %NBS)<sub>b</sub></b><br>(from Table IEP - 1)                       | <b>65</b>    | <b>65</b>   |
| <b>4.2 Performance Achievement Ratio (PAR)</b><br>(from Table IEP - 2)                         | <b>1.20</b>  | <b>1.20</b> |
| <b>4.3 PAR x Baseline (%NBS)<sub>b</sub></b>   | <b>77</b>    | <b>77</b>   |
| <b>4.4 Percentage New Building Standard (%NBS)</b><br>( Use lower of two values from Step 3.3) |              | <b>77</b>   |

**Step 5 - Potentially earthquake Prone?**

(Mark as appropriate)

%NBS ≤ 33

NO

**Step 6 - Potentially Earthquake Risk?**

%NBS < 67

NO

**Step 7 - Provisional Grading for Seismic Risk based on IEP**

Seismic Grade

B

Evaluation Confirmed by... .....

Signature

.....

Name

.....

CPEng. No

**Relationship between Grade and SPS:**

| Grade: | A+    | A         | B        | C        | D        | E    |
|--------|-------|-----------|----------|----------|----------|------|
| SPS:   | > 100 | 100 to 80 | 80 to 50 | 50 to 33 | 33 to 20 | < 20 |



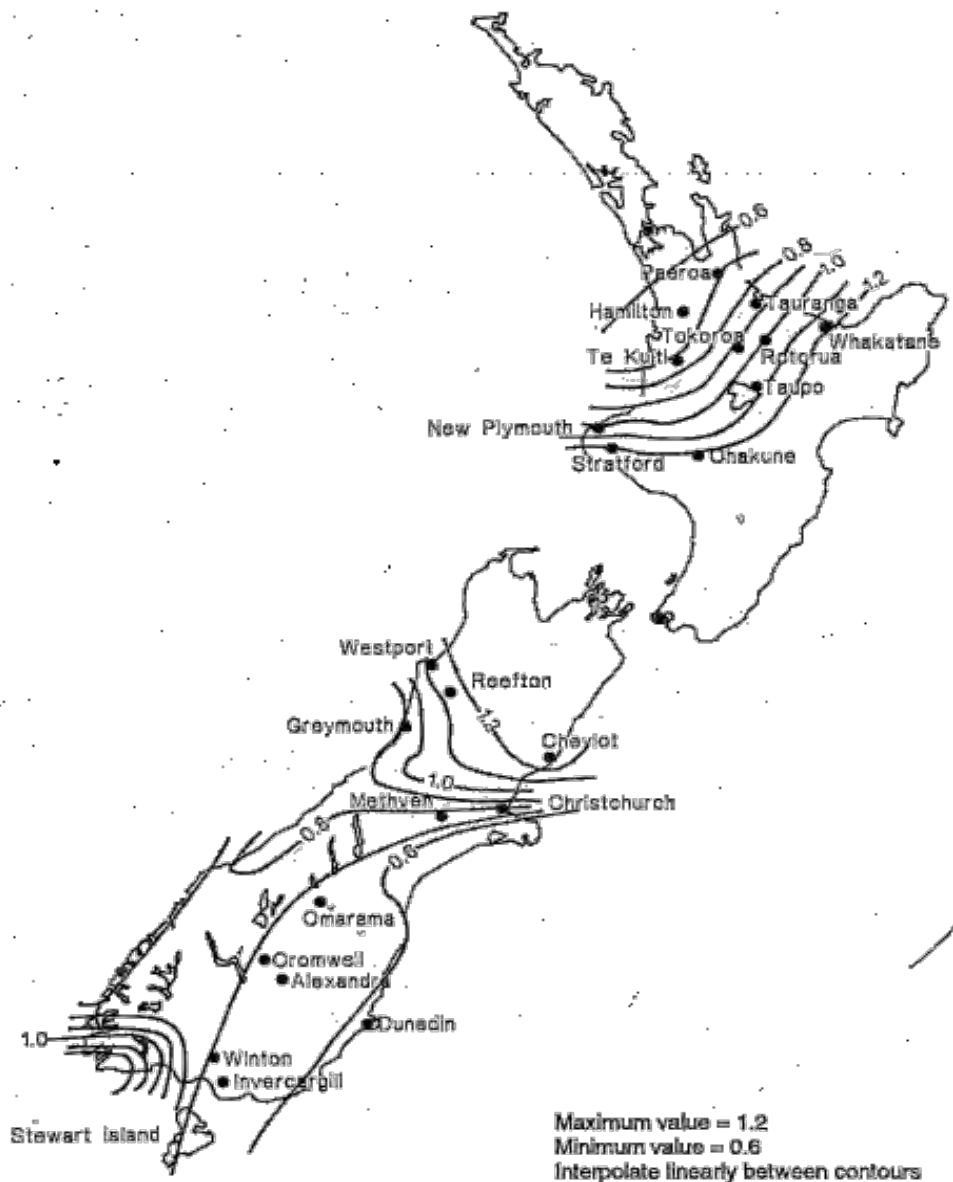


Figure 3.5(b) NZS 4203:1992

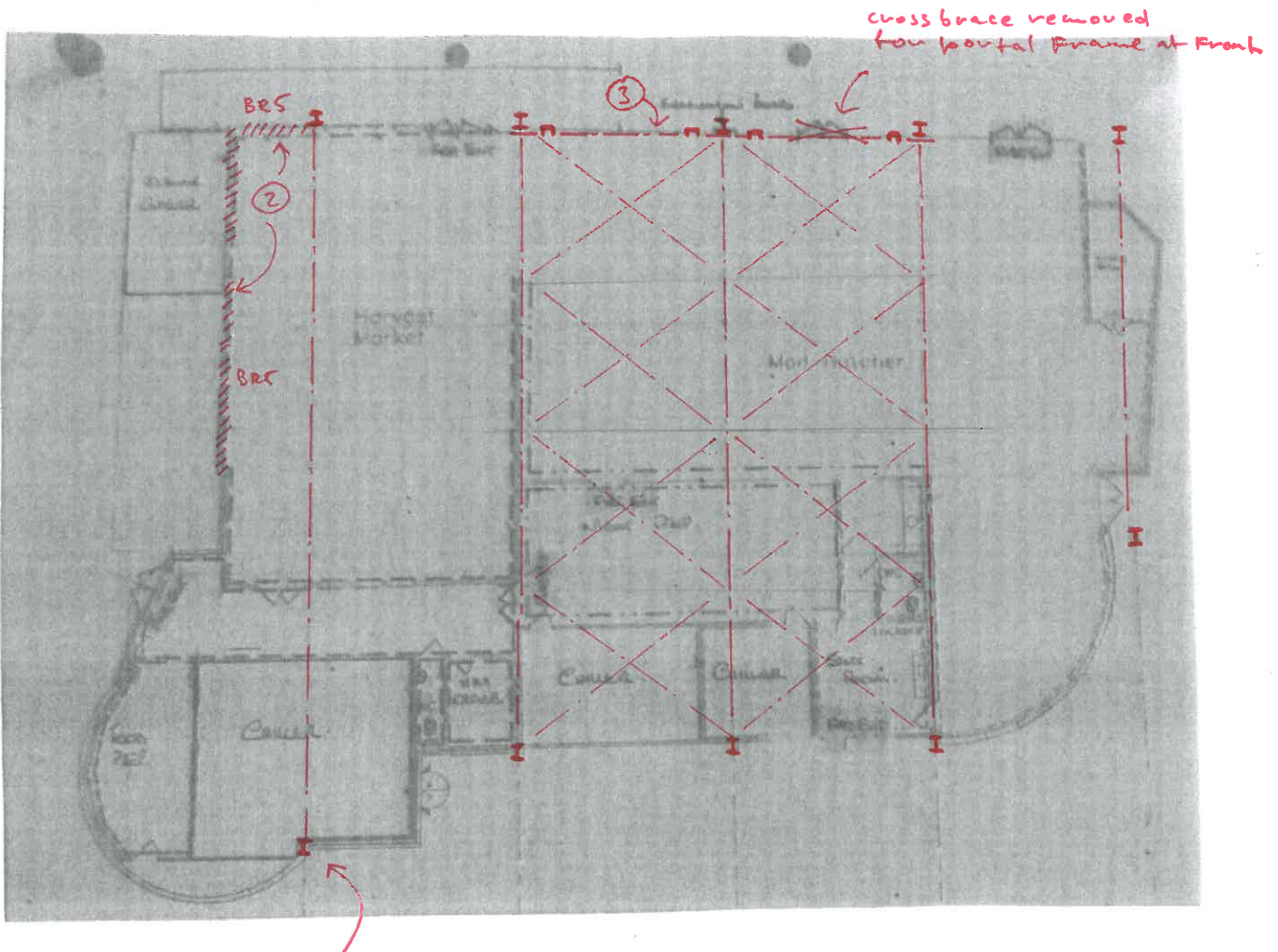
**APPENDIX II**  
**Building Plan Sketch**

CPCG



## EXPLAINING the Structure. for Review of Report

This is at the present (photo of their plan with exit routes).  
There were changes all round the place - difficult to follow from limited plans.



### ① ORIGINAL STRUCTURE 1992

PORTAL FRAMES AS PER LIMITED DRAWINGS 310UB "measured"  
From loft area Roof bracing visually confirmed and shown

### ② Timber walls added 2003

with BRS bracing.

### ③ New Portal frame at Front placed in 2003

250PFC with four legs and common beam extended &  
hard against 310UB portals (existing brace been taken out)  
CONFIRMED BY ORIGINAL DRAWING

Note: Can identify rod bracing at other wall  
however do believe there is some (can't see  
from the loft area)

General comment: Entire bracing → external & internal looks solid.  
Lined up with sheeting → external cladding  
Harditer (no any major crack - just bits  
what she looks historical).



06 September 2012

Northcote Road Properties Limited  
C/- Maori Hill Property Ltd- Andrea Edwards  
PO Box 1327  
DUNEDIN 9054

[aedwards@mhpl.co.nz](mailto:aedwards@mhpl.co.nz)

Dear Andrea

### **Acceptance of Detailed Engineering Evaluation Report**

The Canterbury Earthquake Recovery Authority (CERA) has received your Detailed Engineering Evaluation, titled Mad Butcher and Harvest Market, 7 Northcote Road by CPG (Bevan White), for the building at 7 Northcote Road (also known as 7A Northcote Road), LOT 1 DP 76152.

CERA has reviewed the report and found that the report contains the information required. On the basis of this review CERA has no structural engineering concerns with occupancy of this building.

Your report will be forwarded to the Christchurch City Council for the Council's information. The Council may use the information to assist with its responsibilities such as issuing a building warrant of fitness. Any occupation of the building for the purposes of carrying out business activity may be subject to the appropriate permissions and certification required by the Christchurch City Council.

Further earthquakes after your engineer carried out the inspection for the Detailed Engineering Evaluation you have provided may trigger the need for further engineering inspections and reporting. If you or anyone else has noticed or suspect any damage resulting from earthquakes after your engineer's inspection then your engineer needs to re-inspect your building. If this re-inspection by your engineer identifies significant change has taken place an updated Detailed Engineering Evaluation needs to be done and supplied to CERA.

Further information on the requirements for the structural engineering reporting are available by contacting CERA at [engineeringassessments@cera.govt.nz](mailto:engineeringassessments@cera.govt.nz) or on 03 354 2600.

Yours sincerely,

A handwritten signature in black ink, reading "Baden Ewart". The signature is written in a cursive style with a large initial 'B'.

**Baden Ewart**  
Deputy General Manager Operations



Approximate location of tank



## 7 Northcote Road Land Use Consents



**7 Northcote Road  
Subdivision Consents**



## Land Use Resource Consents within 100 metres of 7 Northcote Road

Note: This list does not include subdivision Consents and Certificates of Compliance issued under the Resource Management Act.

---

### 11 Northcote Road

RMA/2015/2878

2 EPH Units s88 Replaced by RMA92031605 - Historical Reference RMA92031248

Cancelled

Applied 15/10/2015

RMA/2015/3208

Two EPH Units - Replaces RMA92031248 s88 - PAID - Historical Reference RMA92031605

Withdrawn

Applied 18/11/2015

RMA/2016/2479

Two Elderly Persons Housing Units - replaces RMA/2016/867

Processing complete

Applied 05/09/2016

Decision issued 16/05/2017

Granted 16/05/2017

RMA/2016/471

Two EPH Units - Replaces RMA92031605 - Historical Reference RMA92032548

Withdrawn

Applied 29/02/2016

RMA/2016/867

Two Elderly Person's Housing Units - replaces RMA920316 05 - Historical Reference RMA92032966

Withdrawn

Applied 07/04/2016

### 171 Main North Road

RMA/1988/459

Dispensation to remove three notable trees (Manna gum trees) protected as notable trees. no. 114, appendix K. - Historical Reference RES9210592

Processing complete

Applied 29/11/1988

Decision issued 07/12/1988

Granted 07/12/1988



RMA/1998/1968

Installation of one 7 ton carbon dioxide tank which exceeds the quantity of hazardous substance permitted to be stored and will not be 100% bunded in terms of the Rules of the Proposed City Plan. - Historical Reference RES982248

Processing complete

Applied 18/08/1998

Decision issued 01/01/1999

Granted 01/01/1999

## **194 Main North Road**

RMA/1998/1976

To establish a 16 unit motel complex with managers accommodation - Historical Reference RES982256

Processing complete

Applied 20/08/1998

Decision issued 01/01/1999

Granted 01/01/1999

RMA/2001/266

Extension of time for RC982256 expired 5 January 2001 - Historical Reference RMA20004117

Processing complete

Applied 26/01/2001

Decision issued 18/05/2001

Granted 15/05/2001

RMA/2003/1025

12 unit motel development - Historical Reference RMA20013307

Processing complete

Applied 15/04/2003

Decision issued 12/05/2003

Granted 12/05/2003

RMA/2004/1198

Free standing sign that does not comply with area maximum height and street scene rule. - Historical Reference RMA20016795

Processing complete

Applied 10/05/2004

Decision issued 18/05/2004

Granted 18/05/2004

## **195A Main North Road**

RMA/2006/2442

relocated dwelling from 37 Condell Ave - Historical Reference RMA92006531

Processing complete

Applied 12/10/2006

Decision issued 13/11/2006

Granted 13/11/2006

## **198 Main North Road**

RMA/2008/343

CONVERT A RESIDENTIAL DWELLING INTO STAFF OFFICES FOR A DJOINING SHOWHOME ACTIVITY - Historical Reference RMA92011136

Withdrawn

Applied 21/02/2008

RMA/2012/318

RELOCATE OFFICE BUILDING - Historical Reference RMA92019649

Processing complete

Applied 02/03/2012

Decision issued 03/04/2012

Granted 03/04/2012

## **200 Main North Road**

RMA/2000/2372

To use 200 Main north road to provide parking spaces, garage & new show home. - Historical Reference RMA20003119

Processing complete

Applied 19/09/2000

Decision issued 01/05/2001

Granted 01/05/2001

RMA/2016/3271

Free Standing Sign

Processing complete

Applied 10/11/2016

Decision issued 23/12/2016

Granted 23/12/2016

RMA/2016/545

Remove an existing show home and construct a new show home - Historical Reference RMA92032626

Withdrawn

Applied 04/03/2016

RMA/2016/921

Remove an existing show home and construct a new show home Replaces RMA92032626 - Historical Reference RMA92033022

Processing complete

Applied 12/04/2016

Decision issued 11/05/2016

Granted 11/05/2016

## 204 Main North Road

RMA/1998/2311

Construction of two single storey showhomes and Office, carparking and two signs - Historical Reference RES982641

Processing complete

Applied 28/09/1998

Decision issued 01/01/1999

Granted 01/01/1999

RMA/1999/5926

Application for seven temporary showhome advertising fl ags. - Historical Reference RMA963

Withdrawn

Applied 02/06/1999

RMA/2000/2531

To erect an extension to an existing showhome office. Fails to comply with scale of activities, retail activity and residential coherence under the PCP - Historical Reference RMA20003285

Processing complete

Applied 06/12/2000

Decision issued 02/02/2001

Granted 30/01/2001

RMA/2002/1275

Replace existing showhome/office with new 2 storey buil ding to be used for the same purpose but will increase the area used as office space. - Historical Reference RMA20010275

Withdrawn

Applied 31/05/2002

RMA/2002/1608

Application to replace a showhome - Historical Reference RMA20010619

Cancelled

Applied 03/07/2002

## 210 Main North Road

RMA/1994/233

Consent to erect a substation which penetrates the recession plane from the southern boundary. consent from transit NZ. - Historical Reference RES9222011

Processing complete

Applied 14/03/1994

Decision issued 12/04/1994

Granted 12/04/1994

RMA/2000/1832

Building additions that intrude through the 9m height permitted. - Historical Reference RMA20002562

Processing complete

Applied 21/07/2000

Decision issued 28/07/2000

Granted 25/07/2000

RMA/2000/2661

Application for a dwelling and attached garage for the Dean of the Boarding Facility - Historical Reference RMA20003418

Processing complete

Applied 25/10/2000

Decision issued 09/11/2000

Granted 08/11/2000

RMA/2000/3030

to extend the existing hostel accom and relocate boarders into this, the proposal does not comply with the Transitional District Plan. - Historical Reference RMA20003800

Processing complete

Applied 05/12/2000

Decision issued 16/01/2001

Granted 15/01/2001

RMA/2001/2657

To demolish the existing footbridge and to construct a new footbridge. - Historical Reference RMA20008577

Processing complete

Applied 31/10/2001

Decision issued 12/11/2001

Granted 09/11/2001

RMA/2004/3004

Building (gymnasium) which exceeds permitted height. - Historical Reference RMA20018658

Processing complete

Applied 24/11/2004

Decision issued 13/01/2005

Granted 12/01/2005

RMA/2009/1638

Erect 18m flood lights for Hockey Turf facility and separate student car park. - Historical Reference RMA92015117

Processing complete

Applied 03/11/2009

Granted 24/02/2010

Decision issued 24/02/2010



RMA/2010/1080

Works in waterway setback for detention basin for carpa rk run-off - Historical Reference RMA92016651

Processing complete

Applied 16/07/2010

Decision issued 06/08/2010

Granted 06/08/2010

RMA/2010/1681

TO ERECT SCHOOL UNIFORM SHOP - OUTLINE PLAN - Historical Reference RMA92017293

Withdrawn

Applied 23/11/2010

RMA/2011/1016

TEMPORARY ACCOMMODATION - CLASSROOMS - Historical Reference RMA92018569

Processing complete

Applied 09/08/2011

Decision issued 18/08/2011

Granted 12/08/2011

RMA/2012/949

TEMPORARY ACCOMMODATION - SCHOOL BUILDING - Historical Reference RMA92020315

Processing complete

Applied 26/06/2012

Decision issued 05/07/2012

Granted 05/07/2012

RMA/2013/541

CONSTRUCTION OF NEW CLASSROOMS - Historical Reference RMA92022143

Consent issued

Applied 27/03/2013

Decision issued 06/05/2013

Granted 03/05/2013

RMA/2015/690

Notice of Requirement - St Bedes College Incorporated into Stage 3 of the District Plan Review - Historical Reference RMA92028920

Withdrawn

Applied 16/03/2015

RMA/2016/3362

Outline Plan - Gym Extension, St Bede's College

Processing complete

Applied 22/11/2016

Decision issued 09/03/2017

Outline plan accepted 09/03/2017

RMA/2017/1663

Construct a sports pavilion on site to the east of the existing all-weather hockey field

Processing complete

Applied 17/07/2017

Decision issued 28/08/2017

Outline plan accepted 25/08/2017

RMA/2017/1686

Outline plan to redevelop the St Bede's College site including works to performing arts centre and a replacement chapel

Processing complete

Applied 19/07/2017

Decision issued 04/08/2017

Outline plan accepted 04/08/2017

## 8A Northcote Road

RMA/1995/2601

2nd dwelling unit with garage - Historical Reference RES955393

Processing complete

Applied 04/10/1995

Decision issued 06/11/1995

Granted 06/11/1995

## Data Quality Statement

### Land Use Consents

All resource consents are shown for sites that have been labelled with an address. For sites that have been labelled with a cross (+) no resource consents have been found. Sites that have no label have not been checked for resource consents. This will be particularly noticeable on the margins of the search radius. If there are such sites and you would like them included in the check, please ask for the LIM spatial query to be rerun accordingly. This will be done free of charge although there may be a short delay. Resource consents which are on land occupied by roads, railways or rivers are not, and currently cannot be displayed, either on the map or in the list. Resource consents that relate to land that has since been subdivided, will be shown in the list, but not on the map. They will be under the address of the land as it was at the time the resource consent was applied for. Resource consents that are listed as Non-notified and are current, may in fact be notified resource consents that have not yet been through the notification process. If in doubt. Please phone (03)941 8999.

The term "resource consents" in this context means land use consents. Subdivision consents and certificates of compliance are excluded.

## Subdivision Consents

All subdivision consents are shown for the sites that have been labelled with consent details. For Sites that have been labelled with a cross (+) no records have been found. Sites that have no label have not been checked for subdivision consents. This will be particularly noticeable on the margins of the search radius. If there are such sites and you would like them included in the check, please ask for the LIM spatial query to be rerun accordingly. This will be done free of charge although there may be a short delay.

The term “subdivision consents” in this context means a resource consent application to subdivide land. Non subdivision land use resource consents and certificates of compliance are excluded.

This report will only record those subdivision applications which have not been completed i.e once a subdivision has been given effect to and the new lots/properties have been established the application which created those lots will not be shown

All subdivision consent information is contained on the map and no separate list is supplied

## CCC - Tank Information





## 2 Lydia Street

Sc Tank properties

Tank properties

**Tank attributes**

Tank Function: Petrol

Above Or Below Ground: Underground

Construction:

Volume: 9092

Location On Site: Location of Tank is Known

Tank Exists: Tank Does Not Exist

Date Removed: 23/02/1998

Tank Condition When Removed:

Treatment After Removal:

Verified: Verified

TRIM Reference: 13/168681

TankID: 238

Sc Tank properties

Tank properties

**Tank attributes**

Tank Function: Diesel

Above Or Below Ground: Underground

Construction: two tanks

Volume: 18184

Location On Site: Location of Tank is Known

Tank Exists: Tank Does Not Exist

Date Removed: 23/02/1998

Tank Condition When Removed:

Treatment After Removal:

Verified: Verified

TRIM Reference: 13/168681

TankID: 239

Sc Tank properties

Tank properties

**Tank attributes**

Tank Function: Diesel

Date Installed: 23/02/1998

Above Or Below Ground: Above-ground

Construction:

Volume: 5000

Location On Site: Location of Tank is Known

Tank Exists: Tank Exists

Tank Condition When Removed:

Treatment After Removal:

Verified: Verified

TRIM Reference: 13/168681

TankID: 237

Tank properties

**Tank properties**

**Tank attributes**

Tank Function: Waste Oil

Above Or Below Ground: Underground

Construction:

Volume: 2000

Location On Site: Location of Tank is Known

Tank Exists: Tank Exists

Tank Condition When Removed:

Treatment After Removal:

Verified: Verified

TRIM Reference: 13/151952

TankID: 6299

Tank properties

**Tank properties**

**Tank attributes**

Tank Function: Diesel

Above Or Below Ground: Above-ground

Construction:

Volume: 6750

Location On Site: Location of Tank is Known

Tank Exists: Tank Exists

Tank Condition When Removed:

Treatment After Removal:

Verified: Not verified

TRIM Reference:

TankID: 215

Tank properties

**Tank properties**

**Tank attributes**

Tank Function: Methylated Spirits

Above Or Below Ground: Underground

Construction:

Volume: 30000

Location On Site: Location of Tank is Known

Tank Exists: Tank Does Not Exist

Date Removed: 01/03/1997

Tank Condition When Removed:

Treatment After Removal:

Verified: Verified

TRIM Reference: 17/1211094

TankID: 216

6 August 2008

Nathan Hide  
c/o Murdoch Trent Ltd  
Private Bag 4705  
Christchurch Mail Centre  
**CHRISTCHURCH 8140**  
**COPY: ANITA SEPSY**

Dear Nathan

**HAZARDOUS SUBSTANCES NEW ORGANISMS ACT (HSNO) 1996**  
**PREMISES: 171 MAIN NORTH ROAD, CHRISTCHURCH**

With regards to the above address, my colleague Liam Tarpey and I inspected the hazardous substances on site on Wednesday the 30<sup>th</sup> of July 2008. Thank you for taking the time to speak with us. The purpose of this inspection was to ascertain what hazardous substances are stored and used on site, and what compliance is required by Murdoch Trent Ltd under the HSNO Act and it's relevant regulations.

I have compiled a ChemSafe report using the inventory which Anita emailed me. This report outlines the requirements under HSNO for all the various substances on site. As you can see from the report, certification is required for your site on Main North Road. You can obtain a location test certificate for your site from a test certifier. A test certifier can be contacted via the Environmental Risk Management Authority website (<http://www.ermanz.govt.nz/search/tc.html>). Please note that following advice from ERMA, your diesel/kerosene 50/50 mix will carry the higher classification of kerosene, represented by the kerosene entry on this report.

Also, please be aware that as the test certification service has been deregulated by the government, test certifiers charge what they want. If cost is of great concern to you, ask your certifier for a quote or hourly rate.

The signage side of this report can be slightly complicated. You can talk this over with a sign making company such as Independent Signs or Manning Signs.

Please ensure that all matters of compliance raised in this report are complied with prior to engaging a test certifier.

With regards to the disused aboveground diesel tank on site, I highly recommend that it is removed from the site.

I will be in contact in four weeks, on **Wednesday the 3<sup>rd</sup> of September 2008**, in order to see how compliance is coming along.

If you have any questions please do not hesitate to contact me.

Yours faithfully

Rebecca Caldwell  
**HAZARDOUS SUBSTANCES OFFICER**  
**INSPECTIONS AND ENFORCEMENT**

Inspections & Enforcement Unit • Civic Offices • 163-173 Tuam Street  
P O Box 237 • Christchurch • New Zealand  
Telephone 941-8999 • Fax 941-8792 • [www.ccc.govt.nz](http://www.ccc.govt.nz)

Telephone Rebecca Caldwell 941-8489 • email: [Rebecca.caldwell@ccc.govt.nz](mailto:Rebecca.caldwell@ccc.govt.nz)

**File Ref: 171 Main North Rd**



Certificate No: 110,771

## TEST CERTIFICATE

### Hazardous Substances Location

Issued pursuant to Section 82 of the Hazardous Substances and New Organisms Act 1996

**This certificate is issued to:**  
Foodstuffs (SI) Limited

**Expiry Date:**  
6 July 2012

**Contact details:**  
Private Bag 4705  
Christchurch 8140

**Street address:**  
167 Main North Road  
Papanui  
Christchurch

Telephone: (03) 353 8700

**This certificate is issued in accordance with Regulation 30 of the Hazardous Substances (Classes 1 to 5 Controls) Regulations 2001**

**This Certificate is issued in accordance with Clause 20 of the Site and Storage Conditions for Compressed Gases**

**This certifies that the relevant requirements have been met for the locations and substances specified below.**

**Location:** Open Space

**Substance:** LPG

**Quantity:** 280 kg

**Conditions:**

1. The substances specified above must be under the control of an approved handler where the relevant threshold quantities specified in the Hazardous Substances (Classes 1 to 5 Controls) Regulations 2001 are exceeded.
2. Unless surrendered or revoked beforehand, this certificate shall remain in force until 6 July 2012 and may be renewed thereafter by a Test Certifier who is approved by ERMA New Zealand to issue Hazardous Substances Location Certificates.
3. This certificate must be produced at the request of an Enforcement Officer appointed under HSNO Act 1996.
4. Special Conditions: None



**Issued:** 6 July 2009

Lyn Osmer  
Test Certifier Registration No. 000063

**FOODSTUFFS**  
South Island Limited



**A.J. (Tony) Ziolo**  
Wholesale  
Branch Manager

167 Main North Road  
Private Bag 4705  
Christchurch, New Zealand  
Ph: 03 353 8700, DD: 03 353 8182  
F: 03 353 8190, M: 021 226 3610  
E: [tony.ziolo@foodstuffs-si.co.nz](mailto:tony.ziolo@foodstuffs-si.co.nz)  
[www.foodstuffs.co.nz](http://www.foodstuffs.co.nz)





Certificate No: 110,773

## TEST CERTIFICATE

### Stationary Container System

Issued pursuant to Section 82 of the Hazardous Substances and New Organisms Act 1996

**This certificate is issued to:**  
Foodstuffs (SI) Limited

**Expiry Date:**  
6 July 2013

**Contact details:**  
Private Bag 4705  
Christchurch 8140

**Street address:**  
167 Main North Road  
Papanui  
Christchurch

Telephone: (03) 353 8700

**This certificate is issued in accordance with Clause 92 of the Hazardous Substances (Dangerous Goods and Scheduled Toxic Substances) Transfer Notice 2004**

**This Certificate is issued in accordance with Clause 19 of the Site and Storage Conditions for Class 3.1 Flammable Liquids**

**This certifies that the relevant requirements have been met for the substances and stationary container systems specified below at the maximum capacity identified**

**Location:** Open Space

| <b>Tank ID:</b> | <b>Substance:</b> | <b>Quantity:</b> | <b>Type:</b> | <b>Design Standard:</b>              | <b>Manufactured:</b> |
|-----------------|-------------------|------------------|--------------|--------------------------------------|----------------------|
| 5000/15         | Diesel            | 5,000 litres     | AG           | Reg 60 Flammable Liquids Regulations | 1999                 |

**Expiry:**  
2013

| <b>Ancillary ID:</b> | <b>Substance:</b> | <b>Ancillary Equipment:</b>       |
|----------------------|-------------------|-----------------------------------|
| 5000/15              | Diesel            | Pipe work, Burner, 2 x Generators |

**Conditions:**

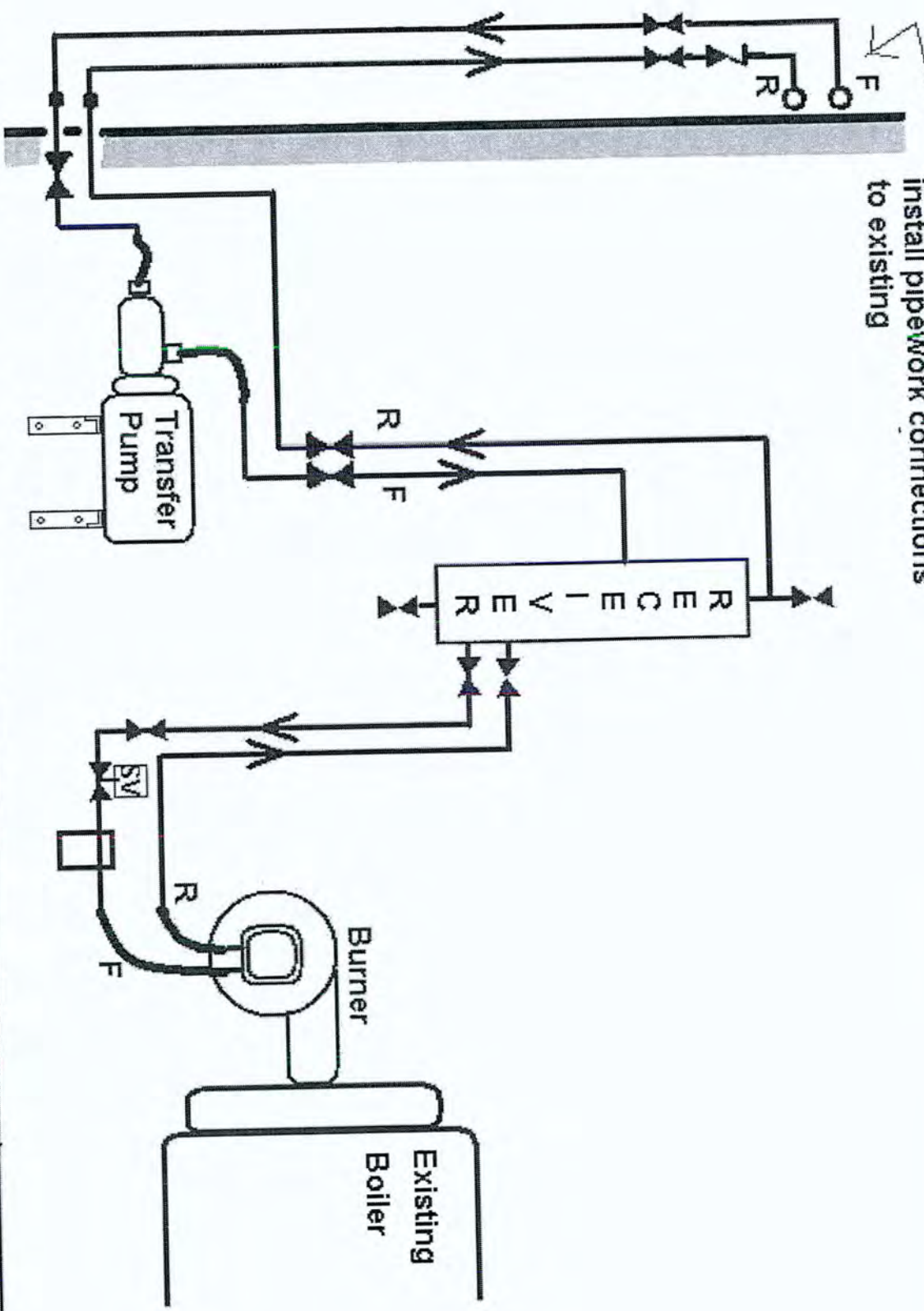
1. The substances specified above must be under the control of an approved handler where the relevant threshold quantities specified in the Hazardous Substances (Classes 1 to 5 Controls) Regulations 2001 are exceeded.
2. Unless surrendered or revoked beforehand, this certificate shall remain in force until 6 July 2013 and may be renewed thereafter by an authorised Test Certifier.
3. This certificate must be produced at the request of an Enforcement Officer appointed under HSNO Act 1996.
4. Special Conditions: None.

**Lyn Osmer**  
Test Certifier Registration No. 000063

**Issued:** 6 July 2009

Remove flexible joints and install pipework connections to existing

← Outside | Inside →



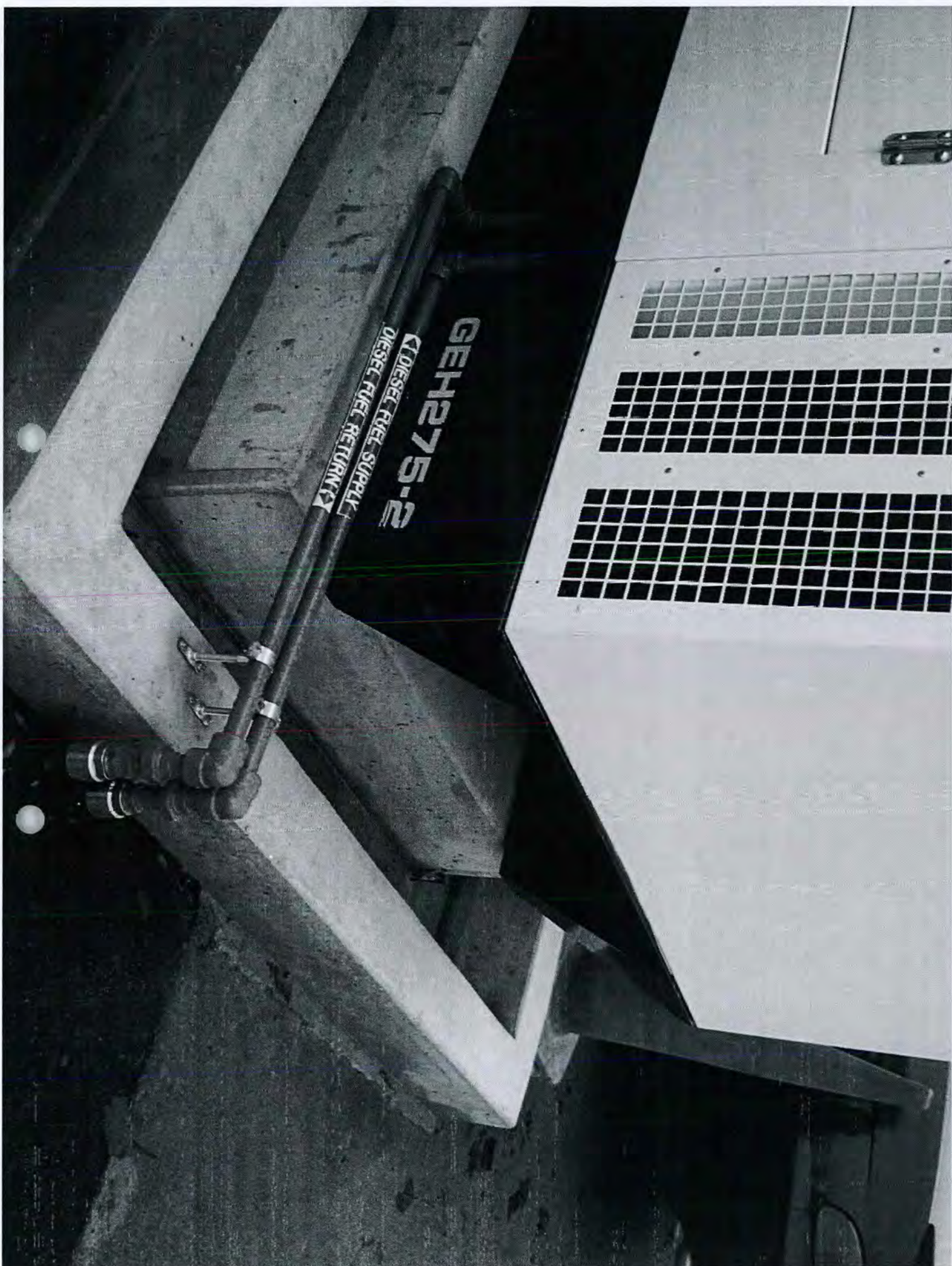
FOODSTUFFS (SI) Ltd. 167 Main North Road  
PROPOSED BOILER TRANSFER PUMP SCHEMATIC

CHUBB NZ Ltd  
Christchurch  
June 2009











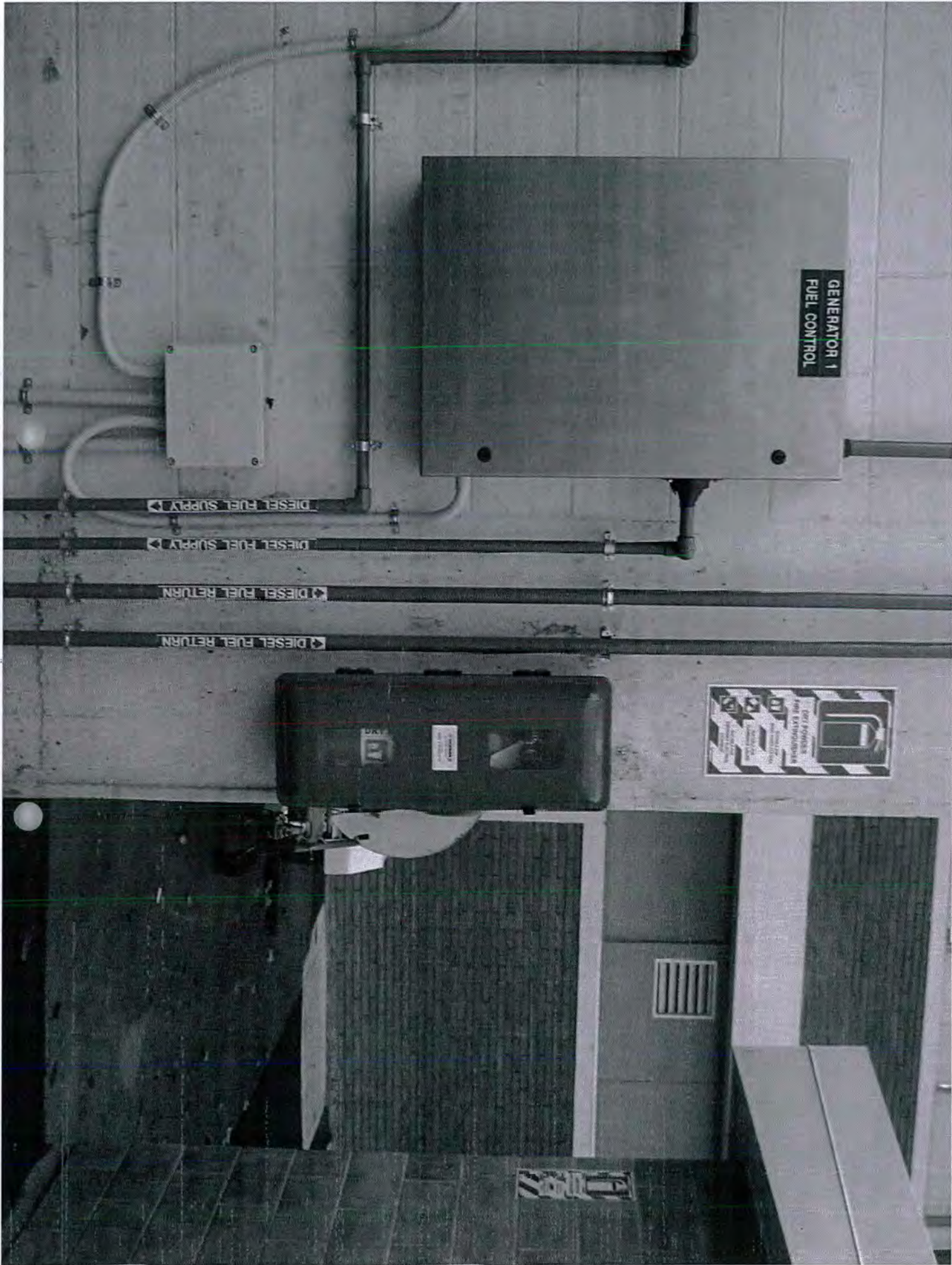
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I

**HAZCHEM 3Y DIESEL**

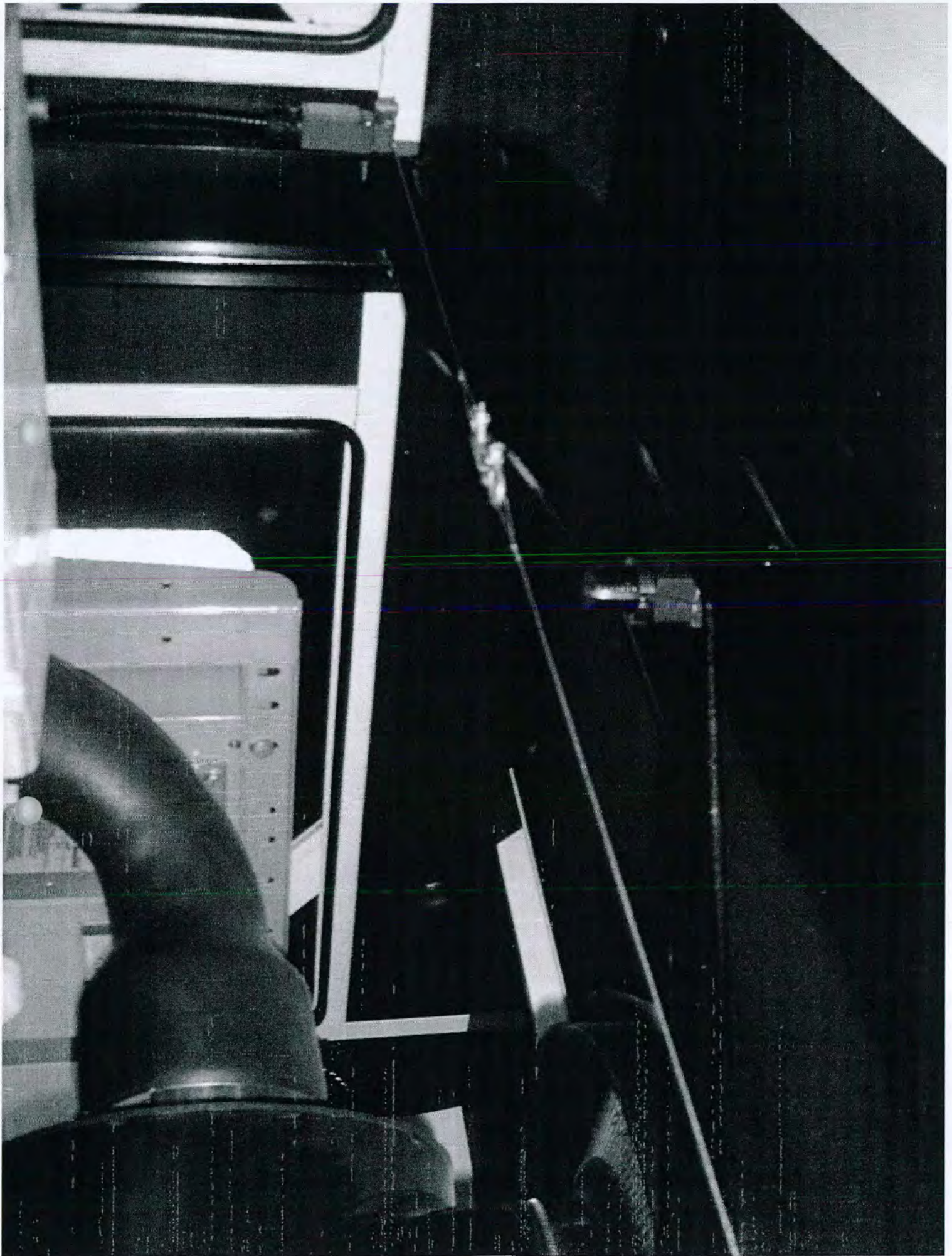


COMBUSTIBLE LIQUID  
KEEP AWAY FROM IGNITION SOURCES  
NO OPEN FLAME - NO SMOKING  
IN THE CASE OF FIRE CALL 111  
ECOTOXIC TO AQUATIC LIFE  
CONTAIN SPILLS, PROTECT WATERWAYS  
IN CASE OF SPILL, CALL REGIONAL  
COUNCIL POLLUTION HOTLINE  
(0800 33 33 33)









## Osmers, Lyn

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**From:** Osmers, Lyn  
**Sent:** Tuesday, 24 February 2009 9:58 am  
**To:** 'tony.ziolo@foodstuffs-si.co.nz'  
**Subject:** HSNo visit

Hi Tony,

I will invoice your company and issue the Location test certificate for the LPg. With respect to the diesel tank, the generator requires upgrading before it can comply. As a new generator is being installed, the problem will be resolved and a stationery container sytems certificate will be issued on completion.

You do need to have 2 fire extinguishers, 2 x 2kg or 1 x 4kg l;ocated within 30 meters of the generator.

As mentioned it would be a very good idea if soap and water was available to staff to do a quick check when changing the LPG cylindr on the forklift .

Regards  
Lyn









**FLAMMABLE GAS**  
**NO SMOKING**  
**NO NAKED FLAMES**

**NO SMOKING**

**OnGas**  
In Emergency  
Dial 911  
For Gas, Lubricants & Repairs  
0800 841 9412

Please  
door  
close

PAUL CAMPBELL'S







**Osmers, Lyn**

---

**From:** John Tainui [John@davidbrowne.co.nz]  
**Sent:** Monday, 23 February 2009 9:25 am  
**To:** Osmers, Lyn  
**Subject:** FW: Foodstuffs Papanui Tank Label


Hi Lyn,

Hope that your inspection of the tank at Papanui all goes to plan.  
Please find the message below regarding the signage for the tank.  
Let me know if there is anything else needed.

**Thanks**

**John Tainui**

**DAVID BROWNE CONTRACTORS LTD**  
21-23 Helanca Avenue, Christchurch  
P O Box 15 056, Wainoni, Christchurch  
P: 03 389 4995  
F: 03 381 1187  
E: [john@davidbrowne.co.nz](mailto:john@davidbrowne.co.nz)  
W: [www.davidbrowne.co.nz](http://www.davidbrowne.co.nz)

 Please consider the environment before printing this e-mail

-----Original Message-----

**From:** Robert Perry [mailto:Robert.Perry@ggh.co.nz]  
**Sent:** Monday, February 23, 2009 9:17 AM  
**To:** John Tainui  
**Cc:** Grant Duncan; john.forrester@pedersen.co.nz  
**Subject:** Foodstuffs papanui tank Label

Hi John,

I have had instructions from Foodstuffs (Grant Duncan) to proceed with the provision of approved tank labeling at the Foodstuffs Papanui site. To this end, I have ordered a label which I expect to be here by the end of the week. It will be affixed to the tank on Monday or Tuesday of next week.

Can you please therefore advise the CCC that this is in hand and another obstacle to our progress with this will hopefully disappear

Regards

Rob Perry

Business Support Manager  
Goughs Power Systems

Mobile: 021 867 098  
Extension: 70546  
DDI: 03 943 3146

0800 CATPOWER (228 769)  
[www.catpower.co.nz](http://www.catpower.co.nz)

23/02/2009

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This email message and attachments are confidential to our organisation. If you have received this email in error, please advise the sender immediately and destroy the message and any attachments. If you are not the intended recipient you are notified that any use, distribution, amendment, copying or any action taken or omitted to be taken in reliance of this message or attachments is prohibited. The Gough Group or its subsidiaries do not warrant that any attachments are free from viruses or other defects and accept no liability for any losses resulting from infected email transmissions. Please note that any views expressed in this email may be those of the originator and do not necessarily reflect those of this organisation.









## Tarpey, Liam

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**From:** Tarpey, Liam  
**Sent:** Thursday, 12 February 2009 2:37 pm  
**To:** 'john@davidbrowne.co.nz'  
**Subject:** TRIM: Building consent for 161 Main North Road Foodstuffs

**TRIM Dataset:** CC  
**TRIM Record Number:** 09/17603  
**TRIM Record URI:** 3445837

Good afternoon John,

Please could you give me some information so that I can possess the above consent.

1. The fuel feed from the above ground tank to the generators will it go directly in to the generators or via the base tank if the are fitted.
2. Please could you ensure that the diesel tank has a current stationary container test certificate issued and signed by an ERMA approved test certifier. If one has been issued then please could you forward a copy to me here at the council.

Best regards  
Liam

Liam Tarpey Bsc(Hons)  
Hazardous Substances Officer  
Christchurch City Council  
Mobile 027 200 4694  
DDI 03 941 8663

*Alex Fenton*

REBECCA PARISH

FOOD STUFFS

167 MAIN NORTH ROAD

DANIEL.



**Anderson, Pauline**

---

**From:** Anderson, Pauline  
**Sent:** Thursday, 8 December 2005 11:57  
**To:** 'dan.patrick@foodstuffs-si.co.nz'  
**Cc:** 'tony.ziolo@foodstuffs-si.co.nz'; 'grant.columbus@foodstuffs-si.co.nz'; Osmer, Lyn  
**Subject:** HSNO Inspection - 167 Main North Road

Hi Dan

Further to my visit last week here are my comments with regard to the storage of hazardous substances on the site.

I believe that the "D, E and F" companies will be getting a reminder letter from ERMA before Christmas. If it appears, you can let them know that you have engaged a test certifier (I understand from Rebecca that Lyn Osmer will be the test certifier) and are actively arranging test certification.

#### LPG -

The current location is possibly too close to the electric fence. Hazardous zoning is required where the quantity of LPG exceeds 30kg. AS 2430 shows the hazard zone around cylinders as a truncated cone which extends 1.5m out from the base of the cylinder and 0.5m at a height 0.5m above the top of the cylinder. Given that the electric fence is offset and above the height of the cylinder top I would recommend that the store is located off the wall by about 1m or the store is provided with a vapour wall at the back and sides such that the vapour path length is extended to more than 1m. I would recommend that you contact your LPG supplier and see if they can supply you with a suitable cage.

- You need to arrange test certification for the store as soon as possible. You need to provide a scale layout drawing of the hazardous substance location, the extent of the hazardous atmosphere zone and the location of the nearest fire extinguishers.
- The total inventory does not need to include cylinders which are connected to the forklift trucks
- Secure storage is required for the cylinders (ie in a lockable cage) which provides protection from impact and mechanical damage to the cylinders. No cylinders should be left unattended in a location where they could be subject to any mechanical damage.
- Signage is required for the cage - I recommend including contact details for the Approved Handler on the signage. Your LPG supplier should be able to source you suitable signage
- Approved Handlers should be available to advise and provide training on the safe storage and use of LPG for the users of the substance on the site. The AH does not have to be present on the site at all times but should be contactable and available if necessary. The AH will have to meet the HS (Personnel Qualifications) Regulations and be certified by the Test Certifier. Approved Handler training can be provided to NZQA unit standards. A list of training providers should be available on the ERMA website [www.ermanz.govt.nz](http://www.ermanz.govt.nz)
- A fire extinguisher is required located not further than 30m from the place of cylinder storage.
- The store will need to be on a concrete base (not tarmac nor wooden pallets since these are combustible).
- If there is a likelihood of vehicular impact then the store will need to be protected with the use of bollards
- Combustible materials should be kept at least 3m away from the store.

#### Batteries-

I understand these are wet cell (?) batteries used for the fork lift trucks.

Wet cell batteries on recharge generate hydrogen gas, a flammable gas that is lighter than air. An electrician/ventilation engineer should be able to confirm that given the maximum number of batteries on recharge could not result in the requirement for hazardous atmosphere zoning as per NZS2430. It is my understanding that batteries are manufactured items and as such are not covered by the HSNO Act.

#### Flammable Liquids:

This is a bit tricky. If it is formulated substances (eg paints and some thinners) then they are considered under the transitional provisions of HSNO until July 2006. The Dangerous Goods Regulations are still pertinent. My understanding is that as long as you don't exceed 3000 litres in containers not greater than 5 litres of which not more than 500 litres is class 3a then you can continue storage as is until the substances are transferred.

- If you have or are likely to store any oversize containers (upto 20 litres) of potable alcohol (eg 37.5%abv) then I recommend that you provide an AS1940 cabinet storage.
- However, if you are likely to exceed the 3000 litres or have more than 100 litres in containers greater than 5 litres then you will need to hold a Transitional Dangerous Goods Licence.

For single component substances such as mineral turps (Class 3.1C, 6.1E, 6.3B, 9.1B); methylated spirits (3.1B, 6.1E, 6.4A, 6.8B, 6.9A, 9.1D) and petroleum (3.1A, 6.1E, 6.3B, 6.7B, 9.1B) have been fully transferred therefore the HSNO regulations and transfer notices do apply now.

- I noted 2 x 20 litre petrol containers. If you need to store containers of petrol etc on the site then I would



recommend either an external store area or an AS1940 cabinet of limited capacity within the building. If this storage location exceeds 50 litres of petrol then you will need an Approved Handler and if it exceeds 100 litres you will require a location test certificate. I would recommend that you ensure that you do not exceed these quantities

Although I am pretty sure that at the time of my visit you were only holding consumer quantities (ie less than 5 litres) of transferred substances, to help me give more detailed advice you need to provide me with an inventory of your flammable liquids. The following may apply -

- If you exceed 500 litres of 3.1B in containers upto 5litres then you will require an Approved Handler; or 250 litres if the containers exceed 5 litres.
- If you exceed 250litres of 3.1B in containers upto 5litres then you will require an Approved Handler; or 100 litres if the containers exceed 5 litres
- If you exceed 1500 litres of class 3.1C in containers upto 5 litres you will require Location Test Certification; or 500 litres if the containers exceed 5 litres.
- In addition, if you exceed 100 litres storage in closed containers of class 3.1A, B or C substances then you need to comply with the requirements of HS (Class 1 - 5 Controls) Regulations for Hazardous Atmosphere Zoning.

#### Aerosols:

You need to confirm that that you are not storing in excess of 3000 litres of flammable aerosols (class 2.1.2A); if not then you just need to ensure that the cylinders are being stored in a cool place away from any heat sources. If in excess of 3000 litres then the requirements of the Dangerous Goods Transfer Notice 35 will kick in and there are restrictions on the type of building and separation distance requirements.

I hope this helps you. If you have any further questions please don't hesitate to contact me.

Kind regards  
Pauline Anderson

# DANGEROUS GOODS LICENCE

Issued by the CCC on behalf of the Environmental Risk Management Authority pursuant to the provisions of Part XIV of the Hazardous Substances and New Organisms Act 1996 (Transitional Provisions - Dangerous Goods)

No. 17536

FOODSTUFFS (SOUTH ISLAND) LTD

PRIVATE BAG 4705

CHRISTCHURCH 8021

is licensed to store in premises situated at

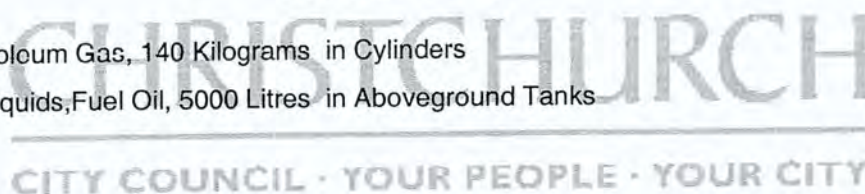
165 MAIN NORTH ROAD, PAPANUI, CHRISTCHURCH 8005

dangerous goods of the class(a) specified in the Schedule below, in such manner, and in such quantities not exceeding those quantities, specified in that schedule.

## SCHEDULE

2D Liquified Petroleum Gas, 140 Kilograms in Cylinders

3C Flammable Liquids, Fuel Oil, 5000 Litres in Aboveground Tanks




This licence is issued subject to the following conditions

Date issued 1st April 2003

Expiry Date 31st March 2004

Environmental Effects Team  
Christchurch City Council  
Civic Offices 163-173 Tuam Street  
PO Box 237, Christchurch, New Zealand  
Telephone (03) 371-1461  
Fax (03)371-1792

  
for Christchurch City Council  
on behalf of ERMA



# DANGEROUS GOODS LICENCE

Issued by the CCC on behalf of the Environmental Risk Management Authority pursuant to the provisions of Part XIV of the Hazardous Substances and New Organisms Act 1996 (Transitional Provisions - Dangerous Goods)

No. 17536

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CHRISTCHURCH 8021

is licensed to store in premises situated at

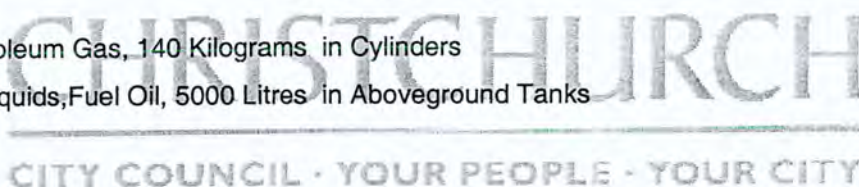
165 MAIN NORTH ROAD, PAPANUI, CHRISTCHURCH 8005

dangerous goods of the class(a) specified in the Schedule below, in such manner, and in such quantities not exceeding those quantities, specified in that schedule.

## SCHEDULE

2D Liquified Petroleum Gas, 140 Kilograms in Cylinders

3C Flammable Liquids, Fuel Oil, 5000 Litres in Aboveground Tanks



This licence is issued subject to the following conditions

Date issued 1st April 2002

Expiry Date 31st March 2003

Environmental Effects Team  
Christchurch City Council  
Civic Offices 163-173 Tuam Street  
PO Box 237, Christchurch, New Zealand  
Telephone (03) 371-1461  
Fax (03)371-1792

  
.....  
for Christchurch City Council  
on behalf of ERMA



*J + Hazelwood*



# CHRISTCHURCH CITY COUNCIL

## ENVIRONMENTAL SERVICES UNIT

### Application to renew a licence to store Dangerous Goods

Hazardous Substances and New Organisms Act 1996  
Transitional Provisions - Dangerous Goods

Licensee: FOODSTUFFS (SOUTH ISLAND) LTD  
PRIVATE BAG 4705  
CHRISTCHURCH 8021

Registration of: FOODSTUFFS (S.I) LTD  
Situating at: 165 MAIN NORTH ROAD, PAPANUI, CHRISTCHURCH 8005  
Licence Number: 17536  
Date: 05/03/2002  
Fee: \$ 168.75

I hereby apply to renew my dangerous goods licence for the classes and maximum quantities of dangerous goods which have been listed below:

2D Liquefied Petroleum Gas, 140 Kilograms in Cylinders  
3C Flammable Liquids, Fuel Oil, 5000 Litres in Aboveground Tanks

Record below any alterations to Name, Postal Address or Storage:

Name: .....

Postal address: .....  
.....  
.....

Storage: .....  
.....

It is hereby certified that the particulars contained in this application are true and correct and are without material omission to the best of my knowledge.

Signature: .....

Designation: .....

Please return to: Environmental Effects Team  
Christchurch City Council  
Civic Offices, 163-173 Tuam Street  
PO Box 237, Christchurch, New Zealand  
Telephone (03) 371-1823  
Fax (03) 371-1792

# CHRISTCHURCH CITY COUNCIL DANGEROUS GOODS LICENCE

(Issued pursuant to section 9 of the Dangerous Goods Act 1974)

No. 17536

FOODSTUFFS (SOUTH ISLAND) LTD

PRIVATE BAG 4705

CHRISTCHURCH 8021

FILE COPY

is licensed to store in premises situated at

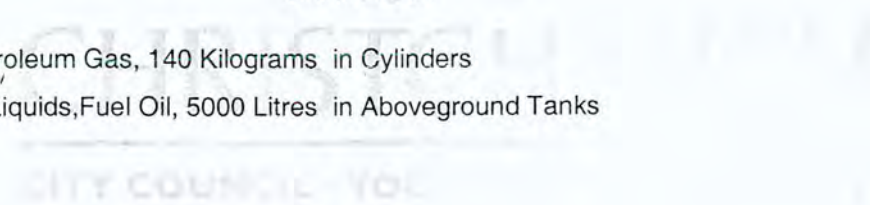
165 MAIN NORTH ROAD, PAPANUI, CHRISTCHURCH 8005

dangerous goods of the class(a) specified in the Schedule below, in such manner, and in such quantities not exceeding those quantities, specified in that schedule.

## SCHEDULE

2D Liquefied Petroleum Gas, 140 Kilograms in Cylinders

3C Flammable Liquids, Fuel Oil, 5000 Litres in Aboveground Tanks




This licence is issued subject to the following conditions

This Licence is subject to the provisions and requirements of the Dangerous Goods Act 1974 and the regulations made pursuant to that Act.

Date issued 1st April 2001

Expiry Date 31st March 2002

Environmental Effects Team  
Christchurch City Council  
Civic Offices 163-173 Tuam Street  
PO Box 237, Christchurch, New Zealand  
Telephone (03) 371-1823  
Fax (03)371-1792

  
for Christchurch City Council





# CHRISTCHURCH CITY COUNCIL

## ENVIRONMENTAL SERVICES UNIT

### Application to renew a licence to store Dangerous Goods

#### Hazardous Substances and New Organisms Act 1996 Transitional Provisions - Dangerous Goods

Licensee: FOODSTUFFS (SOUTH ISLAND) LTD  
PRIVATE BAG 4705  
CHRISTCHURCH 8021

Registration of: FOODSTUFFS (S.I) LTD  
Situated at: 165 MAIN NORTH ROAD, PAPANUI, CHRISTCHURCH 8005  
Licence Number: 17536  
Date: 27/02/2001  
Fee: \$ 168.75

I hereby apply to renew my dangerous goods licence for the classes and maximum quantities of dangerous goods which have been listed below:

2D Liquefied Petroleum Gas, 140 Kilograms in Cylinders  
3C Flammable Liquids, Fuel Oil, 5000 Litres in Aboveground Tanks

Record below any alterations to Name, Postal Address or Storage:

Name: .....

Postal address: .....

Storage: .....

It is hereby certified that the particulars contained in this application are true and correct and are without material omission to the best of my knowledge.

Signature: *[Handwritten Signature]* .....

Designation: .....

Please return to: Environmental Effects Team  
Christchurch City Council  
Civic Offices, 163-173 Tuam Street  
PO Box 237, Christchurch, New Zealand  
Telephone (03) 371-1823  
Fax (03) 371-1792





100% NEW ZEALAND OWNED & OPERATED

# REMITTANCE ADVICE

Private Bag 4705, CHRISTCHURCH

Phone (03) 353 8611

Fax (03) 352 2555

Christchurch City Council  
 P O Box 237  
 CHRISTCHURCH

Supplier Number 73237  
 Cheque Number 423815/00001  
 Page 1 of 1

| Date     | Invoice No | Gross              | Discount | Amount Paid        |
|----------|------------|--------------------|----------|--------------------|
| 27/02/01 | 4230       | 168.75             |          | 168.75             |
| 14/03/01 | 90004260   | 27,000.00          |          | 27,000.00          |
|          |            | -----<br>27,168.75 | -----    | -----<br>27,168.75 |



# CHRISTCHURCH CITY COUNCIL

## ENVIRONMENTAL SERVICES UNIT

### Application to renew a licence to store Dangerous Goods

#### Hazardous Substances and New Organisms Act 1996 Transitional Provisions - Dangerous Goods

Licensee: THE WHOLESALE OPERATIONS CONTROLLER  
FOODSTUFFS (SI) LTD  
PRIVATE BAG 4705  
CHRISTCHURCH



Registration of: FOODSTUFFS (SOUTH ISLAND) LTD  
Situating at: 167 MAIN ROAD  
Licence Number: 17536  
Date: 14 March 2000  
Fee: \$168.75

I hereby apply to renew my dangerous goods licence for the classes and maximum quantities of dangerous goods which have been listed below:

- 2D L.P.G, 140 Kilograms in Cylinders
- 3C i.e. Diesel, 5000 Litres in Above Ground Tanks

Record below any alterations to Name, Postal Address or Storage:

Name: Foodstuffs (South Island) LTD

Postal address: 165-167 MAIR NORTH RD.  
PRIVATE BAG 4705

Storage: 7 Cylinders 2D LPG - 20kg  
5000 litres 3C Diesel

It is hereby certified that the particulars contained in this application are true and correct and are without material omission to the best of my knowledge.

Signature: J Hazelwood  
Designation: WAREHOUSE MAINTENANCE SUPERVISOR

811165

Please return to: Environmental Effects Team  
Christchurch City Council  
Civic Offices, 163-173 Tuam Street  
PO Box 237, Christchurch, New Zealand  
Telephone (03) 371-1823  
Fax (03) 371-1792



CHRISTCHURCH CITY COUNCIL

FILE COPY

# DANGEROUS GOODS LICENCE

(Issued pursuant to section 9 of the Dangerous Goods Act 1974)

No. 17536

FOODSTUFFS (S.I) LTD

THE WHOLESALE OPERATIONS CONTROLLER

FOODSTUFFS (SI) LTD

PRIVATE BAG 4705

CHRISTCHURCH



is licensed to store in premises situated at

167 MAIN ROAD

dangerous goods of the class(a) specified in the Schedule below, in such manner, and in such quantities not exceeding those quantities, specified in that schedule.

CHRISTCHURCH  
CITY COUNCIL ENVIRONMENT

## SCHEDULE

2D Liquified Petroleum Gas, 140 Kilograms in Cylinders

3C Flammable Liquids e.g Diesel, 5000 Litres in Aboveground Tanks


This licence is issued subject to the following conditions

This Licence is subject to the provisions and requirements of the Dangerous Goods Act 1974 and the regulations made pursuant to that Act.

Date Issued 1st April 2000

Expiry Date 31st March 2001

Environmental Effect Team  
Christchurch City Council  
Civic Offices 163-173 Tuam Street  
PO Box 237, Christchurch, New Zealand  
Telephone (03) 371-1823  
Fax (03) 371-1792

  
for Christchurch City Council



THIS LICENCE REPLACES LICENCE NO. 3469



**CHRISTCHURCH CITY COUNCIL**  
**DANGEROUS GOODS LICENCE**

THIS LICENCE MUST BE DISPLAYED ON THE PREMISES

No 7536

FOODSTUFFS (S.I.) LTD

is hereby granted a Licence to store Dangerous Goods in premises situate

FOODSTUFFS (S.I) LTD  
167 MAIN NORTH ROAD

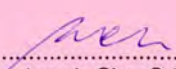
Christchurch in quantities not exceeding the following:

**Schedule of Classes and Quantities of Dangerous Goods and Number of Pumps and Tanks Authorised in this Licence**

Class 2D: 140 kilograms in 7 cylinder(s).  
Class 3C: 5000 litres in 1 aboveground tank(s).

This Licence is subject to the provisions and requirements of the Dangerous Goods Act 1974 and the Dangerous Goods Regulations.

Date issued 4 March 1998

  
.....  
for Christchurch City Council



# DANGEROUS GOODS LICENCE INFORMATION

CHRISTCHURCH CITY COUNCIL

IN ACCORDANCE WITH THE PROVISIONS OF THE DANGEROUS GOODS ACT 1974, APPROVAL IS GIVEN TO ISSUE A LICENCE TO THESE PREMISES WHICH HAVE BEEN SUBJECT TO STORAGE ALTERATION &/OR SUBJECT TO INSPECTION PROCEDURES.

Dangerous Goods Inspector R.A. MIGNOR Signed R.A. MIGNOR Date 23/2/98

|   |   |                 |          |           |         |
|---|---|-----------------|----------|-----------|---------|
| NEW PREMISES                                |   | LICENCE FEE     | \$ 67.50 | WARD      | PAPANUI |
| STORAGE CHANGE                              | ✓ | NEW LICENCE FEE | \$       | USE       |         |
| NAME/ADDRESS CHANGE                         |   | TRANSFER FEE    | \$       | TYPE      |         |
| (Previous Name/Address)                     |   |                 |          | REDUNDANT |         |
| PROPERTY NAME <u>FOODSTUFFS (S.I.) LTD</u>  |   |                 |          |           |         |
| PROPERTY ADDRESS <u>167 MAIN NORTH ROAD</u> |   |                 |          |           |         |
| LICENSEE <u>AS ABOVE</u>                    |   |                 |          |           |         |
| POSTAL ADDRESS <u>PRIVATE BAG 4705 CHCH</u> |   |                 |          |           |         |

| STORAGE CHANGES |       |                 |  |       |                                 |
|-----------------|-------|-----------------|--|-------|---------------------------------|
|                 | Class | INCREASE        |  | Class | DECREASE                        |
| 1               | 3C    | 5000 L A/G TANK |  | 1     | 3A 9,092 LIT 1 U/G TANK 1 DISP  |
| 2               |       |                 |  | 2     | 3C 18,184 LIT 2 U/G TANK 1 DISP |
| 3               |       |                 |  | 3     |                                 |
| 4               |       |                 |  | 4     |                                 |
| 5               |       |                 |  | 5     |                                 |
| 6               |       |                 |  | 6     |                                 |
| 7               |       |                 |  | 7     |                                 |

### LICENCE TO READ

| CLASS 2:— GASES |              |           |          |                    |                   |              |
|-----------------|--------------|-----------|----------|--------------------|-------------------|--------------|
|                 | In Cylinders |           | In Tanks |                    | No. of Dispensers | Mobile Tanks |
|                 | Quantity     | Cylinders | litres   | No. A/G<br>No. U/G |                   |              |
| 2a              | cm           |           |          |                    |                   |              |
| 2b              | cm           |           |          |                    |                   |              |
| 2c              | cm           |           |          |                    |                   |              |
| 2d              | ✓ 140        | ✓ 7       |          |                    |                   |              |
| 2e              | kg           |           |          |                    |                   |              |
| 2f              | l            |           |          |                    |                   |              |
| 2g              | cm           |           |          |                    |                   |              |

| CLASS 3:— FLAMMABLE LIQUIDS |                   |              |                    |              |            |     |              |
|-----------------------------|-------------------|--------------|--------------------|--------------|------------|-----|--------------|
|                             | In Containers     |              |                    |              | Workroom   | <5l | Mobile Tanks |
|                             | >60l              | <60l         | <20l               | "E" Cab      |            |     |              |
| 3a                          |                   |              |                    |              |            |     |              |
| 3b                          |                   |              |                    |              |            |     |              |
| 3c                          |                   |              |                    |              |            |     |              |
|                             | Underground Tanks |              | Above Ground Tanks |              | Number Of  |     |              |
|                             | Litres In...      | Number Of... | Litres In...       | Number Of... | Dispensers |     |              |
| 3a                          | - 9092            | - 1          |                    |              | - 1        |     |              |
| 3b                          |                   |              |                    |              |            |     |              |
| 3c                          | - 18184           | - 2          | + 5000             | + ONE        | - 1        |     |              |

| 4. FLAMMABLE SOLIDS |        |        | 5. OXIDISING SUBSTANCES |    |    |
|---------------------|--------|--------|-------------------------|----|----|
|                     | A (kg) | B (kg) | C (kg)                  | 5a | 5b |
| 4.1                 |        |        |                         |    |    |
| 4.2                 |        |        |                         |    |    |
| 4.3                 |        |        |                         |    |    |

| CLERICAL USE     |      |                         |
|------------------|------|-------------------------|
| NEW LICENCE NO.: | 7536 | ACTIONED BY: <u>RJD</u> |
|                  |      | DATE: <u>4/3/98</u>     |

THIS LICENCE REPLACES LICENCE NO. 2988



**CHRISTCHURCH CITY COUNCIL**  
**DANGEROUS GOODS LICENCE**

THIS LICENCE MUST BE DISPLAYED ON THE PREMISES

**No 3469**

FOODSTUFFS (CHCH) LTD

is hereby granted a Licence to store Dangerous Goods in premises situate

167 MAIN NORTH ROAD

Christchurch in quantities not exceeding the following:

**Schedule of Classes and Quantities of Dangerous Goods and Number of Pumps and Tanks Authorised in this Licence**

Class 2D: 140 kilograms in 7 cylinder(s).

Class 3A: 9092 litres in 1 underground tank(s) with 1 dispenser(s).

Class 3C: 18184 litres in 2 underground tank(s) with 1 dispenser(s).

This Licence is subject to the provisions and requirements of the Dangerous Goods Act 1974 and the Dangerous Goods Regulations.

Date issued 18 January 1991

.....  
for Christchurch City Council



## Dangerous Goods Licence Information

|                               |                     |
|-------------------------------|---------------------|
| Inspector: <u>D. CAWTHORN</u> | Date: <u>2-8-90</u> |
|-------------------------------|---------------------|

|   |                               |                    |
|---|-------------------------------|--------------------|
| New Premises:                                       | Licence Fee: \$ <u>112-50</u> | Inspection Fee: \$ |
| Storage Change: <input checked="" type="checkbox"/> | New Licence Fee: \$           | Inspection Fee: \$ |
| Name Change:  | Transfer Fee \$               |                    |
|   | Previous Name :               |                    |
| Redundant:  |                               |                    |

|                            |                     |                      |
|----------------------------|---------------------|----------------------|
| Sub-Census Area: <u>01</u> | Town Planning Zone: | Ward: <u>PAPANUI</u> |
| Use: <u>CS</u>             | Type: <u>0</u>      |                      |

|   |                        |
|---|------------------------|
| Property Name: <u>FOODSTUFFS CH. CH. LTD</u>                |                        |
| Property Address: <u>167 MAIN NORTH ROAD</u>                |                        |
| Licensee: <u>MR VERLANDER</u>                               | Phone: <u>3526-039</u> |
| Contact Name (not entered on computer): <u>MR VERLANDER</u> |                        |
| Postal Address: <u>PRIVATE BAG</u>                          |                        |
| <u>CH. CH. 5</u>  |                        |
|   |                        |
|   |                        |

|                        |
|------------------------|
| Nett Storage Increase: |
|                        |
|                        |
|                        |
|                        |
|                        |
|                        |

|   |
|---|
| Nett Storage Decrease:                                    |
| <u>Class 3(b) 209 litres in containers &gt; 60 litres</u> |
|   |
|   |
|   |
|   |

|                                  |                                     |
|----------------------------------|-------------------------------------|
| New Licence Number : <u>3469</u> | Licence Invoice No. : <u>D90771</u> |
| Old Licence Number : <u>2988</u> | Other Invoice Nos. :                |
| Actioned By : <u>Jan</u>         | Date Actioned : <u>18-1-91</u>      |



**CHRISTCHURCH CITY COUNCIL**  
**DANGEROUS GOODS LICENCE**

THIS LICENCE MUST BE DISPLAYED ON PREMISES

**No 2988**

MR VERLANDER  
FOODSTUFFS S.I. LTD  
PRIVATE BAG  
CHRISTCHURCH

is hereby granted a Licence to store Dangerous Goods in premises situate

167 MAIN NORTH ROAD

Christchurch in quantities not exceeding the following:

**Schedule of Classes and Quantities of Dangerous Goods and Number of Pumps and Tanks Authorised in this Licence**

- Class 2D: 140 kilograms in 7 cylinder(s).
- Class 3A: 9092 litres in 1 underground tank(s) with 1 dispenser(s).
- Class 3B: 209 litres in containers greater than 60 litres capacity.
- Class 3C: 18184 litres in 2 underground tank(s) with 1 dispenser(s).

This Licence is subject to the provisions and requirements of the Dangerous Goods Act 1974 and the Dangerous Goods Regulations.

Date issued 16 August 1989

  
.....  
for Christchurch City Council





# CHRISTCHURCH CITY COUNCIL

## DANGEROUS GOODS LICENCE

THIS LICENCE MUST BE DISPLAYED ON PREMISES

Foodstuffs (CH-CH) Ltd  
 P.O. Box 842 *PRIVATE BAG*  
 CHRISTCHURCH

No 2169

is hereby granted a Licence to store Dangerous Goods in premises situate  
167 Main North Road

Christchurch in quantities not exceeding the following:

### Schedule of Classes and Quantities of Dangerous Goods and Number of Pumps and Tanks Authorised in this Licence

P.W.A. Ltd 30393

| (FLAMMABLE LIQUIDS)       |                   | CLASS 3 TOTAL CAPACITIES IN LITRES |                                     |   |                     |              |
|---------------------------|-------------------|------------------------------------|-------------------------------------|---|---------------------|--------------|
|                           | UNDERGROUND TANKS | ABOVEGROUND TANKS                  | CONTAINERS (OVER 60 LITRE CAPACITY) | CONTAINERS (NOT OVER 60 LITRE CAPACITY) | WORKROOM CONTAINERS | MOBILE TANKS |
| 3a                        | 9092              |                                    |                                     |   |                     |              |
| 3b                        |                   |                                    | ← 209                               |   |                     |              |
| 3c                        | 18184             |                                    |                                     |   |                     |              |
| NUMBER OF STORAGE TANKS   |                   |                                    | 3a: 1                               | 3b:                                     | 3c: 2               |              |
| NUMBER OF REFUELING PUMPS |                   |                                    | 3a: 1                               | 3b:                                     | 3c: 1               |              |

| (GASES)      |    | CLASS 2 TOTAL CAPACITIES |    |    |       |    |        |    |
|--------------|----|--------------------------|----|----|-------|----|--------|----|
|              |    | 2a                       | 2b | 2c | 2d    | 2e | 2f     | 2g |
| IN CYLINDERS | m³ | m³                       | m³ | m³ | 60 kg | kg | litres | m³ |
| IN TANKS     | m³ | m³                       | m³ | m³ | kg    | kg | litres | m³ |

| (CORROSIVES)      |    | CLASS 8                    |    |                             |    |                     |    |
|-------------------|----|----------------------------|----|-----------------------------|----|---------------------|----|
| ABOVEGROUND TANKS |    | DRUMS (NOT OVER 60 LITRES) |    | DRUMS (EXCEEDING 60 LITRES) |    | WORKROOM CONTAINERS |    |
| LITRES            | No | LITRES                     | No | LITRES                      | No | LITRES              | No |
|                   |    |                            |    |                             |    |                     |    |

| (FLAMMABLE SOLIDS) CLASS 4 |    |    | (OXIDISING SUBSTANCES) CLASS 5 |    |           |
|----------------------------|----|----|--------------------------------|----|-----------|
|                            | A  | B  | C                              |    |           |
| 4.1                        | kg | kg | kg                             | 5A | kg        |
| 4.2                        | kg | kg |                                | 5B | kg/litres |
| 4.3                        | kg | kg | kg                             |    |           |

This Licence is subject to the provisions and requirements of the Dangerous Goods Act 1974 and the Dangerous Goods Regulations.

Date issued 26 September 1986

*[Signature]*  
for Christchurch City Council

|             |  |  |  |  |
|-------------|--|--|--|--|
| Year        |  |  |  |  |
| Receipt No. |  |  |  |  |
| Date Paid   |  |  |  |  |



THIS LICENCE REPLACES LICENCE NO. 913



# CHRISTCHURCH CITY COUNCIL DANGEROUS GOODS LICENCE

THIS LICENCE MUST BE DISPLAYED ON PREMISES

Foodstuffs (Chch) Ltd  
P.O. Box 842  
CHRISTCHURCH

No 1326

is hereby granted a Licence to store Dangerous Goods in premises situate

167 Main North Road

Christchurch in quantities not exceeding the following:

**Schedule of Classes and Quantities of Dangerous Goods and Number of Pumps and Tanks Authorised in this Licence**

P.W.A. Ltd 28767

| (FLAMMABLE LIQUIDS)       |                   | CLASS 3 TOTAL CAPACITIES IN LITRES  |   |                     |              |
|---------------------------|-------------------|-------------------------------------|---|---------------------|--------------|
| UNDERGROUND TANKS         | ABOVEGROUND TANKS | CONTAINERS (OVER 60 LITRE CAPACITY) | CONTAINERS (NOT OVER 60 LITRE CAPACITY) | WORKROOM CONTAINERS | MOBILE TANKS |
| 3a                        | 9092              |                                     |   |                     |              |
| 3b                        |                   |                                     | 209                                     |                     |              |
| 3c                        | 18184             |                                     |   |                     |              |
| NUMBER OF STORAGE TANKS   |                   | 3a: 1                               | 3b:                                     | 3c: 2               |              |
| NUMBER OF REFUELING PUMPS |                   | 3a: 1                               | 3b:                                     | 3c: 1               |              |

*5-9-82*

| (GASES)      |                | CLASS 2 TOTAL CAPACITIES |                |       |    |        |                |
|--------------|----------------|--------------------------|----------------|-------|----|--------|----------------|
|              | 2a             | 2b                       | 2c             | 2d    | 2e | 2f     | 2g             |
| IN CYLINDERS | m <sup>3</sup> | m <sup>3</sup>           | m <sup>3</sup> | 60 kg | kg | litres | m <sup>3</sup> |
| IN TANKS     | m <sup>3</sup> | m <sup>3</sup>           | m <sup>3</sup> | kg    | kg | litres | m <sup>3</sup> |

| (CORROSIVES)      |    | CLASS 8                    |    |                             |    |                     |    |
|-------------------|----|----------------------------|----|-----------------------------|----|---------------------|----|
| ABOVEGROUND TANKS |    | DRUMS (NOT OVER 60 LITRES) |    | DRUMS (EXCEEDING 60 LITRES) |    | WORKROOM CONTAINERS |    |
| LITRES            | No | LITRES                     | No | LITRES                      | No | LITRES              | No |
|                   |    |                            |    |                             |    |                     |    |

| (FLAMMABLE SOLIDS) CLASS 4 |    | (OXIDISING SUBSTANCES) CLASS 5 |           |
|----------------------------|----|--------------------------------|-----------|
| 4A                         | kg | 5A                             | kg        |
| 4B                         | kg | 5B                             | kg/litres |

This Licence is subject to the provisions and requirements of the Dangerous Goods Act 1974 and the Dangerous Goods Regulations.

Date issued 3 September 1982

*[Signature]*  
for Christchurch City Council

|             |              |           |            |        |  |
|-------------|--------------|-----------|------------|--------|--|
| Year        | 1982/83      | 1983/84   | 1984/85    | 85/86  |  |
| Receipt No. | Inv. 1725    | C.S. 8749 | C.S. 30401 | 5486   |  |
| Date Paid   | 11/3/82 \$50 | 25-2-83   | 27-2-84    | 3.4.85 |  |





# CHRISTCHURCH CITY COUNCIL

## DANGEROUS GOODS LICENCE

THIS LICENCE MUST BE DISPLAYED ON PREMISES

FOODSTUFFS (CHCH) LTD  
 BOX 942  
 CHRISTCHURCH

*new licence issued*  
**No 913**

is hereby granted a Licence to store Dangerous Goods in premises situate

167 MAIN NORTH ROAD

Christchurch in quantities not exceeding the following:

### Schedule of Classes and Quantities of Dangerous Goods and Number of Pumps and Tanks Authorised in this Licence

P.W.A. Ltd 26691

| (FLAMMABLE LIQUIDS)       |                   | CLASS 3 TOTAL CAPACITIES IN LITRES  |   |                     |              |
|---------------------------|-------------------|-------------------------------------|---|---------------------|--------------|
| UNDERGROUND TANKS         | ABOVEGROUND TANKS | CONTAINERS (OVER 60 LITRE CAPACITY) | CONTAINERS (NOT OVER 60 LITRE CAPACITY) | WORKROOM CONTAINERS | MOBILE TANKS |
| 3a                        | 9092              |                                     | 27.2-9-82.                              |                     |              |
| 3b                        |                   |                                     | 209                                     |                     |              |
| 3c                        | 18184             |                                     |   |                     |              |
| NUMBER OF STORAGE TANKS   |                   | 3a:                                 | 3b:                                     | 3c: 2               |              |
| NUMBER OF REFUELING PUMPS |                   | 3a: 1                               | 3b:                                     | 3c: 1               |              |

| (GASES)      |  | CLASS 2 TOTAL CAPACITIES |                |                |    |    |        |                |
|--------------|--|--------------------------|----------------|----------------|----|----|--------|----------------|
|              |  | 2a                       | 2b             | 2c             | 2d | 2e | 2f     | 2g             |
| IN CYLINDERS |  | m <sup>3</sup>           | m <sup>3</sup> | m <sup>3</sup> | kg | kg | litres | m <sup>3</sup> |
| IN TANKS     |  | m <sup>3</sup>           | m <sup>3</sup> | m <sup>3</sup> | kg | kg | litres | m <sup>3</sup> |

| (CORROSIVES)      |    | CLASS 8                    |    |                             |    |                     |    |
|-------------------|----|----------------------------|----|-----------------------------|----|---------------------|----|
| ABOVEGROUND TANKS |    | DRUMS (NOT OVER 60 LITRES) |    | DRUMS (EXCEEDING 60 LITRES) |    | WORKROOM CONTAINERS |    |
| LITRES            | No | LITRES                     | No | LITRES                      | No | LITRES              | No |
|                   |    |                            |    |                             |    |                     |    |

| (FLAMMABLE SOLIDS) CLASS 4 |    | (OXIDISING SUBSTANCES) CLASS 5 |           |
|----------------------------|----|--------------------------------|-----------|
| 4A                         | kg | 5A                             | kg        |
| 4B                         | kg | 5B                             | kg/litres |

This Licence is subject to the provisions and requirements of the Dangerous Goods Act 1974 and the Dangerous Goods Regulations.

**J. H. GRAY**  
 General Manager and Town Clerk

Date issued **MARCH 1981**

Per *M Lunn*



*Mrs. Traquair - please see me - WB*

# CHRISTCHURCH CITY COUNCIL

## APPLICATION FOR LICENCE TO STORE DANGEROUS GOODS

**FOODSTUFFS (CH.CH.) LTD,**  
**P.O. BOX 842,**  
**CHRISTCHURCH.**

**STORED AT : 167 MAIN NORTH ROAD.**

Application for renewal is required by Sec. 12 (1) of the Dangerous Goods Act, 1974, to be lodged not later than 15 March.

*Phone 991660*

hereby apply for a Licence to store Dangerous Goods in premises situate 167 MAIN NORTH ROAD, CHRISTCHURCH

Christchurch in quantities not exceeding the following:  
**Schedule of Classes and Quantities of Dangerous Goods and Number of Pumps and Tanks Authorised in this Licence**

| CLASS 3 TOTAL CAPACITIES IN LITRES |                   |                                     |   |                     |              |
|------------------------------------|-------------------|-------------------------------------|---|---------------------|--------------|
| UNDERGROUND TANKS                  | ABOVEGROUND TANKS | CONTAINERS (OVER 60 LITRE CAPACITY) | CONTAINERS (NOT OVER 60 LITRE CAPACITY) | WORKROOM CONTAINERS | MOBILE TANKS |
| 3a                                 | 9092 ✓            |                                     |   |                     |              |
| 3b                                 |                   |                                     |   |                     |              |
| 3c                                 | 18184 ✓           |                                     |   |                     |              |
| NUMBER OF STORAGE TANKS            |                   | 3a: <del>2</del> 1 ✓                | 3b: 1 ✓                                 | 3c: 2 ✓             |              |
| NUMBER OF REFUELING PUMPS          |                   | 3a: 1 ✓                             | 3b: 1 ✓                                 | 3c: 1 ✓             |              |

| CLASS 2 TOTAL CAPACITIES |    |    |    |    |    |        |    |
|--------------------------|----|----|----|----|----|--------|----|
|                          | 2a | 2b | 2c | 2d | 2e | 2f     | 2g |
| IN CYLINDERS             | m³ | m³ | m³ | kg | kg | litres | m³ |
| IN TANKS                 | m³ | m³ | m³ | kg | kg | litres | m³ |

| CLASS 8           |    |                            |    |                             |    |                     |    |
|-------------------|----|----------------------------|----|-----------------------------|----|---------------------|----|
| ABOVEGROUND TANKS |    | DRUMS (NOT OVER 60 LITRES) |    | DRUMS (EXCEEDING 60 LITRES) |    | WORKROOM CONTAINERS |    |
| LITRES            | No | LITRES                     | No | LITRES                      | No | LITRES              | No |
|                   |    |                            |    |                             |    |                     |    |

| CLASS 4 |  |  |      | CLASS 5 |  |  |             |
|---------|--|--|------|---------|--|--|-------------|
| 4A      |  |  | k.g. | 5A      |  |  | k.g.        |
| 4B      |  |  | k.g. | 5B      |  |  | k.g./litres |

This application is made subject to the provisions of the Dangerous Goods Act 1974 and the Dangerous Goods Regulations relating to the Storage of Dangerous Goods, and to any special conditions that may be imposed.

If any alteration in circumstances since issue of your last licence please state nature of change:

ENCLOSED FEE

\$ 25 : 00

Signed *[Signature]* Applicant Date 28-3-78

**FOUR SQUARE HEADQUARTERS**  
P.O. BOX 842, CHRISTCHURCH  
**INSTRUCTIONS**

Please complete this Application and return PROMPTLY with the appropriate remittance to: The Chief City Health Inspector, Christchurch City Council, P.O. Box 237, Christchurch, 1.

**PLEASE SEE BACK FOR SCALE OF FEES**

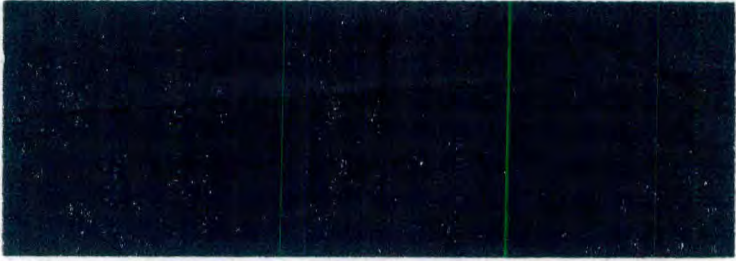
**FOR OFFICE USE ONLY**

LICENCE APPROVED ..... Inspector .....  
Date ..... No 1678

Special conditions .....

SCANNED: 11/03/2013 4:15:05 p.m. BOX: 518 BATCH: 13786 DOC: CCCADDYJ





## CLASSIFICATION OF DANGEROUS GOODS

The goods hereunder named are hereby declared to be dangerous goods within the meaning of the Act, and for the purposes of these regulations shall be divided into five classes as follows:

### Class 2

Gases, being—

- (a) Gases (other than those included under any other paragraph in this Class) when compressed, liquefied, or dissolved under pressure.
- (b) Ethane, ethylene, hydrogen, methane, and any other flammable gas (other than that included under any succeeding paragraph of this Class).
- (c) Acetylene, compressed or dissolved, and contained within a porous substance.
- (d) Liquefied petroleum gas, and any other liquefied flammable gas.
- (e) Chlorine.
- (f) Anhydrous ammonia.
- (g) Liquid oxygen.

### Class 3

Flammable liquids, mixtures of liquids, liquids containing solids in solution or suspension, and nitrocellulose, being—

- (a) Liquids, mixtures of liquids, and liquids containing solids in solution or suspension, which in each case has a flash point lower than 23 degrees Celsius, and nitrocellulose having a nitrogen content of not more than 12.6 percent by weight and wetted, gelatinised, or blended with an industrial solvent or other material approved as to kind and quantity by the Chief Inspector.
- (b) Liquids, mixtures of liquids, and liquids containing solids in solution or suspension, which in each case has a flash point of 61 degrees Celsius or lower, but not lower than 23 degrees Celsius.
- (c) Fuel oil.

### Class 4

Flammable solids, being—

- (a) Calcium carbide.
- (b) Phosphorus (white or yellow)

### Class 5

Oxidising substances, being—

- (a) Chromates and dichromates, chlorates, inorganic peroxides, nitrates, perchlorates, permanganates, and hydrogen peroxide solutions containing more than 8 percent hydrogen peroxide.
- (b) Organic peroxides.

### Class 8

Corrosives, being hydrochloric acid, hydrofluoric acid, nitric acid, sulphuric acid, potassium hydroxide in solution, sodium hydroxide in solution, and aqueous ammonia.

Issued under the authority of the Regulations Act 1936.

Date of notification in **Gazette**: 8 July 1976.

These regulations are administered in the Department of Internal Affairs.

**Licence fees**—The fees to be paid to a licensing authority for licences to store dangerous goods within the district of that licensing authority are as follows:

- (a) For the storage of dangerous goods of Class 2 (d) or Class 3 or both, in accordance with the following table:

| Litres Stored<br>(One gallon equals 4.5 litres)  | Fee<br>\$ |
|--|-----------|
| Not exceeding 2 500                              | 10        |
| Exceeding 2 500 but not exceeding 10 000         | 15        |
| Exceeding 10 000 but not exceeding 50 000        | 25        |
| Exceeding 50 000 but not exceeding 100 000       | 30        |
| Exceeding 100 000 but not exceeding 500 000      | 50        |
| Exceeding 500 000 but not exceeding 1 000 000    | 70        |
| Exceeding 1 000 000 but not exceeding 10 000 000 | 100       |
| Exceeding 10 000 000                             | 150:      |

- (b) For the storage of all classes of dangerous goods other than Class 2 (d) or Class 3, a fee of \$20

- (c) For the storage of dangerous goods of Class 2 (d) or Class 3 together with dangerous goods of any other class, the appropriate fee prescribed by paragraph (a) added to the fee prescribed by paragraph (b).

**In the case of dangerous goods of Class 2 (d), 0.5kg shall be taken as equivalent to 1 Litre for the purpose of determining the licence fee payable.**



Mr. N. WEIR

# CHRISTCHURCH CITY COUNCIL APPLICATION FOR LICENCE TO STORE DANGEROUS GOODS

FOODSTUFFS (CH.CH.) LTD,  
P.O. BOX 842,  
CHRISTCHURCH.

Application for renewal is required by Sec. 12 (1) of the Dangerous Goods Act, 1974, to be lodged not later than 15 March.

STORED AT : 167 MAIN NORTH ROAD.

hereby apply for a Licence to store Dangerous Goods in premises situate

167 MAIN NORTH ROAD CCH.

Christchurch in quantities not exceeding the following:

### Schedule of Classes and Quantities of Dangerous Goods and Number of Pumps and Tanks Authorised in this Licence

| CLASS 3 TOTAL CAPACITIES IN LITRES |                   |                                     |   |                     |              |
|------------------------------------|-------------------|-------------------------------------|---|---------------------|--------------|
| UNDERGROUND TANKS                  | ABOVEGROUND TANKS | CONTAINERS (OVER 60 LITRE CAPACITY) | CONTAINERS (NOT OVER 60 LITRE CAPACITY) | WORKROOM CONTAINERS | MOBILE TANKS |
| 3a                                 | 9092 3 ✓          |                                     |   |                     |              |
| 3b                                 |                   |                                     |   |                     |              |
| 3c                                 | 18184 3 ✓         | 9092 each                           |   |                     |              |
| NUMBER OF STORAGE TANKS            |                   | 3a:                                 | 31                                      | 3b:                 | 3c: 2        |
| NUMBER OF REFUELING PUMPS          |                   | 3a:                                 | 1                                       | 3b:                 | 3c: 1        |

| CLASS 2 TOTAL CAPACITIES |                |                |    |    |    |        |                |
|--------------------------|----------------|----------------|----|----|----|--------|----------------|
|                          | 2a             | 2b             | 2c | 2d | 2e | 2f     | 2g             |
| IN CYLINDERS             | m <sup>3</sup> | m <sup>3</sup> | kg | kg | kg | litres | m <sup>3</sup> |
| IN TANKS                 | m <sup>3</sup> | m <sup>3</sup> | kg | kg | kg | litres | m <sup>3</sup> |

| CLASS 8           |    |                            |    |                             |    |                     |    |
|-------------------|----|----------------------------|----|-----------------------------|----|---------------------|----|
| ABOVEGROUND TANKS |    | DRUMS (NOT OVER 60 LITRES) |    | DRUMS (EXCEEDING 60 LITRES) |    | WORKROOM CONTAINERS |    |
| LITRES            | No | LITRES                     | No | LITRES                      | No | LITRES              | No |
|                   |    |                            |    |                             |    |                     |    |

| CLASS 4 |  |      | CLASS 5 |  |             |
|---------|--|------|---------|--|-------------|
| 4A      |  | k.g. | 5A      |  | k.g.        |
| 4B      |  | k.g. | 5B      |  | k.g./litres |

This application is made subject to the provisions of the Dangerous Goods Act 1974 and the Dangerous Goods Regulations relating to the Storage of Dangerous Goods, and to any special conditions that may be imposed.

If any alteration in circumstances since issue of your last licence please state nature of change:

**FOUR SQUARE HEADQUARTERS**  
P.O. BOX 842, CHRISTCHURCH

ENCLOSED FEE  
\$ 25 : 00

Signed W. Barber Applicant Date 4-4-77

### INSTRUCTIONS

Please complete this Application and return PROMPTLY with the appropriate remittance to: The Chief City Health Inspector, Christchurch City Council, P.O. Box 237, Christchurch, 1.

**PLEASE SEE BACK FOR SCALE OF FEES**

### FOR OFFICE USE ONLY

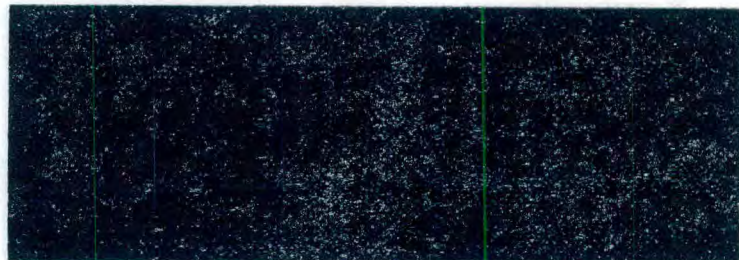
LICENCE APPROVED ..... Inspector

Date ..... No 460

Special conditions .....

SCANNED: 11/03/2013 4:15:05 p.m. BOX: 518 BATCH: 13756 DOC: CCCADDYJ





## CLASSIFICATION OF DANGEROUS GOODS

The goods hereunder named are hereby declared to be dangerous goods within the meaning of the Act, and for the purposes of these regulations shall be divided into five classes as follows:

### Class 2

Gases, being—

- (a) Gases (other than those included under any other paragraph in this Class) when compressed, liquefied, or dissolved under pressure.
- (b) Ethane, ethylene, hydrogen, methane, and any other flammable gas (other than that included under any succeeding paragraph of this Class).
- (c) Acetylene, compressed or dissolved, and contained within a porous substance.
- (d) Liquefied petroleum gas, and any other liquefied flammable gas.
- (e) Chlorine.
- (f) Anhydrous ammonia.
- (g) Liquid oxygen.

### Class 3

Flammable liquids, mixtures of liquids, liquids containing solids in solution or suspension, and nitrocellulose, being—

- (a) Liquids, mixtures of liquids, and liquids containing solids in solution or suspension, which in each case has a flash point lower than 23 degrees Celsius, and nitrocellulose having a nitrogen content of not more than 12.6 percent by weight and wetted, gelatinised, or blended with an industrial solvent or other material approved as to kind and quantity by the Chief Inspector.
- (b) Liquids, mixtures of liquids, and liquids containing solids in solution or suspension, which in each case has a flash point of 61 degrees Celsius or lower, but not lower than 23 degrees Celsius.
- (c) Fuel oil.

### Class 4

Flammable solids, being—

- (a) Calcium carbide.
- (b) Phosphorus (white or yellow)

### Class 5

Oxidising substances, being—

- (a) Chromates and dichromates, chlorates, inorganic peroxides, nitrates, perchlorates, permanganates, and hydrogen peroxide solutions containing more than 8 percent hydrogen peroxide
- (b) Organic peroxides.

### Class 8

Corrosives, being hydrochloric acid, hydrofluoric acid, nitric acid, sulphuric acid, potassium hydroxide in solution, sodium hydroxide in solution, and aqueous ammonia.

Issued under the authority of the Regulations Act 1936.

Date of notification in *Gazette*: 8 July 1976.

These regulations are administered in the Department of Internal Affairs.

**Licence fees**—The fees to be paid to a licensing authority for licences to store dangerous goods within the district of that licensing authority are as follows:

- (a) For the storage of dangerous goods of Class 2 (d) or Class 3 or both, in accordance with the following table:

| Litres Stored |  | Fee<br>\$ |
|---------------|--|-----------|
| Not exceeding | 2 500                                  | 10        |
| Exceeding     | 2 500 but not exceeding 10 000         | 15        |
| Exceeding     | 10 000 but not exceeding 50 000        | 25        |
| Exceeding     | 50 000 but not exceeding 100 000       | 30        |
| Exceeding     | 100 000 but not exceeding 500 000      | 50        |
| Exceeding     | 500 000 but not exceeding 1 000 000    | 70        |
| Exceeding     | 1 000 000 but not exceeding 10 000 000 | 100       |
| Exceeding     | 10 000 000                             | 150:      |

- (b) For the storage of all classes of dangerous goods other than Class 2 (d) or Class 3, a fee of \$20:

- (c) For the storage of dangerous goods of Class 2 (d) or Class 3 together with dangerous goods of any other class, the appropriate fee prescribed by paragraph (a) added to the fee prescribed by paragraph (b)

In the case of dangerous goods of Class 2 (d), 0.5kg shall be taken as equivalent to 1 Litre for the purpose of determining the licence fee payable

15.00





# CHRISTCHURCH CITY COUNCIL

## ENVIRONMENTAL SERVICES UNIT

### FACSIMILE MESSAGE

TO: John Mullins ORGANISATION: Foodstuffs  
 FAX NO: 352 32 62 LOCATION: Main NM Rd  
 SENDER: Lyn Osmeiss DESIGNATION: D.S.J  
 DATE: 14/6/99 NO. OF PAGES (including this page): 4

MESSAGE:

Classifications of Dangerous Goods + minimum  
quantities where storage regulations do not  
apply.

Any queries, give me a call

SIGNATURE: Regards Lyn.

PLEASE ADVISE BY FAX IF ALL PAGES NOT RECEIVED

**Fax No 03-371-1792 or International Fax No +64-3-371-1792** (Environmental Monitoring/Effects, City Plan, Building Information, Planning Administration, Information Support, Subdivisions)  
**Fax No 03-371-1920 or International Fax No +64-3-371-1920** (Building Consents, Field Inspections, Building Support)

Civic Offices • 163-173 Tuam Street • PO Box 237 • Christchurch • New Zealand • Telephone (03) 379-1660

Dangerous Goods Act 1974

(4-11-83) 10-15

100

SCHEDULE

Section 2 "Dangerous goods"

Note: The classes of dangerous goods in this Schedule follow the recommendations of the United Nations Committee of Experts on the Transport of Dangerous Goods.

105

Class 2

Gases, being—

- (a) Gases (other than those included under any other paragraph in this Class) when compressed, liquefied, or dissolved under pressure.
- (b) Ethane, ethylene, hydrogen, methane, and any other flammable gas (other than that included under any succeeding paragraph of this Class).
- (c) Acetylene, compressed or dissolved, and contained within a porous substance.
- (d) Liquefied petroleum gas, and any other liquefied flammable gas.
- (e) Chlorine.
- (f) Anhydrous ammonia.
- (g) Liquid oxygen.

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[Class 3

Flammable liquids, being—

- (a) Liquids, mixtures of liquids, and liquids containing solids in solution or suspension, which in each case has a flash point lower than 23 degrees, and nitrocellulose with, by mass, a nitrogen content not exceeding 12.6 percent wetted with, by mass, not less than 45 percent flammable liquids with a flashpoint less than 23 degrees Celsius:
- (b) Liquids, mixtures of liquids, and liquids containing solids in solution or suspension, which in each case has a flash point of 61 degrees Celsius or lower, but not lower than 23 degrees Celsius, and nitrocellulose with, by mass, a nitrogen content not exceeding 12.6 percent wetted with, by mass, not less than 45 percent flammable liquids with a flashpoint of 61 degrees Celsius or lower but not less than 23 degrees Celsius:
- (c) Fuel oil.

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[Class 4

Flammable solids, being substances liable to spontaneous combustion or substances which, on contact with water, emit flammable gases, and which consist of the following divisions and categories:

Division 4.1—Flammable solids, being solids, other than those classed as explosives, possessing the common property of being easily ignited by external sources.

130

United Nations No.

Class 4.1, Category A

Nitrocellulose with less than 12.6 percent nitrogen with at least 18 percent plasticising substances, in the form of chips, flakes, and blocks

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Class 4.1, Category B

Ammonium picrate containing not less than 33 1/3 percent water  
 Dinitrophenolates wetted with not less than 33 1/3 percent water  
 Dinitrophenols wetted with not less than 15 percent water  
 Dinitrosorcinols wetted with not less than 33 1/3 percent water  
 Monomethylamine nitrate wetted with not less than 20 percent water  
 Nitrocellulose wetted with at least 25 percent water  
 Nitrocellulose wetted with at least 25 percent of alcohol or other flammable liquids  
 Nitroguanidine wetted with not less than 20 percent water  
 Nitrostarch wetted with not less than 20 percent water  
 Photographic or X-ray film or celluloid  
 Picric acid wetted with not less than 30 percent water  
 Sodium picromate wetted with not less than 20 percent water  
 Trinitrobenzene wetted with not less than 30 percent water  
 Trinitrobenzoic acid wetted with not less than 30 percent water  
 Trinitrotoluene wetted with not less than 30 percent water  
 Urea nitrate wetted with not less than 20 percent water

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Class 4.1, Category C

Aluminium powder coated  
 Calcium hydrosulphide  
 Calcium resinate  
 Camphor  
 Cobalt Naphthenates  
 Cobalt resinate  
 Copper Naphthenate  
 Decaborane  
 Hafnium powder  
 Hexamine  
 Magnesium or alloys containing 75 percent magnesium  
 Manganese resinate

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10—16 (4 11 83)

*Dangerous Goods*

SCHEDULE—*continua*

05

*United Nations No.*

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|--|----|----|----|----|----|----|----|----|----|------|
| Matches  | .. | .. | .. | .. | .. | .. | .. | .. | .. | 1944 |
|  |    |    |    |    |    |    |    |    |    | 1331 |
| Mercaptobenzthiazole                                       | .. | .. | .. | .. | .. | .. | .. | .. | .. | 1945 |
| Mercaptobenzthiazole disulphide                            | .. | .. | .. | .. | .. | .. | .. | .. | .. | —    |
| Metalddehyde   | .. | .. | .. | .. | .. | .. | .. | .. | .. | —    |
| Mischmetal   | .. | .. | .. | .. | .. | .. | .. | .. | .. | 1332 |
| Naphthalene  | .. | .. | .. | .. | .. | .. | .. | .. | .. | 1333 |
| Paraformaldehyde   | .. | .. | .. | .. | .. | .. | .. | .. | .. | 1334 |
| Phosphorus red or amorphous                                | .. | .. | .. | .. | .. | .. | .. | .. | .. | 1338 |
| Phosphorus sulphides, free from yellow or white phosphorus | .. | .. | .. | .. | .. | .. | .. | .. | .. | 1339 |
|  |    |    |    |    |    |    |    |    |    | 1340 |
|  |    |    |    |    |    |    |    |    |    | 1341 |
|  |    |    |    |    |    |    |    |    |    | 1343 |
| Rubber Scrap   | .. | .. | .. | .. | .. | .. | .. | .. | .. | —    |
| Silicon powder amorphous*                                  | .. | .. | .. | .. | .. | .. | .. | .. | .. | —    |
| Sulphur* (fine grained)                                    | .. | .. | .. | .. | .. | .. | .. | .. | .. | 1346 |
| Thermit Powder   | .. | .. | .. | .. | .. | .. | .. | .. | .. | 1346 |
|  |    |    |    |    |    |    |    |    |    | 1350 |

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Division 4.2—Substances liable to spontaneous combustion, being solids or liquids possessing the common property of being liable spontaneously to heat and to ignite.

*United Nations No.*

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*Class 4.2, Category A*

Aluminium alkyl halides pure or in solution ..

Aluminium alkyls

Lithium alkyls

Magnesium alkyls

Magnesium diphenyl

Metal alkyls NOS

Pentaborane

Phosphorus white or yellow

Zinc alkyls

Zirconium metal

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*Class 4.2, Category B*

Aluminium powder pyrophoric

Bags empty but unwashed having contained potassium or sodium nitrate

Barium powder pyrophoric

Caesium powder pyrophoric

Calcium powder pyrophoric

Calcium dithionite

Cerium powder pyrophoric

Dimethyl p-nitrosoaniline

Fibres animal or vegetable, cotton or rags, oily or contaminated

Fish meal or scrap

Iron oxide or sponge, spent

Magnesium diamide

Nickel catalyst, finely divided

Potassium dithionite

Potassium sulphide, anhydrous

Silver sulphide

Sulphide ores, ground

Sodium dithionite

Sodium sulphide anhydrous

Strontium powder pyrophoric

Zinc powder pyrophoric

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Dangerous Goods Act 1974

(29/5/87) 10—17 100

SCHEDULE—continued

Division 4.3—Substances which, in contact with water, emit flammable gases, being substances which, by interaction with water, are liable to become spontaneously flammable or to emit flammable gases in dangerous quantities. 105

|  | <i>United Nations No.</i> |     |
|--|---------------------------|-----|
| <i>Class 4.3, Category A</i>   |                           |     |
| Alkali metal amalgams .. .. .  | 1389                      | 110 |
| Alkaline earth metal dispersions NOS   | 1391                      |     |
| Caesium metal .. .. .  | 1392                      |     |
| Calcium hydride .. .. .  | 1407                      |     |
| Calcium phosphide .. .. .  | 1404                      |     |
| Hydrides metal NOS .. .. .   | 1360                      |     |
| Lithium aluminium hydride .. .. .  | 1409                      |     |
| Lithium borohydride .. .. .  | 1410                      | 115 |
| Lithium hydride .. .. .  | 1413                      |     |
| Magnesium aluminium phosphide .. .. .  | 1414                      |     |
| Magnesium hydride .. .. .  | 1419                      |     |
| Magnesium phosphide .. .. .  | 2010                      |     |
| Phosphides NOS .. .. .   | 2012                      |     |
| Potassium borohydride .. .. .  | —                         |     |
| Potassium phosphide .. .. .  | 1870                      | 120 |
| Potassium metallic liquid alloy .. .. .  | 2012                      |     |
| Potassium sodium alloy .. .. .   | 1421                      |     |
| Rubidium metal .. .. .   | 1422                      |     |
|  | 1423                      |     |
| Sodium amalgam, metallic liquid alloy or dispersion in organic solvent .. .. . | 1424                      |     |
|  | 1430                      |     |
| Sodium borohydride .. .. .   | 1429                      |     |
| Sodium hydride .. .. .   | 1426                      | 125 |
| Sodium methylate, dry .. .. .  | 1427                      |     |
| Sodium phosphide .. .. .   | 1431                      |     |
| Strontium alloys .. .. .   | 1432                      |     |
| Titanium hydride .. .. .   | 1434                      |     |
| Trichlorosilane .. .. .  | 1871                      |     |
| Zirconium hydride .. .. .  | 1295                      | 130 |
|  | 1437                      |     |

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|---|------|-----|
| <i>Class 4.3, Category B</i>  |      |     |
| Alkali metal amides .. .. .   | 1390 |     |
|   | 1412 |     |
| Aluminium carbide .. .. .   | 1425 |     |
| Aluminium silicon powder uncoated .. .. .   | 1394 | 135 |
| Aluminium ferrosilicon powder .. .. .   | 1398 |     |
| Aluminium hydride .. .. .   | 1395 |     |
| Barium metal and alloys, non pyrophoric .. .. .                                       | 2463 |     |
|   | 1399 |     |
| Calcium metal and alloys, non pyrophoric .. .. .                                      | 1400 |     |
| Calcium carbide .. .. .   | 1401 |     |
| Calcium cyanamide .. .. .   | 1402 |     |
| Calcium manganese silicon .. .. .   | 1403 | 140 |
| Calcium silicide .. .. .  | 1406 |     |
| Ferrosilicon containing between 30 percent and 70 percent silicon .. .. .             | 1405 |     |
| Lithium metal .. .. .   | 1408 |     |
| Lithium silicon .. .. .   | 1415 |     |
| Magnesium, metal and alloys containing more than 50 percent magnesium, powder .. .. . | 1417 |     |
| Potassium metal .. .. .   | 1418 |     |
| Sodium metal .. .. .  | 1420 | 145 |
| Zinc, powder, dust or ashes, non pyrophoric .. .. .                                   | 1428 |     |
|   | 1435 |     |
|   | 1436 |     |

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|---|------|-----|
| <i>Class 4.3, Category C</i>                |      |     |
| Lithium aluminium hydride, ethereal .. .. . | 1411 | 150 |

[Class 5

- Oxidising substances being,—
- (a) Bromates, chromates and dichromates, chlorates, chlorites, chromium trioxide (anhydrous), hypochlorites (with more than 39 percent available chlorine), inorganic peroxides, nitrates, perborates, perchlorates, permanganates, persulphates, potassium nitrite, sodium nitrite, tetranitromethane, urea hydrogen peroxide, hydrogen peroxide, zirconium picramate wetted with not less than 20 percent water;
  - (b) Organic peroxides.
- 155

Classes 3, 4, 5, and 8 substituted by cl. 2, Dangerous Goods Order 1983, SR 1983/127, Class 8 revoked by cl. 2, Dangerous Goods Order, SR 1987/74. 160



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10—20 (20/1/87)

*Dangerous Goods*

- (d) In quantities not exceeding 250 kg of dangerous goods of Class 2(e);
- (e) In such quantities of dangerous goods of Class 2(f) as may be contained in cylinders having a total water capacity not exceeding 2500 litres;
- (f) In quantities of dangerous goods of Class 2(g), stored otherwise than in bulk, equivalent to not more than 200 m<sup>3</sup> of oxygen measured at a temperature of 15°C and at a pressure of 1 atmosphere;
- \* (g) In the case of dangerous goods of Class 2 when packed in an aerosol and notwithstanding the presence in the aerosol of any other Class of dangerous goods—
- (i) Without limit as to quantity for those aerosols not containing more than 45 percent by weight of flammable content where "flammable content" means any liquid or solid component of the aerosol having a flashpoint of 61°C or less and any flammable gas content;
- (ii) In quantities of total capacity not exceeding 3000 litres for all other aerosols;
- (h) In quantities not exceeding 15 litres in all of dangerous goods of Class 3(a) if the goods are stored for commercial use or industrial use in a securely closed approved container having a capacity of not more than 5 litres;
- (i) In quantities not exceeding 50 litres in all of dangerous goods of Class 3(a) kept for private use, if the goods are stored in securely closed approved containers and the goods are not stored in a dwellinghouse or an outhouse attached to a dwellinghouse: Provided that not more than 5 litres of such goods may be stored in a dwellinghouse or an outhouse attached to a dwellinghouse if each container does not exceed 1 litre capacity and the goods are not kept within 3 m of any fire or heater;
- \* (j) In quantities not exceeding 3000 litres in all of dangerous goods of Class 3(a) or Class 3(b) kept for purposes of sale, if the goods are packed in securely closed approved containers the individual capacity of which does not exceed 5 litres: Provided that not more than 500 litres of the goods so stored shall consist of dangerous goods of Class 3(a);
- (k) In quantities not exceeding 100 litres in all of dangerous goods of Class 3(b) stored for any purpose other than private use in addition to the quantities prescribed in paragraph (j) of this regulation, or not exceeding 250 litres in all of such goods stored for private use if no dangerous goods of Class 3(a) are stored within a distance of 5 m from those dangerous goods of Class 3(b): Provided that this paragraph shall not permit the storage on unlicensed premises of dangerous goods of Class 3(b) in any container having a capacity of more than 25 litres and forming part of an installation adapted for the burning of such dangerous goods;
- (l) In quantities not exceeding 2000 litres in all of dangerous goods of Class 3(a) or Class 3(b) if the goods are stored otherwise than in bulk on the site of and for use in connection with road construction or maintenance work or land development schemes and are isolated by a distance of not less than 20 m from any protected work;
- (m) In quantities not exceeding 400 litres in all of dangerous goods of Class 3(a) or Class 3(b) if the goods are stored otherwise than in bulk on the site of and for use in connection with work on building projects and are isolated by a distance of not less than 20 m from any protected work (including buildings under construction);
- (n) In the case of dangerous goods of Class 3(c), if the following conditions are observed:
- (i) That the goods are stored in bulk in an approved tank having a capacity not exceeding 5000 litres; and
- (ii) That the tank is not connected to an installation intended to use those dangerous goods as fuel; and
- (iii) That in the case of an above-ground tank, the tank and its fittings are located within a compound at a distance of not less than 20 m from any protected work or 6 m from any other dangerous goods stored above ground; and
- (iv) That in the case of an underground tank, the tank and its fill point are not located under any building and that any attached dispensing pump is not located within a protected work;
- (o) Without limit as to quantity in respect of the storing of dangerous goods of Class 3(c) if the following conditions are observed:
- (i) That the goods are stored otherwise than in bulk; and
- (ii) That no other dangerous goods of any class are stored above ground by any person within 8 m of such dangerous goods of Class 3(c); and
- (iii) That the goods are stored either in the open at a safe distance from all buildings or are stored in a detached building approved for the purpose; and
- (iv) That the goods are not stored in a container which forms part of, or is attached to, an installation that uses those goods as fuel;
- (p) In the case of dangerous goods of Class 3(c), if they are stored (other than for domestic use) in any tank or similar container having a capacity not exceeding 25 litres which forms part of or is attached to a fuel oil burner installation;
- (q) In the case of dangerous goods of Class 3(b) having a flash point of not less than 50°C or of dangerous goods of Class 3(c) where the goods are kept as fuel for a domestic oil-burning installation if the goods are stored in one or more tanks of a total capacity not exceeding 1200 litres;
- (r) In the case of dangerous goods of Class 3(c), if they are stored in any tank or similar container having a capacity not exceeding 500 litres which forms part of, or is attached to, a permanently stationary internal combustion engine;
- (s) Without limit as to quantity of any dangerous goods of Class 3(a) when used as a solvent for acetylene gas;
- (t) In quantities not exceeding 50 litres in all of dangerous goods of Class 3(a) or Class 3(b) while contained in the fuel tank of a permanently stationary internal combustion engine: Provided that nothing in this paragraph shall authorise the storage of a quantity of dangerous goods of Class 3(a) in contradiction to the limitation specified in section 26(2) of the Act;



**TO:** CHRIS FREEAR  
SOUTHPOWER LTD  
**FAX** 1 363 9836

---

**FROM:** Rob Milner  
**FAX** **PHONE:** 03 3711 489

**DATE:** Thursday, July 22, 1999 8:57:44 AM

---

**NOTES:**

Good morning Chris,  
I confirm receipt of your fax advice regarding the proposed lpg storage at Foodstuffs Ltd--Main North Rd.  
I will need to inspect the area to check distances--2 metres required from openings--windows--drains.  
I will try to do this today.  
This company have a dangerous goods licence and the lpg storage will be an add on to the existing storage on site.

Regards,  
Rob.

**FILE COPY**



171 MAIN NORTH ROAD

ATTN Rob

KEEP



FUTURE DEPOT

AEROSOLS DEPOT

TYPE D DOOR (FOR CLASS 2 GASES)

HURFEE DOOR

FINISH PRODUCTS

DESPATCH

OPTIONAL KITCHEN

NEW TRANSFORMER

LANDSCAPE SCREENING

LIFT PLATFORM

CONTROL (JEFF)

SHUFFLE SUB DOOR

CLEAR FLEX DOOR

PLATFORM

CLEAR FLEX DOOR

SHUFFLE SUB DOOR

4 x 20 FT 5.0 ft clear

N6 LINES

TFORM



# CANTERBURY REGIONAL COUNCIL

58 Kilmore Street, P.O. Box 345, Christchurch  
Telephone (03) 365-3828, Fax (03) 365-3194

Christchurch City Council  
PO Box 237  
Christchurch

- |   |  |
|---|--|
| <input type="checkbox"/> Returned with thanks           | <input type="checkbox"/> As requested    |
| <input type="checkbox"/> For your information           | <input type="checkbox"/> For approval    |
| <input type="checkbox"/> Signed as requested            | <input type="checkbox"/> For signature   |
| <input type="checkbox"/> In accordance with your letter | <input type="checkbox"/> Please complete |
| <input type="checkbox"/> Requesting your comments       | <input type="checkbox"/> Please reply    |

Attention: Rob Miller  
Dangers Goods

**COPY FOR YOUR INFORMATION**

|                           |  |
|---------------------------|--|
| <p>DATE:</p> <p>20.97</p> | <p>SIGNATURE:</p> <p>J. Hand</p> <p>DESIGNATION:</p> |
|---------------------------|--|





## CANTERBURY REGIONAL COUNCIL

58 Kilmore Street  
P O Box 345  
Christchurch

Telephone (03) 365 3828  
Fax (03) 365 3194

Our Ref: CO6C-13449  
Contact: Customer Services

02 October 1997

**COPY FOR YOUR  
INFORMATION**

Mobil Oil New Zealand Limited  
P O Box 19650  
Woolston  
**CHRISTCHURCH**

Attention Of: Michael Scott

Dear Mr Scott

### **RESOURCE MANAGEMENT ACT 1991 NOTICE OF DECISION: RESOURCE CONSENT NO. CRC980343**

The decision of the Council is to grant your application on the terms and conditions specified in the attached resource consent document. The reasons for the decision are:

- 1) No significant adverse effects on the environment are anticipated.

The full text of the Council's decision is available for public inspection at the Council's office at 58 Kilmore Street, Christchurch.

If you do not agree with the Council's decision, you may object to the whole or any part of the decision, to the Council's Principal Hearings Committee. Notice of any objection must be in writing and lodged with the Council within 15 working days of receipt of this decision.

Alternatively you may appeal to the Environment Court, P O Box 5027, Lambton Quay, Wellington. The notice of appeal must be lodged with the Court within 15 working days of receipt of this decision, with a copy forwarded to the Canterbury Regional Council within the same period. If you are in any doubt about the correct procedures, you should seek legal advice.

The commencement date for your resource consent is the date of this letter advising you of the Council's decision, unless you lodge an objection or appeal against the decision. The commencement date will then be the date on which the decision on the objection or appeal is determined.

An invoice will be sent to you shortly if there are any additional costs over and above the initial deposit paid with your application.

#### **Monitoring**

The Council monitors all consents to ensure compliance with conditions. The costs incurred in carrying out this monitoring is charged to the consent holder. Enclosed for your information is a booklet setting out some information about compliance monitoring along with a number of questions and answers often-asked about the Council's compliance monitoring activities.



**Lapsing of Consent**

Resource consents are granted to authorise an activity until the expiry date specified on the consent. However, a consent will lapse two years after the date of commencement (or such other period as expressly provided for in the consent), unless the consent has been given effect to or an application is made to the Council to extend this period.

**Transfer of Consent**

Resource Consents are granted to a person to carry out an activity and, with the exception of certain types of land use consents, are **not** tied to the land to which the activity relates. If the land is sold and the new owners wish to continue to carry out the activity, the consent will need to be transferred. The Council has forms to ensure the correct information is provided to enable the transfer to take place without undue delay.

**Surrender of Consent**

A consent holder may surrender all or part of a consent by giving written notice to the Council. However, the Council may refuse to accept the surrender in some circumstances, for example, where the conditions of the consent have not been fully complied with. If you have a current resource consent which is replaced by a new consent, then you may surrender the original consent so that you do not incur any additional monitoring/administration charges.

**Other Legal Requirements**

This resource consent is granted under the provisions of the Resource Management Act 1991. Compliance with this Act does not remove the need to comply with all other applicable Acts, regulations, bylaws or rules of law. It is the consent holder's responsibility to check whether any other consents or permits are required prior to commencing the activity.

Some examples of other consents include:

- Approval from the landowner for access to a site; for riverbeds the landowner is not necessarily the Crown and may include the Department of Conservation, private land owners, or adjoining landowners who may have rights over the riverbed;
- for high country burning, you may also need to obtain permission from the Rural Fire Authority, the Commissioner of Lands, or the Department of Conservation;
- for large structures, e.g., dams/bridges, you may need consent under the Building Act which is administered by the local territorial authority; and
- in some cases you may also require consent under the Transitional and/or the Proposed District Plan of the local territorial authority, particularly for land use activities.

If you have any doubts you should seek professional advice.

Yours sincerely



S J King

**CONSENTS ADMINISTRATION OFFICER**

on behalf of the Canterbury Regional Council

Encl.





**COPY FOR YOUR  
INFORMATION**

## RESOURCE CONSENT

*Pursuant to Section 105 of the Resource Management Act 1991*  
The Canterbury Regional Council

**GRANTS TO:** MOBIL OIL NEW ZEALAND LIMITED

**A LAND USE CONSENT** to place onto land a structure for storing, transferring and using diesel oil, at or about map reference M35:7882-4666.

**DATE GRANTED** 01-OCT-1997 **EXPIRY DATE** 01-OCT-2017

**IN CONNECTION WITH THE FOLLOWING PROPERTY:**

**LOCATION** 165-169 MAIN NORTH ROAD, PAPANUI

**LEGAL DESCRIPTION** LOT 1 DP 70348

**SUBJECT TO THE FOLLOWING CONDITIONS:**

- 1) The volume of the diesel fuel storage tank shall not exceed 5,000 litres.
- 2) The containment system surrounding the storage tank shall have an available capacity of at least 5,000 litres.
- 3) The containment system surrounding the storage tank shall be impermeable to prevent diesel leakage.
- 4) The pipeline system shall include:
  - (a) corrosion protection;
  - (b) an emergency shutdown system; and
  - (c) a spill containment shut-off mechanism on the fill point,

in accordance with the details supplied in the application dated 1 September 1997 for this consent.

- 5) A "Storage Tank Installation Certificate" shall be signed by the person responsible for designing the fuel storage facility, or a competent person, and be provided to the Canterbury Regional Council, to certify that the fuel storage facility is installed and constructed in accordance with conditions 1 to 4 of this consent. This certificate shall be provided to the Canterbury Regional Council within a month of the installation.
- 6) The Canterbury Regional Council may annually, on the last working day of September, serve notice of its intention to review the conditions of this consent for the purposes of:
  - (a) dealing with any adverse effect on the environment which may arise from the exercise of the consent and which is appropriate to deal with at a later stage; or



- (b) complying with the requirements of a relevant rule in an operative regional plan.
- 7) Charges, set in accordance with section 36 of the Resource Management Act 1991, shall be paid to the Regional Council for the carrying out of its functions in relation to the administration, monitoring and supervision of resource consents and for the carrying out of its functions under section 35 of the Act.

**ISSUED AT CHRISTCHURCH ON 02 OCTOBER 1997**

A handwritten signature in black ink, appearing to read 'S J King', written over a circular stamp.

S J King  
**CONSENTS ADMINISTRATION OFFICER**  
on behalf of the Canterbury Regional Council



CHCH CITY COUNCIL

HAZARDOUS SUBSTANCES INSPECTION REPORT

PREMISES FOODSTUFFS (S.I) LTD ADDRESS 167 MAIN NORTH ROAD

INSPECTION PURPOSE

|                   |                                     |
|-------------------|-------------------------------------|
| ANNUAL            | <input checked="" type="checkbox"/> |
| REINSPECTION      | <input type="checkbox"/>            |
| NEW               | <input type="checkbox"/>            |
| COMPLAINT / OTHER | <input type="checkbox"/>            |

REQUISITION TO BE ISSUED

|                       |                                     |    |                                     |
|-----------------------|-------------------------------------|----|-------------------------------------|
| YES                   | <input checked="" type="checkbox"/> | NO | <input type="checkbox"/>            |
| COMPLIANCE & APPROVAL |                                     |    |                                     |
| YES                   | <input type="checkbox"/>            | NO | <input checked="" type="checkbox"/> |

TYPE OF PREMISES

WHOLESALE GROCERY WAREHOUSE

CLASSES STORED

5.6.97

INSPECTION COMMENTS

|               |  |  |
|---------------|--|--|
| 1             |  | Inspected. Requirements in my letter of 17.4.96 AND 7.1.97 have not been completed. This has been due to negotiations by the company re purchasing the neighbouring property, formerly Helene Curtis Ltd. Mr Mullens, Wholesale Operations Manager, assures me that now things are settled these matters will be actioned and I have extended the time to July 31 1997. 5-8-97. Re-inspected. New galv. steel LPG cage installed for forklift cylinders against union bustible wall of warehouse - warning notice. OK. Carpenter's store still to get metal cabinet for flammable liquids: 1" dia meths etc. Also a 40KG of HTH SAJIN CAPSULES WITH WARNING NOTICE checked boiler - blowal. Has guardian heat sensor, manual valve, flexible hose termination. FX is OK (8/96) |
| 2a            |  |  |
| 2b            |  |  |
| 2c            |  |  |
| 2d            |  |  |
| 2e            |  |  |
| 2f            |  |  |
| 2g            |  |  |
| 3.1           |  |  |
| 3.2           |  |  |
| 3.3           |  |  |
| 4.1 cat a b c |  |  |
| 4.2 cat a b c |  |  |
| 4.3 cat a b c |  |  |
| 5.1           |  |  |
| 5.2           |  |  |
| 6             |  |  |
| 7             |  |  |
| 8             |  |  |
| 9             |  |  |

REINSPECTION YES  NO  DATA ENTRY CHANGE  NOTIFIED CHANGE

INSPECTING OFFICER: \_\_\_\_\_

DATE / /





# CHRISTCHURCH CITY COUNCIL

## ENVIRONMENTAL SERVICES UNIT

### TELEFAX MESSAGE:

TO: MR. M. SCOTT  
FAX NO: 3897546

Organisation: MOBIL OIL (NZ) LTD  
Location: CHRISTCHURCH

FROM DON CAWTHORN  
Date: 11-8-97

Designation: D. G. INSPECTOR  
No. of Pages (including this page): ONE

= DANGEROUS GOODS ACT 1974 **MESSAGE** AND REGULATIONS =

This facsimile message contains information that is confidential and which may be subject to privilege. If you are not the intended recipient, you must not disclose, distribute or copy this message. If you have received this message in error, please notify us immediately by facsimile or telephone (call us collect) and return the original message to us by mail. Thank you.

HELLO MIKE,

THANK YOU FOR INFO. ON PROPOSED 5000 LITRE A/G ADD TANK  
AT FOODSTUFFS LTD, MAIN NORTH ROAD.

APPROVAL FOR THIS INSTALLATION IS GRANTED SUBJECT TO :

- 1) FULL COMPLIANCE WITH THE ABOVE LEGISLATION, OBTAINING A CANTY REGIONAL COUNCIL RESOURCE CONSENT AND A COUNCIL BUILDING CONSENT, IF REQUIRED.
- 2) CHAMBER AND TANK TEST ON SITE.
- 3) MANUFACTURERS PLATE ON TANK WITH FULL DETAILS.
- 4) FULL COMPLIANCE WITH C.C.T.'S SPECIFICATIONS.
- 5) IDENTIFICATION OF TANK CONTENTS.
- 6) APPROVED PIPEWORK (NOT GALVANISED STEEL)

REGARDS

SIGNATURE: \_\_\_\_\_

PLEASE ADVISE BY FAX IF ALL PAGES NOT RECEIVED • FAX NO (03) 371-1792  
Civic Offices • 163-173 Tuam Street • PO Box 237 • Christchurch • New Zealand • Telephone (03) 3791660.

# MESSAGE CONFIRMATION

DATE: 11/08/97 TIME: 15:26

ID: C. C. C. ENVIRON.

|      | TIME  | TX-TIME | DISTANT STATION ID | MODE | PAGES | RESULT |
|------|-------|---------|--------------------|------|-------|--------|
| 1 09 | 15:25 | 00'38"  | 64 3 3897546       | G3-S | 001   | OK     |



# Mobil Oil New Zealand Limited



8 August 1997

Rob Milner,  
Senior Dangerous Goods Inspector  
Christchurch City Council  
P.O. Box 237  
CHRISTCHURCH 1

025 929 954  
FAX 389 7546

Dear Sir

**FOODSTUFFS, CHRISTCHURCH:                      ADO BOILER TANK**

Please find attached a plan and specification for the installation of a 5,000 L above ground containerised tank at Foodstuffs, Main North Road, Christchurch, for your approval.

This installation will provide ADO for the boiler and will replace the existing underground tank, which will be removed under a separate contract.

Construction will commence following your approval.

Please advise me of any other consents you believe are required, and any appropriate fees. I am grateful for your quick response.

Please contact me if you have any queries on (025) 929 954 or fax (03) 389 7546.

Yours sincerely,

Mike Scott,  
Construction Engineer

Attach





**GEC  
AVERY**

**HEAD OFFICE:**

21-23 Pretoria Street, PO Box 30642  
Lower Hutt, New Zealand  
Tel: (04) 570-0855 Fax: (04) 569-8822

**GEC AVERY (NZ) LIMITED**

**Mobil Oil New Zealand Ltd  
P O Box 19650  
Christchurch**

**Attn: Mike Scott**

Dear Mike

**Foodstuffs, Christchurch**

Thank you for inviting GEC Avery to price this contract for Mobil.

We have pleasure in submitting our prices using the Concrete Containerised Tanks (CCT) as per the attached schedule. Please note that we have not allowed for the removal or reinstatement of the existing tankage, nor for syphon prevention or isolating systems in this particular case.

We are unable to fit a compound drain as indicated because this would negate our fire rating. Also as the vault is totally enclosed, this drain should not be necessary.

The tank fabricator is Fabrication and Welding Services Ltd, and their approvals from OSH are enclosed.

Lead time on the Concrete Containerised Tanks is generally 2 weeks, depending on orders received, and on site construction time for this project would be 6 days.

Trusting this meets with your approval.  
Yours faithfully

Paul Smith





DEPARTMENT OF  
**LABOUR**  
TE TARI MAHI

Christchurch North Branch  
Carter House, 81 Lichfield Street  
PO Box 22-165  
CHRISTCHURCH

Telephone (03) 365 2600  
Facsimile (03) 365 2616

TE RATONGA ORANGA

16 October 1996

The Manager  
Fabrication and Welding Services  
PO Box 37 094  
CHRISTCHURCH

○ ATTENTION: CHRIS GIDDENS

Dear Sir

**RE: CONCRETE CONTAINERISED TANKS**

I acknowledge receipt of CCT Ltd's specification and producer design statement of 4 October 1996, for fire resistant concrete compounds and covers for Class 3C (fuel oil) tanks.

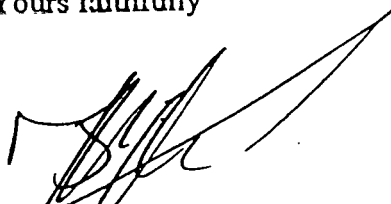
It is accepted that the type of containment proposed meets the requirements of the Dangerous Goods (Class 3 - Flammable Liquids) Regulations 1985, specifically Regulations 2, 61, 63 and 102 subject to compliance with the general provisions of those Regulations.

Storage tanks within these structures shall comply with Regulation 60 and have been approved and allocated a Department of Labour Dangerous Goods number.

○ Tank manufacturers plate shall be affixed to the tank and the outer compound wall. Sealant and jointing compounds used in the compound to be resistant to action of fuel stored. This will need to be verified.

Each installation will be subject to the approval of the Local Licencing Authority.

Yours faithfully

  
T.W. McQuoid  
for Chief Inspector





DEPARTMENT OF  
**LABOUR**  
TE TARI MAHI

Christchurch North Branch  
Carter House, 81 Lichfield Street  
PO Box 22-165  
CHRISTCHURCH

Telephone (03) 365 2600  
Facsimile (03) 365 2616

14 February 1996

TE RATONGA ORANGA

Mr Chris Giddens  
Fabrication and Welding  
PO Box 37 094  
Halswell  
CHRISTCHURCH

Dear Sir

RE: FABRICATION AND WELDING SERVICES, CLASS 3C (DIESEL) ABOVE  
GROUND FLAMMABLE LIQUIDS TANKS

With reference to your application for approval to fabricate 15000, 10000 and 5000 litre Class 3C (Diesel) above ground tanks, I advise that pursuant to Section 28 of the Dangerous Goods Act 1974 approval is granted to Christchurch construct the above mentioned tanks as detailed in fabrication and welding services drawing number's 861 and 862.

This approval is subject to the following conditions being adhered to:

- A 1 The tank shall be fitted with a manufacturers plate on which is also to be stamped the letters - D/G approval no: CHCH001.
- 2 Any alteration to the material or configuration of the container will require reapproval.
- 3 This approval may be withdrawn at any time if the above containers fail in service or develop faults.
- 4 This approval remains valid for a period not exceeding five years period after which reapproval must be applied for.
- 5 Welders must be qualified to at least NZS4711.

**B INSTALLATION REQUIREMENTS**

- 1 Installer to be certified competent as to install tanks.
- 2 This method of containment is limited to isolated transport yards, construction sites and mining areas.
- 3 Regional Council and Local Authority approvals/licenses to be obtained for each site.

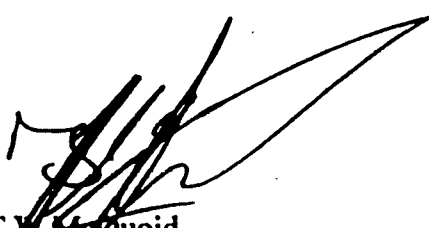
- 4 Leak testing of both primary and secondary tanks to be tested on site.
- 5 Labelling of tank to be inaccord with the Dangerous Goods Labelling Regulations 1978.
- 6 Pumping equipment installed within 6m of the tank to be either flame proof or the tank shell/wall shall be fire rated.
- 7 Tank foundations design to be inaccord with seismic and wind loading design NZS4203 and API 650 Appendix B or as approved by an inspector.

**C PRECOMMISSIONING CERTIFICATION REQUIRED:**

- Registered Engineers Certification on tank construction
- Structural engineers report on foundations
- Leak Test Certification on primary and secondary tank
- Certification of personnel trained in all aspects of the equipment including hazards and emergency procedures.

All other requirements of the Dangerous Goods Class 3 Flammable Liquids Regulation 1985 to be adhered to.

Yours faithfully



T W McQuoid  
for Chief Inspector

## SPECIFICATION

for

the materials and construction methods employed in the fabrication of:

### Fire Resistant Concrete Compounds and Covers for Fuel Tanks

manufactured and installed under the supervision of

### Concrete Containerised Tanks (CCT) Ltd.

#### ENGINEER:

Mike D. Herlihy  
Structural & Civil Consulting Engineer  
28 Coronation Street  
Christchurch 8002

ph: 03 338 4046 or 03 343 2280  
fax: 03 338 2619

#### 1. GENERAL

##### 1.1 Compliances

The General Conditions of Contract shall be the Conditions of Contract for Building and Civil Engineering Construction, NZS 3910:1987 plus addendum NZMP 3914:1994.

All design work shall be undertaken in accordance with the standards set out in the New Zealand Building Code, and the ordering of work shall satisfy the requirements of the Dangerous Goods (Class 3 - Flammable Liquids) Regulations, 1985.

All materials and workmanship shall comply with the New Zealand Building Code.

Unless specifically arranged with the Principal, CCT Ltd shall not undertake to obtain building consents and dangerous goods approvals nor bear the cost of fees or charges imposed by the relevant issuing authorities in relation to consents and approvals.

Where the Principal has not engaged CCT Ltd to obtain consents and approvals, the Principal shall forward a copy of the consent documents to CCT Ltd prior to the commencement of work

##### 1.2 Pricing

All installations shall be quoted on a lump sum basis, with due consideration given to the extent of work undertaken, site conditions, location, transportation and craneage.



### 1.3 Fire Resistance Ratings (FRR)

The design of precast concrete compounds and covers has been based on achieving minimum structural endurance ratings (S ratings) as required for buildings that are situated close to a relevant boundary (BIA) or protected works (Dangerous Goods Regulations). Endurance is taken to mean the ability of the wall or wall joint detail to withstand the three temperature endpoint criteria of structural stability/integrity/insulation. In accordance with ASTM E-119, the temperature increase on the unexposed side of the screening wall shall not exceed 250° F (120°C) under the stated time of exposure.

The fire resistance ratings (in minutes) have been adopted as follows:

|                        |             |
|------------------------|-------------|
| <u>Compound (Bund)</u> | 240/240/240 |
| <u>Covers</u>          | 120/120/120 |

The verification methods for achieving the stated FRRs is (a) wall thickness in accordance with section 6 of NZS 3101:1995 and (b) Sika Firerate, an intumescent flexible sealant tested by BRANZ and issued with Fire Test Certificate No. 18.

### 1.4 Site Preparation

Generally, the surcharge due to concrete contained tanks will not warrant special design considerations when typical soil foundations are employed. However, where these systems are supported on substructures (e.g., wharfs) the effects of superimposed weight must be fully considered. It is assumed that the Principals Engineer will have examined the various aspects of site conditions, foundations and substructures as may affect or be affected by the construction of concrete compounds and tank covers.

Upon consultation with the Principals Engineer, CCT Ltd shall specify the design, setting out and preparation of levelling courses for the support of precast concrete elements.

A simple and economic levelling course consists of a minimum 10mm thick screeded blinding layer of moistened uniform sand. A levelling course of this type shall form the basis for collating lump sum prices as set out in section 1.2, which is qualified by the following paragraph:

Should an alternative levelling course be considered appropriate for a particular installation (e.g., cavity grouting), the method shall constitute a variation to construction and may result in adjustments to prime costs for installation. Variations of this kind shall be approved by agreement between CCT Ltd and the Principal, and claims shall be supported by evidence of cost if so requested by the Principal.

### 1.4 Leakage Tests

The compound structure shall be hydrostatically tested for leakage, and any necessary repairs shall be effected before the fuel storage tank is placed. The testing procedure is as follows:

- Filling of the compound may commence once the joint bandage concrete has achieved a crushing strength of 10 MPa.
- Fill the compound to within 25mm of overflowing and measure the water depth at a selected location.
- Observe for signs of leakage, and after one hour has elapsed take the second depth reading at the same location as the first. Any discrepancies in water level shall be reported to the Engineer for assessment.
- Test water shall be removed by a submersible pump, followed by mopping to achieve a dry compound floor. The pump discharge shall be directed into a stormwater drain or similar sensible means of disposal.

### **1.5 Completion of Work**

The work undertaken by CCT Ltd shall be deemed complete when all scheduled items have been supplied and placed, leakage test requirements satisfied, the site is left tidy and the relevant producer statements are issued.

### **1.6 Producer Statements**

CCT Ltd shall issue producer statements as required for consent purposes, covering the design, construction and construction review of installations. Separate or additional documentation shall be forwarded to the controlling Dangerous Goods Inspector if requested.



## 2. FOUNDATIONS

### 2.1 General

This section shall be read in conjunction with all other sections of this specification.

### 2.2 Scope

- The suitability of foundations or substructures
- Selection of levelling courses
- Preparation of foundations and levelling courses

### 2.3 Related Documents

|                               |       |
|-------------------------------|-------|
| The New Zealand Building Code | (BIA) |
| NZS 4203:1992 Loadings Code   | (SNZ) |

### 2.4 Foundation or Substructure Suitability

Unless specifically arranged, CCT Ltd shall not ascertain the suitability of foundations or substructures for the support or resistance of loads and forces pertaining to tank cover installations. Any necessary adjustments, improvements or reconstructions to supporting elements shall be carried out to the satisfaction of the Principals Engineer.

### 2.5 Selected Levelling Course

Unless approved otherwise, a levelling course shall be provided for all installations involving precast concrete compounds.

In consultation with the Principals Engineer, CCT Ltd shall establish a suitable levelling course for each installation prior to the manufacture of respective precast concrete units. This bedding layer shall be obtained level and be of a compressive strength and stiffness that is jointly acceptable to CCT Ltd and the Principals Engineer.

### 2.6 Screeded Levelling Courses

A gradual height variation in surface plane of not more than 3mm from a 3m straight edge is obtainable for screeded profiles (ref. NZS3114:1987, sect. 304.1). This shall be adopted as the accepted standard for screeded levelling courses.

The levelling course shall be prepared to the accepted standard prior to the arrival of precast elements on site, and maintained at this standard until placing of the precast elements has commenced.

Once the precast structure has been installed, CCT Ltd shall ensure that the levelling course is protected from breakdown or migration due to desiccation, scouring etc. This shall be achieved by application of a sealing strip comprised of either concrete or an approved mortar.



## 2.7 Grouted Levelling Courses

All necessary shim packing shall be levelled and secured in place prior to the arrival of precast elements on site.

A minimum of 5mm clearance shall be provided between the foundation surface and the underside of precast elements.

All grouting materials and workmanship shall be in accordance with section 4 of this specification.

### 3. REINFORCING STEEL

#### 3.1 General

This section shall be read in conjunction with all other sections of this specification.

#### 3.2 Related Documents

|  |       |
|--|-------|
| The New Zealand Building Code                              | (BIA) |
| NZS 3109:1987 Specification for Concrete Construction      | (SNZ) |
| NZS 3402:1989 Steel Bars for the Reinforcement of Concrete | (SNZ) |

#### 3.3 Supply

Only reinforcing steel manufactured by Pacific Steel Ltd shall be used unless an alternative source is approved by the Engineer.

#### 3.4 Cutting and Bending

All reinforcing shall be delivered to the precasting yard on the basis of supplied, cut and bent. Bending of reinforcing on site will only be permitted if carried out on equipment that is approved by the Engineer.

#### 3.5 Fabrication and Handling

Reinforcing that is prefabricated into mats or cages shall be braced and lifted at sufficient points to avoid excessive racking and loosening of tie wire during handling.

## 4. CONCRETE CONSTRUCTION

### 4.1 General

This section shall be read in conjunction with all other sections of this specification.

### 4.2 Scope

- The manufacture of precast concrete elements
- Site mixed concrete for construction joints and insitu strips
- Grouted levelling courses
- High strength cementitious grouts for construction joints
- Handling and transportation of precast elements
- Erection of precast elements

### 4.3 Related Documents

|                               |  |       |
|-------------------------------|--|-------|
| The New Zealand Building Code |  | (BIA) |
| NZS 3101:1995                 | Concrete Structures Standard (Parts 1&2)                               | (SNZ) |
| NZS 3104:1991                 | Specification for Concrete Production-<br>High Grade and Special Grade | (SNZ) |
| NZS 3105:1986                 | Specification for Concrete Mixers (Batch)                              | (SNZ) |
| NZS 3108:1983                 | Specification for Concrete Production-<br>Ordinary Grade               | (SNZ) |
| NZS 3109:1987                 | Specification for Concrete Construction                                | (SNZ) |
| NZS 3112:1986                 | Methods of Test for Concrete   | (SNZ) |
| NZS 3114:1987                 | Specification for concrete surface finishes                            | (SNZ) |
| NZS 3121:1986                 | Specification for Water and Aggregate for<br>Concrete                  | (SNZ) |

### 4.4 Materials and Workmanship

All materials and workmanship shall be in accordance with NZS 3109:1987 unless instructed otherwise by the Engineer.

### 4.5 Concrete Strengths and Special Requirements

#### Precast Elements

- 30 MPa, 13mm aggregate, 80mm nominal slump, Special Grade.
- Superplasticiser (Sikament 1000N or similar approved) shall be added in the precasting yard and thoroughly mixed in by fast bowl rotation for a minimum of three minutes. The target slump shall be to the discretion of the production supervisor, but not less than 150mm.
- *Addition of water to delivered concrete is forbidden!*

#### Construction Joints

- 25 MPa, 13mm aggregate, 180mm slump, High Grade.
- Trial mixes shall be undertaken using bagged premix concrete (Firth Dricon or similar approved), superplasticiser and additional OPC as required to achieve an optimum of strength and density. The resulting approved mix design shall form the basic mix design for this application.



#### Site Concrete

- 20 MPa, 13mm aggregate, 90mm nominal slump, Ordinary Grade.
- Use only bagged premix concrete (Firth Dricon or similar approved).

#### Mortar

- 12.5 MPa, workability as required for application.
- Use only bagged mortar products (Firth Dricon or similar approved)

#### Water/Cement Grout

- 15 MPa, water+OPC+additives, flow time typically less than 18 sec.
- Unless stated otherwise, grout shall consist of neat OPC plus water plus quantities of plasticising and shrinkage compensating additives as designated by the Engineer. The water/cement ratio shall not exceed 0.5 by weight, and additives shall be used in strict accordance with the manufacturers instructions.
- Grouting shall be undertaken by an experienced applicator, or under the supervision of the Engineers representative on site.
- Grout may be injected under gravity head if deemed satisfactory by the Engineer.

#### High Strength Cementitious Grout

- 60 MPa, water+bagged product, pourable to manufacturers specifications.
- Use shrinkage compensating cementitious grout (SikagROUT 212 or similar approved) plus mixing water in strict accordance with the manufacturers instructions.
- Aggregate fillers are not permitted unless approved by the Engineer.

### **4.6 Formwork**

Formwork to external surfaces shall be of a standard to achieve the best possible fair face finish.

### **4.7 Concrete Surface Finishes**

#### Precast Elements

- F6 to external surfaces.
- F4 to internal surfaces.
- F3E to construction joints; surface retarding agent (Rugasol MH or similar approved) applied to formwork and surface waterblasted shortly after stripping. Retarder shall not be applied closer than 20mm to formwork intended for an external (F6) surface.

#### Construction Joints and Patching

- U2 to internal horizontal surfaces; wooden float or similar.
- U3 to external surfaces; steel trowel or special tool.
- F3 to internal vertical surfaces.

## 4.8 Cast-in Items

### Precast Elements

- All proprietary cast-in items for the purpose of boited connections shall be of an approved type and be installed in accordance with the manufacturers instructions.
- Shop fabricated steel items shall comply with the materials and workmanship requirements of section 5 of this specification.
- A bead of silicon sealant (Silaflex or similar approved) shall be applied to bridge visible gaps between cast-in items and moulding.

### Site Work

- The water-bar shall be Hydrotite type RSS1209 (or similar approved) pushed snug into panel joints as detailed on the drawings.

## 4.9 Placing and Compaction

Concrete to the precast elements must be compacted using high frequency form vibrators rated at a minimum 3000 Hz. Internal poker vibrators may be used in conjunction with form vibrators to achieve ideal compaction, but care must be taken that these do not contact with external formwork. The number and position of form vibrators shall be established by consultation between CCT Ltd and the precasting subcontractor.

Concrete to the compound wall construction joints shall be placed in rises not exceeding 300mm deep and rodded to remove entrapped air and consolidate. Providing that care is taken to fully secure formwork, internal poker vibrators with a head diameter not greater than 25mm may also be used for this application.

Concrete to the horizontal compound construction joints shall be placed in at least three uniform layers, with each layer fully tamped to remove entrapped air and consolidate.

## 4.10 Curing

### Precast Elements

- Accelerated curing shall be carried out by the application of heat in accordance with NZS 3109: 1987.
- Steam shall not be directed onto any steel moulding surface or exposed concrete surfaces.
- Only steel may be used as supports to insulating covers, timber is not permitted in the vicinity of this product until the curing process has been completed.

### Site Concrete

- Spray surfaces with curing compound (Antisol or similar approved) immediately after surfaces are finished. Use curing compound in accordance with the manufacturers instructions and do not apply to external surfaces without the Engineers approval.

#### **4.11 Handling and Transporting**

Precast elements shall only be lifted on proprietary lifting inserts. The precaster may nominate any insert for approval of the Engineer provided that it befits the scope of the contract, the structural performance of the device can be verified and that it does not cause surface spalling.

The concrete crushing strength shall be at least 20 MPa at the time of first lifting.

Precast elements shall be stacked on timber at all stages during storage and transporting. Timber shall be of minimum 75 x 50 section and positioned directly below the lifting inserts.

Only cartage companies with recognised experience and appreciation for handling sizeable precast concrete components shall be used for delivery.

#### **4.12 Joint Sealant**

Panel joints shall be filled with a paintable intumescent sealant (Firerate or similar approved) applied in accordance with the manufacturers instructions. All sealants shall be installed against a suitable backing of either PEF rod, mineral wool or masking tape, as detailed on the construction drawings.

#### **4.13 Fuel Tank Hold-down Bolts**

The fuel tank hold-down bolts shall be M12 diameter threaded rebar with 80mm embedment length, epoxied (Chemset injection or similar approved) into 14mm diameter drilled holes. All holes shall be thoroughly cleaned out before epoxy is injected, and all epoxy work shall be in accordance with the manufacturers instructions. The cure time of epoxy shall be observed before bolt loading is commenced.



## 5. STRUCTURAL STEELWORK

### 5.1 General

This section shall be read in conjunction with all other sections of this specification.

### 5.2 Scope

- Structural steel as service fixtures to the concrete tank covers, such as inspection ladders, handrails, hatches and covers.
- Cast-in steel items for bolted structural connections between precast elements.

### 5.3 Related Documents

|                               |  |       |
|-------------------------------|--|-------|
| The New Zealand Building Code |  | (BIA) |
| AS 1554:-                     | Structural Steel Welding                                       | (SAA) |
| AS 1627:-                     | Metal Finishing:- Preparation and<br>Pre-treatment of Surfaces | (SAA) |
| NZS 3404:1992                 | Design of Steel Structures                                     | (SNZ) |
| NZS/AS 3679                   | Structural Steel   | (SNZ) |

### 5.4 Materials and Workmanship

All materials and workmanship shall be in accordance with NZS 3404:1992 unless instructed otherwise by the Engineer.

### 5.5 Welding

All welding and the visual inspection of welds shall be undertaken in accordance with AS 1554 and the associated requirements of NZS 3404:1992.

### 5.6 Bolts

Bolts shall be grade 4.6 unless noted otherwise on the drawings, and a minimum 3mm thick plate washer must be used in conjunction with all bolts.

### 5.7 Protective Coatings

#### Exposed Steelwork

- All exposed steelwork shall be prepared and hot-dip galvanised in accordance with the methods and standards prescribed by the Galvanisers Association of New Zealand. Any galvanised surfaces damaged during installation shall be made good with a coating of zinc rich paint.

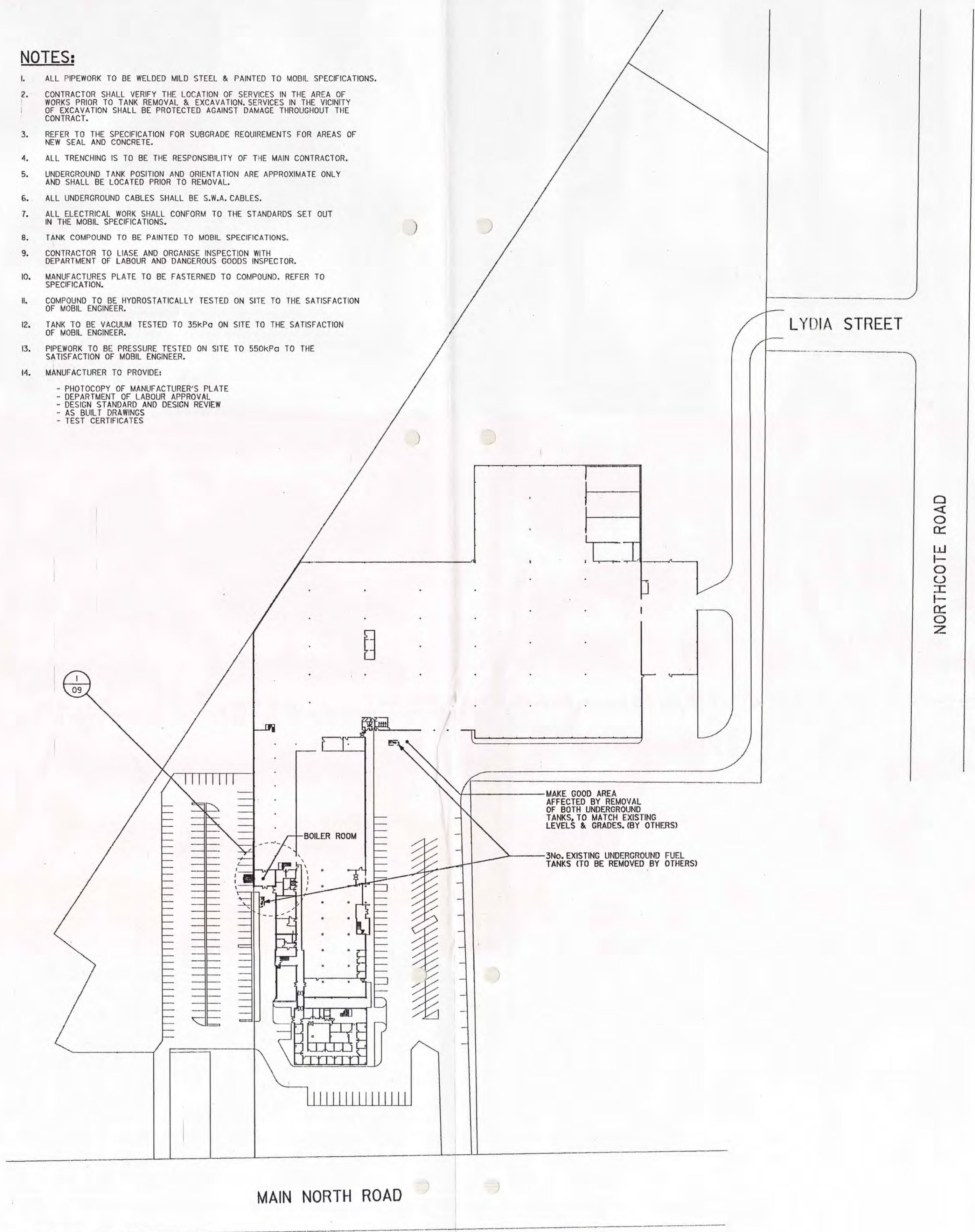
#### Internal Steelwork

- Internal steel shall be cleaned by wire-brush buffing and immediately painted with one coat of an approved red oxide primer. Additional protection will not be required unless instructed by the Engineer.

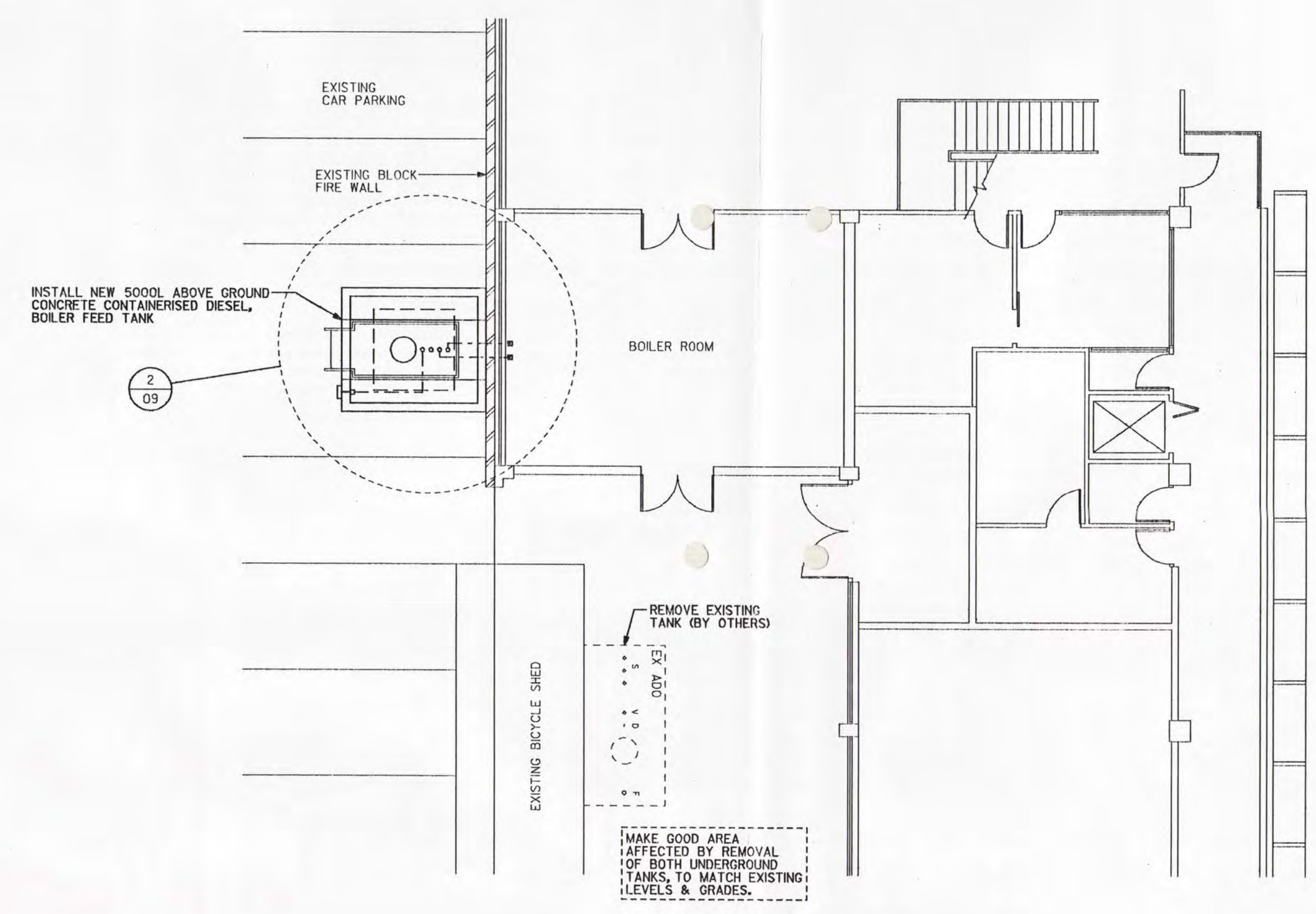


**NOTES:**

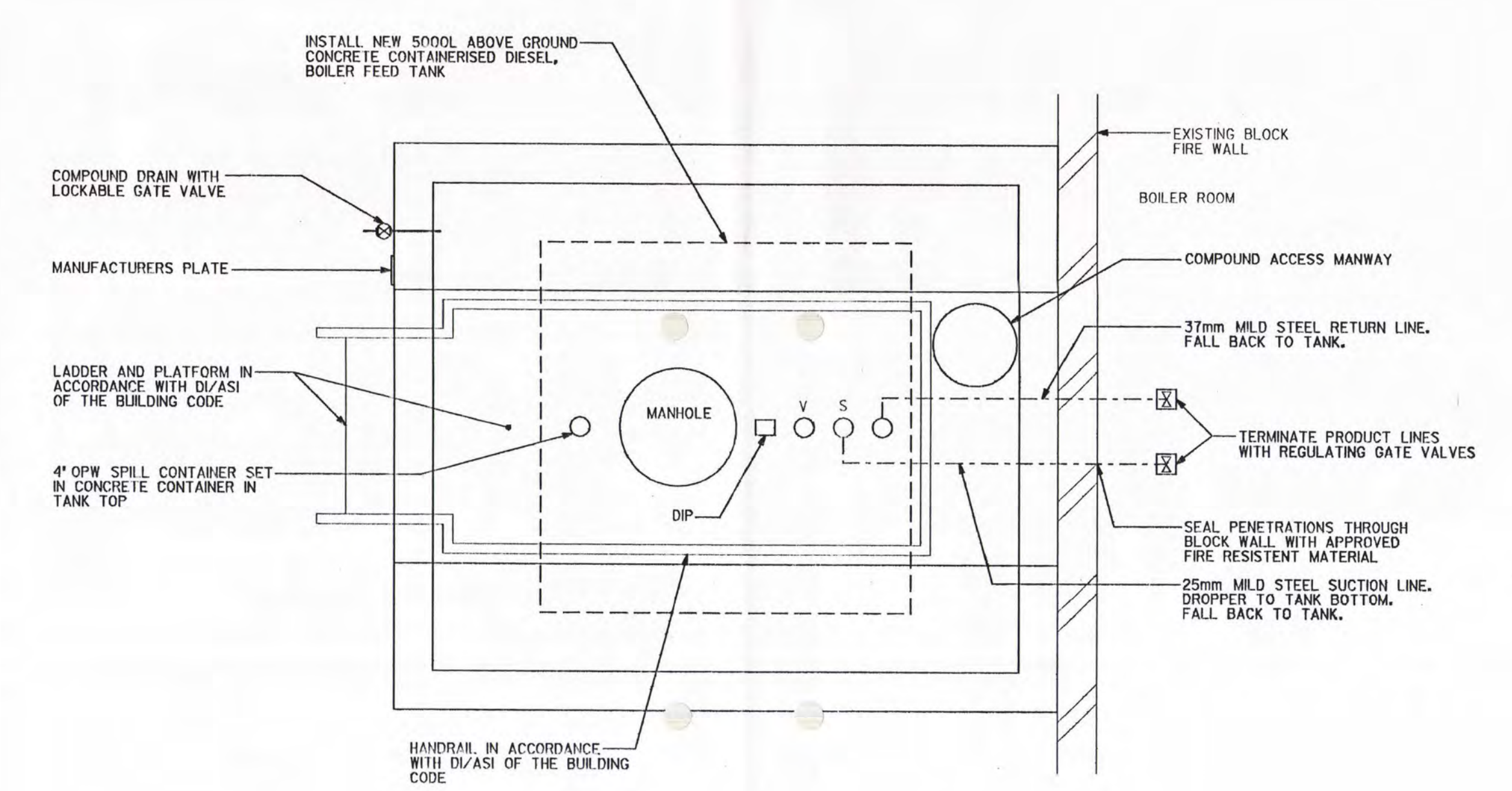
1. ALL PIPEWORK TO BE WELDED MILD STEEL & PAINTED TO MOBIL SPECIFICATIONS.
2. CONTRACTOR SHALL VERIFY THE LOCATION OF SERVICES IN THE AREA OF WORKS PRIOR TO TANK REMOVAL & EXCAVATION. SERVICES IN THE VICINITY OF EXCAVATION SHALL BE PROTECTED AGAINST DAMAGE THROUGHOUT THE CONTRACT.
3. REFER TO THE SPECIFICATION FOR SUBGRADE REQUIREMENTS FOR AREAS OF NEW SEAL AND CONCRETE.
4. ALL TRENCHING IS TO BE THE RESPONSIBILITY OF THE MAIN CONTRACTOR.
5. UNDERGROUND TANK POSITION AND ORIENTATION ARE APPROXIMATE ONLY AND SHALL BE LOCATED PRIOR TO REMOVAL.
6. ALL UNDERGROUND CABLES SHALL BE S.W.A. CABLES.
7. ALL ELECTRICAL WORK SHALL CONFORM TO THE STANDARDS SET OUT IN THE MOBIL SPECIFICATIONS.
8. TANK COMPOUND TO BE PAINTED TO MOBIL SPECIFICATIONS.
9. CONTRACTOR TO LIAISE AND ORGANISE INSPECTION WITH DEPARTMENT OF LABOUR AND DANGEROUS GOODS INSPECTOR.
10. MANUFACTURERS PLATE TO BE FASTENED TO COMPOUND. REFER TO SPECIFICATION.
11. COMPOUND TO BE HYDROSTATICALLY TESTED ON SITE TO THE SATISFACTION OF MOBIL ENGINEER.
12. TANK TO BE VACUUM TESTED TO 35kPa ON SITE TO THE SATISFACTION OF MOBIL ENGINEER.
13. PIPEWORK TO BE PRESSURE TESTED ON SITE TO 550kPa TO THE SATISFACTION OF MOBIL ENGINEER.
14. MANUFACTURER TO PROVIDE:
  - PHOTOCOPY OF MANUFACTURER'S PLATE
  - DEPARTMENT OF LABOUR APPROVAL
  - DESIGN STANDARD AND DESIGN REVIEW
  - AS BUILT DRAWINGS
  - TEST CERTIFICATES



**LOCALITY PLAN**  
1:1000



**ENLARGEMENT DETAIL**  
1:100



**ABOVEGROUND DIESEL TANK PLAN DETAIL**  
1:25

|  |   |      |       |       |       |      |
|--|---|------|-------|-------|-------|------|
| CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE BEFORE CONSTRUCTION<br>ALL DIMENSIONS ARE IN MILLIMETRES UNLESS SHOWN OTHERWISE |   |      |       |       |       |      |
| 1:1  | 0 | 20   | 40    | 60    | 80    | 100  |
| 1:50   | 0 | 1000 | 2000  | 3000  | 4000  | 5000 |
| 1:200  | 0 | 5000 | 10000 | 15000 | 20000 |      |

|       |                    |      |            |          |              |
|-------|--------------------|------|------------|----------|--------------|
| ISSUE | CONSTRUCTION ISSUE | DATE | 22-July-97 | APPROVED | P. D. Rankin |
| ISSUE | ALTERATIONS        | DATE |            | APPROVED |              |

|          |                    |            |   |
|----------|--------------------|------------|---|
| DRAWN    | M. WILSON          | 04-JULY-97 | FOODSTUFFS<br>MAIN NORTH ROAD<br>CHRISTCHURCH |
| CHECKED  | <i>[Signature]</i> | 25-7-97    |   |
| DESIGNED | M.A.S.             | 25-7-97    |   |
| APPROVED | M.A.S.             | 25-7-97    |   |
| SCALE    | AS SHOWN           | AI         |   |

**Mobil**

DRAWING NUMBER: VI5034/01/09  
ISSUE: A

5000L BOILER FEED TANK  
CONSTRUCTION PLAN

CONSULTANT DESIGN FILE NAME: CONSULTANT

MOBIL DESIGN FILE NAME: K3XVIF-VI5034A-S197-G1-GPT





# CHRISTCHURCH CITY COUNCIL

**COPY FOR YOUR  
INFORMATION**

17 April 1996

Foodstuffs Chch Ltd  
167 Main North Road  
**CHRISTCHURCH**

Att: Mr J Mullins

Dear Mr Mullins

**DANGEROUS GOODS ACT 1974 & REGULATIONS  
SECTION 22: WORKS REQUISITION  
PREMISES: FOODSTUFFS CHCH LTD, 167 MAIN NORTH ROAD**

I am writing to confirm my recent inspection of the above premises during which the following matters was seen to require attention.

1. The wooden compounding within the building that houses the forklift LPG cylinders is damaged and therefore is not providing its primary function which is to prevent any vapours getting into the building. It is suggested that this is replaced with a block structure which will provide a vapour seal for any possible leakage and at the same time provide protection from vehicular damage.
2. The underground petrol tank is now disused and under the above legislation is required to be removed by the owner of the tank. You will have to ascertain whether the tank is owned by the oil company (Mobil) or by yourselves. I have enclosed a copy of Regulation 56 for your assistance.
3. The carpenters work shop has several 1 litre plastic containers of methylated spirits and this Class 3 dangerous goods should be stored in a metal cabinet with the appropriate warning notice "Flammable Liquids - No Smoking". This cabinet should have some means of retaining any spillage product eg drip trays.
4. The premises is now storing quantities of methylated spirits, kerosene and turpentine and legislation allows for up to 2,500 litres of Class 3(b) (kerosene and turpentine) and 500 litres of Class 3(a) (methylated spirits) to be stored in the building for the purposes of retail sale. This is the maximum amount allowed and if storage exceeds this, then approved storage must be provided. If this is necessary please contact the undersigned for more information on this subject. This also applies to firelighter:Class 3(b).

.../2



CONTACT

Don Cawthorn

FILE EH/DG/1

CIVIC OFFICES • 1ST FLOOR ANNEX • 163-173 TUAM STREET • P O BOX 237 •  
CHRISTCHURCH 1, NEW ZEALAND • TELEPHONE 371-1675 • FAX (03) 371-1920



- 2 -

5. I have also included the relevant regulations for aerosol storage and again if this applicable more information can be provided.

If any further information is required please contact the undersigned at these offices or when the works are completed (by 31 May 1996).

Yours faithfully



Don Cawthorn  
**DANGEROUS GOODS INSPECTOR**

DC:JMC



# CHRISTCHURCH CITY COUNCIL

## ENVIRONMENTAL SERVICES UNIT

### TELEFAX MESSAGE:

TO: MR J. MULLINS  
FAX NO: 352 3262

Organisation: FOODSTUFFS LTD  
Location: MAIN NORTH ROAD

FROM DON CAWTHORN  
Date: 7.1.97

Designation: D.G. INSPECTOR  
No. of Pages (including this page): ONE

### MESSAGE:

JOHN,  
BEST WISHES FOR THE NEW YEAR.

CONFIRMING OUR DISCUSSION TODAY REGARDING RE-SITING  
YOUR LPG CYLINDERS.

THESE MUST BE STORED IN AN OPEN-AIR LOCATION AS  
FOLLOWS:

1. PROVIDE DRAWING OF INTENDED LOCATION TO ENSURE  
CORRECT POSITION RE ISOLATION DISTANCES TO PROTECTED WORKS  
(BUILDINGS) IF NECESSARY.
2. BASE OF STORAGE MUST BE IMPERVIOUS (EG. CONCRETE)
3. STORE OF INCOMBUSTIBLE MATERIAL (GALV. SHEET OR MESH.)
- 4 ... LOCKABLE, WITH WARNING NOTICE.
5. NO ENTRANCES TO BUILDINGS OR DRAINS ETC WITHIN  
ONE METRE (100KG) OR 2 METRES (OVER 100KG)

I ACCEPT THE POSSIBILITY OF AN EXISTING STORE  
AND AWAIT YOUR CONFIRMATION ... OR OTHERWISE .

REGARDS

SIGNATURE: \_\_\_\_\_

A handwritten signature in black ink, appearing to read 'Don Cawthorn', written over a horizontal line.



3521804

## Inspection Report - Dangerous Goods Storage And Use

|            |                          |         |
|------------|--------------------------|---------|
| Licensee:  | Foodstuffs (CH. CH.) Ltd |         |
| Address:   | 167 Main North Road      |         |
| Stored At: | Above.                   | 3526039 |
| Date:      | 2-8-90                   |         |

- 11-6-91 Inspected. OK except for missing fill point cover - advised Molih and amended licence - NO 209<sup>l</sup> of Peris now.
- 14-10-91 Re-inspected. Dispenser repaired and new up-draft vent installed. Printing<sup>room</sup> has a disused cabinet outside the building for 1x60<sup>l</sup>, 1x20<sup>l</sup> flammable drums but I insisted that the smaller 2<sup>l</sup> tins in the room need to be stored in a cabinet.
- 28-1-93 Inspected. Unleaded dispenser loose on foundation - Rang molih. Printing room 'E' cabinet requires warning notice and drip tray. Swimming uses HTH, but not stored as it is topped up by outside supplier.
- 15-4-96 Inspected. LPG compound<sup>ing</sup> within building (vented outside) is damaged - wooden construction. Class 3 1 litre containers storage in building. U/G petrol<sup>tank</sup> disused. Carpenter's workshop has HTH in wooden cabinet and meths and other Class 3 in under sink bench. Print room OK. See letter of 16-4-96.  
Done, see reply letter of 27-6-96 - Owing to increase of N<sup>o</sup>. of LPG cylinders I have now requested external storage see FAX 7-1-97

Dangerous Goods Inspector:



Dangerous Goods Licence Information

Inspector: *D. GASTHORN* Date: *2-8-90*

|   |  |                               |                    |
|---|--|-------------------------------|--------------------|
| New Premises:                                       |  | Licence Fee: \$ <i>112-50</i> | Inspection Fee: \$ |
| Storage Change: <input checked="" type="checkbox"/> |  | New Licence Fee: \$           | Inspection Fee: \$ |
| Name Change:  |  | Transfer Fee: \$              |                    |
| Redundant:  |  | Previous Name:                |                    |

Sub-Census Area: *01* Town Planning Zone: *PAPUNU* Ward: *PAPUNU*  
 Use: *CS* Type: *0*

Property Name: *FOODSTUFFS - CH. CH. LTD*  
 Property Address: *167 MAIN NORTH ROAD*  
 Licensee: *MR. VERLANDER* Phone: *3526-039*  
 Contact Name (not entered on computer): *MR. VERLANDER*  
 Postal Address: *PRIVATE BAG CH. CH. 5*

Nett Storage Increase:

Nett Storage Decrease: *Class 3(b) 209 litres container > 60 litres*

|                     |                      |
|---------------------|----------------------|
| New Licence Number: | Licence Invoice No.: |
| Old Licence Number: | Other Invoice Nos.:  |
| Actioned By:        | Date Actioned:       |

*Now / NIL*

*Sent*

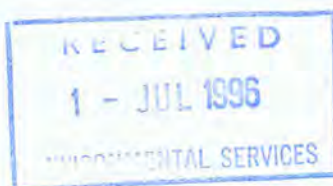




100% NEW ZEALAND OWNED & OPERATED

Corporate Office  
167 Main North Road  
Private Bag 4705  
Christchurch

Ph (03) 352 6039  
Fax (03) 352 3262



27 June 1996

Mr D Cawthorn  
Dangerous Goods Inspector  
Christchurch City Council  
P O Box 237  
**CHRISTCHURCH**

Dear Don

**RE: DANGEROUS GOODS SITE INSPECTION**

I confirm our action on the following points raised by yourself:

1. Repair work is being carried out on the wooden compound that houses our LPG cylinders.
2. We have had discussions with Mobil Oil in relation to removing the disused petrol tank. Mobil Oil have ownership of this tank and agree that it is their responsibility.
3. The carpenter's workshop will have an adequate cabinet for the storage of flammable liquids.
4. In relation to the storage of turpentine and kerosene, our holding stocks are within the 2,500 litre limit. <sup>no spirit</sup> Kerosene allows for our holding of 41 cartons [12 x 1 litre] therefore our inventory limits will be restricted to this amount.
5. Aerosol Storage  
Our inventory holdings of flammable aerosols fall well within the guidelines as set out in Regulation 116 Part IX.

If you require any further information or wish to discuss further the above, I look forward to your reply.

Thank you.

Yours faithfully

J P Mullins  
**WHOLESALE OPERATIONS MANAGER**



CHCH CITY COUNCIL

PUBLIC HEALTH & SAFETY UNIT

# HAZARDOUS SUBSTANCES INSPECTION REPORT

PREMISES: ..... ADDRESS CHAPPE PLACE

### INSPECTION PURPOSE

|                   |                                     |
|-------------------|-------------------------------------|
| ANNUAL            | <input checked="" type="checkbox"/> |
| REINSPECTION      | <input type="checkbox"/>            |
| NEW               | <input type="checkbox"/>            |
| COMPLAINT / OTHER | <input type="checkbox"/>            |

### REQUISITION TO BE ISSUED

YES  NO

### COMPLIANCE & APPROVAL

YES  NO

TYPE OF PREMISES FOOD / Bulk STORE

### CLASSES STORED

### INSPECTION COMMENTS

|               |  |                                     |  |
|---------------|--|-------------------------------------|--|
| .1            |  |                                     | INSP OF OIL BURNER > 3 <sup>c</sup> W/G TANK |
| 2a            |  |                                     | BURNER ROOM IS TO BE CHANGED                 |
| 2b            |  |                                     | OUT OF COMBUSTIBLES ETC.                     |
| 2c            |  |                                     |  |
| 2d            |  | <input checked="" type="checkbox"/> |  |
| 2e            |  |                                     |  |
| 2f            |  |                                     |  |
| 2g            |  |                                     | INSP & DISCUSSION WITH STORE                 |
| 3.1           |  | <input checked="" type="checkbox"/> | SUPERVISOR RE CORRECT > ISOLATED             |
| 3.2           |  | <input checked="" type="checkbox"/> |  |
| 3.3           |  | <input checked="" type="checkbox"/> | STORAGE OF CL 2 ACIDOSULPHATE                |
| 4.1 cat a b c |  |                                     | CL 3 A MEMS                                  |
| 4.2 cat a b c |  |                                     | B KERO / TURPS                               |
| 4.3 cat a b c |  |                                     | CL 4 FRIQUATORS.                             |
| 5.1           |  |                                     | RECOMMENDED SEGREGATED STORAGE               |
| 5.2           |  |                                     | WHEN INERT NON FOODSTUFF STORAGE             |
| 6             |  |                                     | BETWEEN (DETERGENTS) > STORAGE               |
| 7             |  |                                     | TO BE PROVIDED WITH HAZCHAM                  |
| 8             |  |                                     | & LABELLING. FURTHER DISCUSSION              |
| 9             |  |                                     | REQ. NEW DG LIC ISSUE.                       |

REINSPECTION YES  NO

INSPECTING OFFICER: R. A. Mill DATE 2017/1/95



# **Mobil Oil New Zealand Limited**

## **CONDITIONS OF CONTRACT AND TECHNICAL SPECIFICATION FOR ABOVE GROUND TANKS.**

**Mobil Engineering.  
Mobil Oil (New Zealand) Ltd.**

**June 1997**



# 1. CONDITIONS OF CONTRACT.

## 1.1 Pricing and Payment.

The contract is a **Lump Sum Contract**.

The tendered price shall be deemed to include all work necessary to complete the work described in this specification, including tank, compound, pipework, fittings, and if applicable pumps to complete the refuelling facility. The attached pricing schedule shall be completed by the tenderer.

Payment will be made following acceptance, as defined in 1.2.

## 1.2 Acceptance.

Acceptance by the Principle for the equipment will be based on:

### 1.2.1 Supply of As Built Documentation, including:

- 1.2.1.1 Written Department of Labour Approval, quoting LAB number.
- 1.2.1.2 Mechanical engineer's report showing appropriateness and compliance with an appropriate design standard.
- 1.2.1.3 Fabrication drawings for tank and compound.
- 1.2.1.4 Name of Manufacturer and Fabrication Companies.
- 1.2.1.5 Test certificates.
- 1.2.1.6 Photocopy of manufacturers plate.
- 1.2.1.6 Electrical Code of Compliance Certificate.

In the event that the contractor completes site design, the following additional information is also required, prior to commissioning of the facility. Please note that no permanent above ground tank shall be installed until the following has been considered.

- 1.2.1.7 Site plans - petroleum, electrical, and drainage.
- 1.2.1.8 Written Dangerous Goods Approval, from the local regulatory body.
- 1.2.1.9 Written Building Consent and Planning Consent, from the local regulatory body.
- 1.2.1.10 Written approval (resource consent) from the Regional Council for Environmental Assessment, including consideration for the effect of fuel spillage on the ground and stormwater etc).

### 1.2.2 A minimum of two weeks successful operation.



### **1.3 Warranty.**

The equipment and installation shall be free from defects in design, material, and workmanship. To ensure effective operation, the facility shall be warranted to this effect for the period of 3 months from Acceptance (refer 1.2).

The contractor will in the shortest possible time, repair or replace any parts or materials, that are deemed to be defective because of design, material or workmanship. In the event that a tank must be decommissioned for more than 4 calendar days to allow for repair or replacement work, a temporary replacement facility will be provided, by the supplier.

### **1.4 Other Contracts.**

Aviation facilities are to be commissioned by the Mobil Aviation Maintenance Contractor. In such event, the supplier will allow to liaise with this contractor.

### **1.5 Inspection and Testing.**

The engineer, or another representative of Mobil Oil (New Zealand) Ltd, will have the right to access, inspect, and reject any portion of work deemed non complying with the specification.

The supplier shall organise the following tests, which are to be witnessed by an engineer representing Mobil Oil (New Zealand) Ltd or an alternative suitably qualified person.

- 1.5.1 Pressure test tank to 5 PSI (35 kPa) minimum, prior to leaving workshop.
- 1.5.2 Pressure test pipework to 50 PSI (350 kPa) minimum, and soap test joints, prior to leaving workshop.
- 1.5.3 Hydraulic test of bund, on site and prior to commissioning.
- 1.5.4 Vacuum test tank and pipework to 5 PSI (35 kPa), on site, prior to commissioning.
- 1.5.5 Siphon Prevention.
- 1.5.6 Final inspection of fittings prior to commissioning.

The supplier shall provide test certificates.

Test pressures, *testing and inspection frequencies*, and initial test dates are to be recorded on the manufacturer's plate.

### **1.6 Compliance.**

The tank and equipment shall comply with all applicable laws, regulations, codes of practice, and standards. Specific regard to:

- Dangerous Goods Regulations (1985).
- Electrical Wiring Regulations (1976).

The facility shall be designed and manufactured to the approval of the Chief Inspector, Occupation Safety and Health, Department of Labour. Approval, by means of an L.A.B. number, shall be detailed on the manufacturers plate.



## 2. TECHNICAL SPECIFICATION.

### 2.1 *Tank and Compound.*

The tank shall be designed and manufactured to an appropriate design and fabrication standard. The supplier shall provide (refer 1.2.1.2):

- 2.1.1 Details of appropriate standards.
- 2.1.2 Engineer's independent certification of design, including appropriateness and compliance with standard.
- 2.1.3 Details of minimum approved isolation distances.
- 2.1.4 Inspection / recertification frequency

The design standard, isolation distances and recertification periods shall be stated on the Manufacturers plate.

The tank shall be constructed with a manhole to allow access for cleaning and inspections.

All pipework shall be through the top of the tank only.

The compound shall allow inspection of the external tank surfaces.

The compound shall be constructed complete with a lockable water draw-off valve to allow complete drainage.

***Special Requirement for Aviation Fuels.*** Tank to be constructed with a 1 in 30 incline, complete with recessed water sump at the lower end.

#### 2.1.5 *Paint Specification.*

All steel surfaces shall be sandblasted (to SA 2.5) and zinc primed (within 4 hours of blasting) with Resene Inorganic Zinc Silicate or Taubmans Chromox ZP, in accordance with the Mobil Painting specification. The external surface shall be painted either Mobil Bahama Beige or Mobil Light Grey (site specific), complete with Mobil Graphics and product identification.

Steel aviation tanks shall be epoxy lined, to Taubmans Mobil specification.

### 2.2 *Pipework.*

All pipework shall be welded and flanged painted (as above) mild black steel, or galvanised steel.

***Special Requirement for Aviation Fuels.*** No galvanised or brass fittings / pipe shall be used on aviation tanks. All pipework and fittings to be 316 stainless steel only.

Lockable valve on a drain pipe from the recessed sump (refer 2.1) shall be provided.

## 2.3 **Fittings.**

Tanks shall be supplied with the following fittings.

- 2.3.1 Approved Anti siphon valve. Either siphon breaking or prevention types. Non return valve is not sufficient. Siphon prevention is to be tested prior to acceptance.
- 2.3.2 Overfill protection (either mechanical or electronic) is optional based on site environmental sensitivity, and user requirements.
- 2.3.3 Isolating system. Two of the following 3 features shall be included on the tank:
  - I. Solenoid or microswitch (eg Dispenser / Nozzle Holster).
  - II. Isolating switch.
  - III. Timer isolating switch.

All solenoid valves shall be double acting.
- 2.3.4 Manual lockable isolating ball valve on delivery line.
- 2.3.5 Dipstick or alternative quantity gauge.
- 2.3.6 Fill point. 2.5 Inch male kamlock fitting with drybreak coupling, accessible from ground level. Tanks of volume 5,000 l or may be filled by nozzle, on the tank top.
- 2.3.7 Signage, including:
  - I. Operating instruction.
  - II. Emergency procedure and contacts.
  - III. Manufacturers plate (Refer 2.7).
  - IV. No smoking / source ignition within x metres, (as required by regulations).
  - V. Mobil Signage.
  - VI. Product Identification.
- 2.3.8 Refuelling hose to be specified for petroleum use, and supplied complete with breakaway coupling.

All hoses to have swaged couplings.
- 2.3.9 Product line, except for aviation facilities, is to be fitted with a 65 micron cartridge filter.
- 2.3.10 25mm ZVA nozzle (32mm may be specified as an alternative).

Unless otherwise stated, pumping and filling points should be positioned within a contained area.

**Aviation Tanks.**

2.3.11 Aluminium Floating Suction (to the approval of Mobil Oil (NZ) Ltd), complete with accessible jiggle wire.

2.3.12 Lockable water draw off from low point sump (refer 2.1).

2.3.13 Facet VF -61E 1 micron Filter to be fitted.

2.3.14 Hose for aviation use to be 25mm Elaflex Aviation Type C, to BS3158.

**2.4 Pumps.**

When requested, the supplier may need to provide one or more of the following pumping options (site specific).

2.4.1 Transfer pump to fill tank at a rate of 500 - 1000 lpm. Motor may be single phase, 3 phase or diesel powered (electric start), depending on site requirements.

2.4.2 Delivery to nozzle at 80 or 160 lpm, depending on site requirements.

2.4.3 Install, complete with double acting shear valve, Mobil supplied pump.

All pumps shall have flexible connectors to pipework.

All motors shall be adequately isolated from the tank and / or comply with the standard for Electrical Equipment for Hazardous Areas.

All electrical work shall be inspected and certified by a certified inspector, in accordance with the wiring regulations.

**2.5 Other.**

Hand rails and ladders to tank top shall comply with section D1/AS1 of the building code.

**2.6 Records.**

The supplier is to incorporate into their quality system, and maintain the documentation described in this specification, for future reference.

Mobil Oil (New Zealand) Limited may periodically choose to audit these records.



## **2.7 *Manufacturers Plate.***

The tank shall include an easily accessible and visible plate, displaying the following information:

- 2.7.1 Manufacturer / Supplier and Serial number.
- 2.7.2 Product / approved class of product.
- 2.7.3 Nominal tank capacity.
- 2.7.4 Design standard.
- 2.7.5 Test pressures.
- 2.7.6 Frequency of inspections, tests, and recertification.
- 2.7.7 Commissioning date and warranty period.
- 2.7.8 LAB approval number
- 2.7.9 Approved isolation distances.

and any additional information as required by the supplier and Department of Labour.

### 3. Pricing Schedule.

(To be completed by the supplier when quoting for the supply and installation of a permanent above ground tank).

Tender for the supply of \_\_\_\_\_ number \_\_\_\_\_ litre, \_\_\_\_\_ above  
(number) (tank sizes) (fuel product)  
 ground tank (s), for \_\_\_\_\_ installation, in  
(Project / Site name)  
 accordance with Mobil Conditions of Contract and Technical Specification for  
 Above Ground Tanks, priced as detailed in the following tender summary.

|  |    |
|--|----|
| Tank and compound                        | \$ |
| Pipework and Fitting                     | \$ |
| Transfer pump (if applicable)            | \$ |
| Delivery pump (if applicable)            | \$ |
| Overfill protection (if applicable)      | \$ |
| Freight                                  | \$ |
| Installation                             | \$ |
| Site Works (if applicable)               | \$ |
| Site design and consents (if applicable) | \$ |
| TOTAL PRICE                              | \$ |

Supplier: \_\_\_\_\_

Date \_\_\_\_\_



# CHRISTCHURCH CITY COUNCIL

FENDALTON SERVICE CENTRE

13 June 1991

The Manager  
Foodstuffs (Chch) Co-op Society Ltd  
165-169 Main North Road  
CHRISTCHURCH

Attention: Mr J Mullins

## DANGEROUS GOODS STORAGE : 165-169 MAIN NORTH ROAD

An inspection of the Company's premises was recently undertaken by the Council's Dangerous Goods Inspector, Mr D Cawthorn.

Mobil Oil (NZ) Ltd have since been contacted to carry out repairs to the diesel dispenser and vent pipe gauze. The other area causing concern was the printing room where several containers of flammable solvents ("BWM Wash", "Revitol" "White Wash" and Remover etc) were incorrectly stored. A metal cabinet with drip tray, close fitting doors and warning notice: "Flammable Liquids - No Smoking" is required for this purpose and a fire extinguisher (e.g. a 2kg dry powder) must be made readily accessible. The cabinet must be located away from all heating and sources of ignition and only the quantity for daily usage removed therefrom.

The Calcium Hypochlorite (H.T.H.) for water purification must be stored in a cool dry place, out of direct sunlight away from sources of heat and ignition and away from organic or combustible materials.

Please advise Mr Cawthorn on completion of these requirements.

Yours faithfully

A E Murray  
AREA ENVIRONMENTAL HEALTH OFFICER  
DC:PG

### CONTACT

SERVICE CENTRE • PO BOX 29183 • CNR CLYDE & JEFFREYS ROADS • CHRISTCHURCH  
DANGEROUS GOODS INSPECTOR • 351-7109 • FE/ETH/S 351-6038

FILE 159/165





INSPECTION REPORT - DANGEROUS GOODS STORAGE AND USE

LICENSEE: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

STORED AT: \_\_\_\_\_

DATE: 11-7-89

*Inspection revealed there were two 209lt drums of Peroxine one empty and one full. Have requested this be reduced to one only.*

*There were seven 2000 L.P.G. forklift cylinders stored in the building. Have requested a well ventilated gas store be constructed. There were two trolley for lids missing and have requested Mobil to organise.*

**ARTHUR F. VERLANDER**  
 WAREHOUSE MANAGER (Christchurch)

---

**FOODSTUFFS (SOUTH ISLAND) LIMITED**  
 Headquarters for Four Square Stores and New World Supermarkets

**4** **NEW WORLD SUPERMARKETS**

---

167 Main North Road, Christchurch, New Zealand.  
 Private Bag. Telephone (03) 526-039.  
 Fax (03) 527-454.

DANGEROUS GOODS INSPECTOR: \_\_\_\_\_



DANGEROUS GOODS LICENCE INFORMATION

INSPECTOR: J. TRAVIN DATE: 11-7-89

NEW PREMISES: \_\_\_\_\_ REDUNDANT : \_\_\_\_\_  
 NAME CHANGE: ✓ STORAGE CHANGE : ✓

|   |                           |                    |                |
|---|---------------------------|--------------------|----------------|
| CONTACT NAME: <u>MR. VERLANDER</u>              |                           | PH: <u>526 039</u> |                |
| NAME OF PREMISES: <u>FOODSTUFFS S.I. LTD.</u>   |                           |                    |                |
| POSTAL ADDRESS: <u>PRIVATE BAG.</u>             |                           | TOWN: _____        |                |
| ADDRESS OF PREMISES: <u>167 MAIN NORTH ROAD</u> |                           |                    |                |
| TP ZONE: <u>I2</u>                              | SUB-CENSUS AREA: <u>1</u> | USE: <u>CS</u>     | TYPE: <u>0</u> |

NETT STORAGE INCREASE: Class 2D 80 KG.  
in 7 cylinders

NETT STORAGE DECREASE: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

COMMENT: \_\_\_\_\_

-----  
 O F F I C E O N L Y

OLD LIC. FEE \$ 112.50 OLD LIC. NO. 2169  
 NEW LIC. FEE \$ 112.50 NEW LIC. NO. 2988

ACTIONED & RETURNED RB Date: 16/8/89  
 TO INSPECTOR



Mr. Les Blackburn, who accompanied me on this inspection was informed of requirements and reduce to one drum. He is also to put a spare warning notice from plantroom in area of drum.

Mr. Rutledge Model is to action requirements for

- (1) WARNING NOTICE
- (2) VENT GRABER
- (3) TOBY BOX LID ON DIESEL HEATING FUEL TANK.

8-6-86 Mr. Lockburn in the new warehouse Manager. The inspection revealed an excessive storage of empty and full 209 litre drums (4 empty & 2 full) of Messire. Mr. Lockburn was informed there was only permission for one drum (209lt) of class 3B. He has been requested to remove. There was also 2 x 20KG spare unconnected L.P.G. forklift cylinders being stored inside by electrical recharging equipment for electric forklifts. These are to be moved immediately as this area has power on in the silent hours. He has been requested to provide an outside cage with warning notice for their correct storage. Mr. Lockburn is to contact the office once completed, then the additional L.P.G. will be added to license.

25-9-86 L.P.G. cylinder store has been sited just inside main warehouse till door entrance which remains open all day, this fact and the actual size of the loading bay and warehouse have allowed me to give permission for its installation in this location. However a warning notice is still required. All excess drums of class 3B have been removed.



INSPECTION REPORTDANGEROUS GOODS STORAGE AND USELICENSEE: FOODSTUFFS (CH-CH) LTD.ADDRESS: Box 842  
CHRISTCHURCHSTORED AT: MAIN NORTH ROAD.DATE: 2-9-82CONTACT: LES BLACKBURN  
MR. COCKBURN  
WAREHOUSE MANAGER.

The inspection revealed a 209 kerosine stored in loading area. But only on a temporary basis for portable heater. Is in adequate isolation distances and has a drip bucket.

9-5-84 Inspection revealed a warning notice at pumps needs replacing and a gauge in vent line was missing. The dip on both diesel and petrol tanks was capacity of 8800 litres each and tanks were tagged. The fire extinguisher was just inside loading bay roller door entrance. The U.G. tank supplying steam boiler in plant room at ground floor front, is situated at side of building outside by big shed and requires a hoty box lid on dip point, Mobil advised. The burner is protected by a fire valve by fusible link over burner, there are also manual isolation valves on both supply and return.

The warehouse area is storing 2 x 209 litre drums of kerosine and two empties

DANGEROUS GOODS INSPECTORJ. Lewis

P.T.O.



## CHRISTCHURCH CITY COUNCIL


**REQUISITION UNDER SECTION 22  
OF THE DANGEROUS GOODS ACT 1974**

No 1914

THE FIELD ENGINEER  
MOBIL OIL N.Z.

P.O. Box 19650

CH-CH

Following the inspection of your premises on 11 / 7 / 89  
I have to require you to carry out the following works:

FOODSTUFFS S. I. LTD.  
167 MAIN NORTH ROAD

CH-CH.

One toly box cover requires  
replacing.

Both fill points on diesel and  
petrol protrude not allowing  
toly box covers to sit on  
properly. require repair.

Dies and toly require identifying

These works must be completed by 31 / 8 / 89 and the  
fact of their completion notified to the Inspector at the City Health  
Department, 216 Manchester Street (Telephone 791-660 Ext. 877).

Date: 11 / 7 / 89

*[Signature]*  
Dangerous Goods Inspector

167 MAIN North Rd.

\$25.

000115

# FOODSTUFFS (CH.CH) LTD

The Chief City Health Inspector,  
Christchurch City Council,  
P. O. Box 237,  
CHRISTCHURCH. 1.

We have pleasure in enclosing our cheque in payment of your

11 March 1980

Statement. Details of this payment are as follows:

Licence to Store Dangerous Goods

Invoice 4179

\$ 25.00  
=====

Gen rec. 7157  
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JT:JRH  
Mr Travis

827

14 July 1989

Mr A F Verlander  
Foodstuffs S I Ltd  
Private Bag  
CHRISTCHURCH

Dear Sir

DANGEROUS GOODS ACT 1974 AND REGULATIONS  
PREMISES - 167 MAIN NORTH ROAD

A recent inspection of the premises revealed that dangerous goods products were being stored/used in non compliance with the abovementioned legislation. To comply with regulation standards the following works are required.

1. Class 3B Flammable Liquid (Kerosine) Storage

The total capacity permitted to be stored within the building must not exceed 250 litres, therefore only one 209 litre drum may be kept at a time. This drum shall be provided either with an approved drip tray or maintained mobile at all times and shall have an approved type of manually operated pump. There shall be no source of ignition, other dangerous goods (this includes LPG cylinders) or combustible material stored within 6 metres. Regulations 41 and 42 Class 3 Flammable Liquids Regulations 1985.

2. Class 3C (Fuel Oil) Burner

The location surrounding the oil burner, to a distance of 3 metres, should be kept clear of all combustible material. Regulation 122 (2) Class 3 Flammable Liquids Regulations 1985.

3. Class 2D (LPG) Cylinder Storage

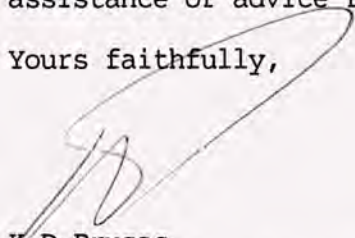
As discussed at the time of the inspector's visit, please provide an approved well ventilated gas store. Regulation 55 Class 2 Gases Regulations 1980.

4. Fire Fighting Equipment

An approved hand held fire extinguisher should be located at each of the above locations as provided for in the Regulations 178 & 179 Class 3A Flammable Liquids Regulations and Regulations 124 & 125 Class 2 Gases Regulations 1980.

The above works are required to be completed by 31 August 1989, the fact of completion notified to Mr J Travis, Dangerous Goods Inspector at this office. Mr Travis may also be contacted for further assistance or advice regarding these matters.

Yours faithfully,



K D Prusas,  
Supervising Environmental Health Officer  
for DIRECTOR OF ENVIRONMENTAL HEALTH

| Form ID | My Ecan Email Address   | ECan ID  | Date Saved | Date Submitted |
|---------|-------------------------|----------|------------|----------------|
| 2490    | tracy.singson@pdp.co.nz | EC304576 |            | 15 Apr 2015    |

NOTE: If this report says you maybe subject to a Rule in a plan, click here to read the rules.

|                               |                                 |
|-------------------------------|---------------------------------|
| <b>Potential Contaminates</b> | organochlorine pesticides       |
|                               | Inorganic / metals / metalloids |
| <b>Other Contaminates</b>     | false                           |

| Field Section                     | Field Label                               | Field Value   |
|-----------------------------------|---|---|
| <b>Submitter</b>                  | First Name                                | Isaac   |
|                                   | Surname                                   | Trevis  |
|                                   | Company Name                              | PDP   |
| <b>Submitter Postal Address</b>   | Address Line 1                            | 295 Blenheim Road   |
|                                   | Suburb                                    | Upper Riccarton   |
|                                   | Town                                      | Christchurch  |
|                                   | Postcode                                  | 8041  |
| <b>Submitter Contact Details</b>  | Email Address                             | isaac.trevis@pdp.co.nz  |
|                                   | Business Phone                            | 033457118   |
|                                   | Mobile Phone                              | 6421989408  |
|                                   | Fax Number                                | 033457101   |
| <b>Site Owner</b>                 | Company Name                              | Foodstuffs South Island Properties Limited  |
| <b>Site Owner Postal Address</b>  | Address Line 1                            | Private Bag 4705  |
|                                   | Postcode                                  | 8140  |
|                                   | Suburb                                    | Christchurch  |
|                                   | Town                                      | Christchurch  |
| <b>Site Owner Contact Details</b> | Email Address                             | xx.xx@xx.xx   |
|                                   | Business Phone                            | 0000000000000000  |
| <b>Site Details</b>               | Site Address                              | 2 Lydia Street, Northcote, Christchurch   |
|                                   | Site Legal Description / Valuation Number | Lot 1 DP 70348  |
|                                   | District Council                          | Christchurch City   |
| <b>Activity Types</b>             | Soil investigation selected               | Yes   |
|                                   | Water investigation selected              | No  |
|                                   | Dewatering selected                       | No  |
|                                   | Tank removal selected                     | No  |
|                                   | Preliminary Investigation selected        | No  |
|                                   | Please Note                               | Contaminated land investigation may be a Permitted Activity if you meet the criteria of Rule WQL46. |
| <b>Water Investigation</b>        | Groundwater investigation                 | No  |
|                                   | Surface water investigation               | No  |
|                                   | Water Sediment                            | No  |
| <b>Soil Investigation</b>         | Soil Surface                              | No  |
|                                   | Soil Subsurface                           | No  |

### TANKS

|                         |  |
|-------------------------|--|
| <b>General Comments</b> |  |
|-------------------------|--|



## Appendix H

Wises Property Directory

**Table A: Historical Occupancy Records of the site (sourced from Wisers Directories)**

| Address   | 1946                               | 1950-51                        | 1955  | 1962  | 1968                                    | 1972                        | 1977  | 1982  | 1987                                    | 1992  | 1997 |
|---|------------------------------------|--------------------------------|---|---|---|-----------------------------|---|---|---|---|------|
| <b>Northcote Road</b>                             |                                    |                                |   |   |   |                             |   |   |   |   |      |
| 3-7   | (3) Not listed                     |                                |   | (1, no 3 listed)<br>Papanui North Post Office   | (3) Papanui North Post Office           |                             |   | Not recorded                                  | (1) Papanui North Post Office           | Not recorded                                  |      |
|   | (5) Claridge Syd E, (wool classer) |                                |   |   |   | (5) Claridge Mrs D M        |   | Not recorded                                  |   |   |      |
|   | (7) Henderson Wm R (builder)       |                                |   |   |   |                             |   | (7) Raymond Ward                              |   |   |      |
| <b>Main North Road (North Road prior to 1964)</b> |                                    |                                |   |   |   |                             |   |   |   |   |      |
| 165-171   | Not listed                         | (169) Ovaltine (A Wander, Ltd) | (169) Wander NZ Ltd A (manufacturing chemist) | (169) Wander NZ Ltd A (manufacturing chemist)   | (171) Wander NZ Ld A (chemists)         | (171) Spencer L Ayrey*      |   | (171) House of Cramar and Spencer L Ayrey Ltd | (171) Helene Curtis New Zealand Limited | (167) Foodstuffs (South Island) Ltd           |      |
|   |                                    | (165) Wray, Mrs Alberta        | (165) Leck Jno H, engineer                    | (169) Caravan Centre (Chch) Ltd   | (167) Foodstuffs (Chch) Ltd (warehouse) | (165) Foodstuffs (Chch) Ltd | (167) Foodstuffs (Christchurch) Co-op Society Ltd   | (167) Foodstuffs (South Island) Ltd           |   |   |      |
| 177-187   | (185) Inwood Edmund H              |                                | (183) Steffens, Alfred W. mechanic            | (177) Northcote Garage; (179) Grenfell Bros, butchers; (181) Northcote Cycles (1968 only); (181) Dangerfield Wltr J, eye dlr; (183) Northcote Stationery; (185) O'Connel, Klvn, dry; (187) Wise's Grocery/store |   |                             | (179) Grenfells Butchery; (181) Northcote Cycles; (183) Northcote Bookshop; (185) Northcote Dairy and Northcote Traders |   |   | (181) Northcote Cycles; (185) Northcote Dairy |      |
|   | (187) Arbuckle Wm H. store         |                                | (187) York D D, store                         |   |   |                             |   |   |   | (187) Fruit & Veg Post; Northcote Traders     |      |
| <b>Lydia Street</b>                               |                                    |                                |   |   |   |                             |   |   |   |   |      |
| 2 Lydia Street                                    | Street not listed                  |                                |   |   |   |                             | Not recorded  | Street not listed                             | Not recorded                            |   |      |

\* <https://www.pressreader.com/new-zealand/the-press/20080719/282458524730504>